



**NOTICE OF MEETING
WALLER COUNTY, TEXAS
COMMISSIONERS COURT**

**Wednesday, January 10, 2024 at 9:00 AM
Waller County Joe Kuciemba Annex, Hempstead, Texas**

AGENDA

NOTICE is hereby given that the Commissioners Court of Waller County, Texas, will meet at the date and time listed above at its meeting place at:

**Waller County Joe Kuciemba Annex
425 FM 1488
Hempstead, Texas 77445**

Said meeting will be a regular meeting for the purpose of transacting the business of the County and to **discuss and take possible action on any of the agenda items listed below:**

CALL TO ORDER

1. Approval of Agenda.

PUBLIC COMMENT

CONSENT AGENDA

Items identified within the Consent Agenda are of a routine nature and will be passed with one vote without being discussed separately. If a member of the court or public requests that a particular item be discussed, that agenda item will be pulled from the Consent Agenda and discussed as part of the regular agenda at the appropriate time. One vote will approve the remaining items on the Consent Agenda.

- [2.](#) Approval of Minutes.
3. Approval of Payroll.
4. Request by County Auditor for approval and / or ratification of Accounts Payable.
- [5.](#) Request by County Engineer to approve the Final Partial Replat of Sunterra Section 14, in Precinct 3.
- [6.](#) Request by County Engineer to approve the Final Partial Replat of Sunterra Section 16 in Precinct 3.
- [7.](#) Request by County Engineer to approve the Final Partial Replat of Sunterra Section 24 in Precinct 3.
- [8.](#) Request by County Engineer to approve the Final Partial Replat of Sunterra Section 29 in Precinct 3.

- [9.](#) Request by County Engineer to approve the Final Partial Replat of Sunterra Section 30 in Precinct 3.
- [10.](#) Request by County Engineer to approve the Final Partial Replat of Sunterra Section 31 in Precinct 3.
- [11.](#) Request by County Engineer to approve the Final Partial Replat of Sunterra Shores Drive Street Dedication and Lift Station No. 4 in Precinct 3.
- [12.](#) Request by County Engineer to approve the Final Plat of Sunterra Section 48 Subdivision, in Precinct 3.
- [13.](#) Request by County Engineer to approve the Final Plat of Bluestem Section 1 and accept the Construction Bond in Precinct 3.
- [14.](#) Request by County Engineer to approve the Final Partial Replat of Sunterra Section 25 in Precinct 3.
- [15.](#) Request by County Engineer to approve a permit to construct utility in Waller County Right of Way by Elite Utility, BTEC for a proposed placement of a Fiber Optic Cable in the Right of Way of Woods Rd.
- [16.](#) Request by County Engineer to approve a Permit to Construct Utility in Waller County Right of Way by BTEC - Elite Utility for a proposed Fiber Optic Cable on Jordan Ranch Blvd.

Requests to approve payments on the following:

- [17.](#) \$2,977.00 for Invoice # 0000015267 to Harris County Accounts Receivable from line item 125-423-540702 [Autopsy].
- [18.](#) \$1,295.00 for Invoice December 8, 2023 to Magnolia Funeral Home from line item 125-423-540705 [Transport to Morgue].
- [19.](#) \$679.00 for Invoice # 202326754 to National Association of Counties from line item 125-411-562300 [County Organizational Dues].

COUNTY ENGINEER

- [20.](#) Authorize the County Judge to execute an Interlocal Agreement with the H-GAC relative to the LiDAR 2024 Program. This program has a local match requirement of \$94,000.00. Funds to be paid from line item 110-530-547518 (Engineering Expenses).
- [21.](#) Approve a variance request to the Waller County Rural Residential Subdivision Regulations regarding Lot Size, approximately two (2) acres of public ROW are being dedicated as part of the proposed plat resulting in lots less than 5 acres in Precinct 2 by Mr. Scott Wright with W5 Texas Investments.
- [22.](#) Approve roads in Sunterra Section 23, meeting construction requirements to be privately maintained in Precinct 3.

23. Approve to apply for FY24-25 Flood Infrastructure Funding through the Texas Water Development Board in order to produce County-wide flood mapping updates.

ENVIRONMENTAL DEPARTMENT

- [24.](#) Approve a variance request to the Subdivision Development Regulations, Engineering Design Standards, Section 2-Lot size, regarding the minimum lot size per dwelling, by Mr. & Mrs. Celia Perez.

COMMISSIONER, PRECINCT 3

- [25.](#) Approve TxDOT County Corridor Agreement.

GRANT MANAGER

26. Award bid for professional home demolition services associated with the County's CDBG-DR Buyout Program (CDBG-DR Project 20-066-011-C074).

COUNTY CLERK

- [27.](#) Approve renewal of the Interlocal Cooperation Contract with the Department of State Health Services to allow access to the Texas Electronic Vital Events Registrar effective thru August 31, 2027.

RECYCLE CENTER

28. Approve to amend the 2024 budget and salary order.

TREASURER

- [29.](#) Approve amendments to the 2024 Salary Order.

AUDITOR

30. Approve 2024 budget adjustments and departmental line-item transfers.

DIRECTOR OF FACILITIES

- [31.](#) Approve payment for Invoice #1054C for \$41,860.00, Invoice #1061C for \$2,209.45, Invoice #1055C for \$4,975.00, Invoice #1052C for \$690.00, Invoice #1070C for \$3,436.00, and Invoice #1049C for \$642.50 for a total of \$53,812.95 to Telomack Cabling Solutions to be paid from line-item-604-604-581000 [Courthouse Construction].
- [32.](#) Approve payment of Invoice # 640414-1 for \$11,853.86 to Bluum USA, Inc. for purchase and installation of audio and video equipment at the Waller County Joe Kuciemba Annex.

MISCELLANEOUS

- [33.](#) Approve order to raise the micro-purchase threshold under 2 C.F.R. 200 to \$50,000.00 for fiscal year 2024.

- [34.](#) Approve Court order setting allowances for travel outside the County in 2024.
- [35.](#) Approve Court Order setting the pay for Jurors in 2024 and providing food and lodging for Jurors in certain cases and instances.
- [36.](#) Approve payment of \$7,500.00 to Gulf Coast Rail District for the 2024 General Purpose Fund.
- 37. Deliberate business and financial issues in executive session based on determination and recommendation from the District Attorney's Office that deliberation in an open meeting regarding business and financial issues related to the purchase, exchange, lease, or value of real properties would have a detrimental effect on the position of the County in negotiations with third persons.
- 38. Deliberate business and financial issues in executive session based on determination and recommendation from the District Attorney's Office that deliberation in an open meeting regarding business and financial issues related to contract negotiations for it would have a detrimental effect on the position of the County in negotiations with third persons.

EXECUTIVE SESSION

- 39. Deliberate business and financial issues related to the purchase, exchange, lease or value of real properties pursuant to Government Code Sections 551.072 and 551.0725.
- 40. Deliberate business and financial issues related to contract negotiations pursuant to Government Code 551.0725.
- 41. Consultation with District Attorney and outside counsel pursuant to Government Code Section 551.071.
- 42. Reconvene in Open Session to take any action necessary on matters discussed in Executive Session.

ADJOURN MEETING

NOTICE

The County Commissioners Court of Waller County reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code Sections 551.071 (Consultation with Attorney), 551.072 (Deliberation about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 Personnel Matters, 551.076 (Deliberations about Security Devices) and 551.086 (Economic Development).



MINUTES

WALLER COUNTY COMMISSIONERS COURT REGULAR SESSION WEDNESDAY – DECEMBER 20, 2023

BE IT REMEMBERED that the Honorable Commissioner's Court of Waller County, Texas, met in **REGULAR SESSION** on Wednesday, the 20th day of December 2023 at its meeting place at the Waller County Joe Kuciemba Annex, Hempstead, Texas.

CALL TO ORDER

The meeting was called to order by Waller County Judge Trey Duhon at 9:05 a.m. with the following members of the Court present to-wit:

Carbett "Trey" J. Duhon III, County Judge
John A. Amsler, Commissioner Precinct 1
Walter Smith, Commissioner Precinct 2
Kendric D. Jones, Commissioner Precinct 3
Justin Beckendorff, Commissioner Precinct 4
Debbie Hollan, County Clerk

Delivery of Invocation by: Commissioner Amsler
Pledge to the American Flag and Texas Flag led by: Commissioner Beckendorff

PUBLIC COMMENT

1. Byron Johnson 2. Danny Rothe 3. Larry Parr

Commissioner Beckendorff made motion to approve agenda, seconded by Commissioner Jones.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler

– Yes

Commissioner Smith

– Yes

Commissioner Jones

– Yes

Commissioner Beckendorff

– Yes

CONSENT AGENDA

Items identified within the Consent Agenda are of a routine nature and will be passed with one vote without being discussed separately. If a member of the court or public requests that a particular item be discussed, that agenda item will be pulled from the Consent Agenda and discussed as part of the regular agenda at the appropriate time. One vote will approve the remaining items on the Consent Agenda.

1. Approval of Minutes – December 13, 2023 Regular Session
2. Request by County Treasurer for approval of Payroll.
3. Request by County Treasurer for approval of payment for retiree insurance.
4. Request by County Treasurer for approval of Treasurer's Monthly Report.

5. Request by County Auditor to approve official documents and all monthly reports.
6. Request by County Auditor for approval and / or ratification of Accounts Payable.
7. Request by County Engineer to approve a Permit to Construct Utility in Waller County Right of Way by Centric Fiber, LLC and Hooks Gas Pipeline for a proposed placement of a 8" HDPE natural gas line joint trenched with two 1.25" fiber conduit lines in the right of way of Morton Rd.
8. Request approval to reject all proposals for Road and Bridge Software Application & Services opened by Commissioners Court on March 8, 2023.

Requests to approve payments on the following:

9. \$7,500.00 for Invoice # 08029 to Brazos Valley Council of Governments from line item 125-525-546900 [BVCOG].
10. \$13,000.00 for Invoice # 1287 to Fort Bend Medical Examiner from line item 125-423-540702 [Autopsy].
11. \$1,984.03 for Invoice #24 to King Architectual Consulting Services to be paid from line-item 604-604-545405 [Professional Services].

Motion to approve Consent Agenda made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler

– Yes

Commissioner Smith

– Yes

Commissioner Jones

– Yes

Commissioner Beckendorff

– Yes

Advanced to Agenda Items #42, and #22

42. Discuss and take action to approve request by the 4-H Horse Club to use the Community Center on a continued basis for the 2nd Tuesday each month for 2024 beginning January 09, 2024.

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler

– Yes

Commissioner Smith

– Yes

Commissioner Jones

– Yes

Commissioner Beckendorff

– Yes

22. Discuss and take action to authorize the County Grant Manager to partner with the Texana Center in order to submit two (2) Mental Health Grant for Justice-Involved Individuals (MHGJII) applications to the Texas Department of Health and Human Services.

Motion made by Commissioner Beckendorff, seconded by Commissioner Jones.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler

– Yes

Commissioner Smith

– Yes

Commissioner Jones

– Yes

Commissioner Beckendorff

– Yes

Proceeded with Agenda Item #12

ECONOMIC DEVELOPMENT

12. Discuss and take action to approve second amendment to the Tax Abatement Agreement with Brookshire Drying Co, Inc. and Texas Rice Milling, Inc. Brookshire Drying Company, Inc. applied for a tax abatement for property owned by Brookshire Drying Company, Inc. The property, located at 1019 Bains, in Brookshire, has been designated as Waller County Brookshire Rice Dryer Reinvestment Zone 7. Brookshire Drying Company, Inc. will construct a rice milling facility on the property at an estimated cost, including real and personal property, of \$6,300,000.

Motion made by Commissioner Jones, seconded by Commissioner Smith.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler – Yes

Commissioner Jones – Yes

Commissioner Smith – Yes

Commissioner Beckendorff – Yes

13. Discuss and take action to terminate two Tax Abatement Agreements for spec buildings with Woods Road Industrial LLC (contract ID # 220928-17a and 220928-17b).

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler – Yes

Commissioner Jones – Yes

Commissioner Smith – Yes

Commissioner Beckendorff – Yes

COUNTY ENGINEER

14. **Public Hearing:** Proposed Major Thoroughfare Plan/Map Amendment, by Thomas C. Sikora, North Pines 1488 LP.

Public Hearing began at 9:53 a.m.

1. Luke Fortkamp – Assistant County Engineer advised there are no objections from Engineering Department.

2. Larry Parr

Public Hearing ended at 9:57 a.m.

15. Discuss and take action to approve the Major Thoroughfare Plan/Map Amendment, by Thomas C. Sikora, North Pines 1488 LP.

Motion made by Commissioner Beckendorff, seconded by Commissioner Jones.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler – Yes

Commissioner Jones – Yes

Commissioner Smith – Yes

Commissioner Beckendorff – Yes

16. Discuss and take action to approve the acceptance of the following three roads in Sunterra Subdivision, Section 22 into the County Road Maintenance System and Release the Maintenance Bond: Inglenook Grove Drive .166 miles
Sonder Shore Drive .117 miles
Camino Cove Court .038 miles.

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler – Yes

Commissioner Jones – Yes

Commissioner Smith – Yes

Commissioner Beckendorff – Yes

17. **Spread** upon the minutes the allotment of 1,609.7 Cubic Yards of RAP material valued at \$32,194.00 for 2024 from the Texas Department of Transportation(TxDOT).

No action required.

Advanced to Agenda Items #19-35

GRANT MANAGER

19. Discuss and take action to authorize the County Grant Manager to submit a Selective Traffic Enforcement Program (STEP)-Commercial Motor Vehicles (CMV) FY2025 Grant Application to the Texas Department of Transportation.

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler – Yes

Commissioner Jones – Yes

Commissioner Smith – Yes

Commissioner Beckendorff – Yes

20. Discuss and take action to authorize the County Grant Manager to submit a Selective Traffic Enforcement Program (STEP)-Comprehensive (COMP) FY2025 Grant Application to the Texas Department of Transportation.

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler – Yes

Commissioner Jones – Yes

Commissioner Smith – Yes

Commissioner Beckendorff – Yes

21. Discuss and take action to accept a grant award in the amount of \$29,620.00 from the United States Department of Justice pursuant to the Bureau of Justice Assistance's FY23 State Criminal Alien Assistance Program (SCAAP).

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler – Yes

Commissioner Jones – Yes

Commissioner Smith – Yes

Commissioner Beckendorff – Yes

22. Court addressed agenda item #22 earlier in the meeting. (page 2)

23. Publicly **open** sealed bids submitted for professional home demolition services associated with the County's CDBG-DR Buyout Program (CDBG-DR Project 20-066-011-C074).

The following bids were opened by the Court:

1. From James W. Turner Construction date received 12.18.2023 at 10:00 a.m.
2. From RNDI Companies, Inc. date received 12.15. 2023 (no time provided)

24. Authorize the County Grant Manager to apply for SB22 Law Enforcement Grant Funds.

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler – Yes

Commissioner Jones – Yes

Commissioner Smith – Yes

Commissioner Beckendorff – Yes

25. Discuss and take action to approve the creation of an Animal Control Administrative position at an hourly rate of \$22.25. Funding to be paid from line item ~~241-595-561209~~ [ARPA Miscellaneous] **241-595-510027 [Staff Salaries]**.

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Judge Duhon made motion to amend 25 to be paid from line item 241-595-510027 [Staff Salaries], seconded by Commissioner Beckendorff.

Amendment carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler – Yes

Commissioner Jones – Yes

Commissioner Smith – Yes

Commissioner Beckendorff – Yes

Amended Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler – Yes

Commissioner Jones – Yes

Commissioner Smith – Yes

Commissioner Beckendorff – Yes

26. Discuss and take action to approve two Court Security Positions in the amount of \$81,862 per position. Funds to be paid from line item ~~241-595-561209 [ARPA Miscellaneous]~~ **241-595-510027 [Staff Salaries]**.

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler

– Yes

Commissioner Smith

– Yes

Commissioner Jones – Yes

Commissioner Beckendorff – Yes

DISTRICT ATTORNEY

27. Discuss and take action to approve at \$15,000 increase in funding for the civil attorney position created on approved on November 15, 2023. Funds to be paid from ~~241-595-561209 [ARPA Miscellaneous]~~ **241-595-510027 [Staff Salaries]**.

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler

– Yes

Commissioner Smith

– Yes

Commissioner Jones – Yes

Commissioner Beckendorff – Yes

28. Discuss and take action to approve the creation of a felony prosecutor supervisor position. Funding to be paid from line item ~~241-595-561209 [ARPA Miscellaneous]~~ **241-595-510027 [Staff Salaries]**.

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler

– Yes

Commissioner Smith

– Yes

Commissioner Jones – Yes

Commissioner Beckendorff – Yes

TREASURER

29. Discuss and take action for annual review and approval of Waller County Investment Policy.

Motion made by Commissioner Beckendorff, seconded by Commissioner Jones.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler

– Yes

Commissioner Smith

– Yes

Commissioner Jones – Yes

Commissioner Beckendorff – Yes

30. Discuss and take action to approve the 2024 Salary Order.

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler

– Yes

Commissioner Smith

– Yes

Commissioner Jones – Yes

Commissioner Beckendorff – Yes

31. Discuss and take action to amend the Personnel Policy Manual.

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler

– Yes

Commissioner Smith

– Yes

Commissioner Jones – Yes

Commissioner Beckendorff – Yes

AUDITOR

32. Discuss and take action to approve 2023 Engagement Letter between Waller County and Rutledge, Crain and Company, PC to be paid from line item 125-411-540700 [Audit].

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler – Yes
Commissioner Jones – Yes

Commissioner Smith – Yes
Commissioner Beckendorff – Yes

33. Discuss and take action to approve annual review of Fund Balance Policy.

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler – Yes
Commissioner Jones – Yes

Commissioner Smith – Yes
Commissioner Beckendorff – Yes

34. Discuss and take action to approve 2023 budget amendments and departmental line-item transfers.

Motion made by Commissioner Beckendorff, seconded by Commissioner Jones.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler – Yes
Commissioner Jones – Yes

Commissioner Smith – Yes
Commissioner Beckendorff – Yes

FIRE MARSHAL

35. Discuss and take action to authorize the County Judge to enter into a contract with H2O Partners relative to the County's Hazard Mitigation Plan Update.

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler – Yes
Commissioner Jones – Yes

Commissioner Smith – Yes
Commissioner Beckendorff – Yes

Advanced to Agenda Items #48-52

48. Discuss and take action to deliberate business and financial issues in executive session based on determination and recommendation from the District Attorney's Office that deliberation in an open meeting regarding business and financial issues related to the purchase, exchange, lease, or value of real properties would have a detrimental effect on the position of the County in negotiations with third persons.

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler – Yes
Commissioner Jones – Yes

Commissioner Smith – Yes
Commissioner Beckendorff – Yes

49. Discuss and take action to deliberate business and financial issues in executive session based on determination and recommendation from the District Attorney's Office that deliberation in an open meeting regarding business and financial issues related to contract negotiations for it would have a detrimental effect on the position of the County in negotiations with third persons.

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler – Yes
Commissioner Jones – Yes

Commissioner Smith – Yes
Commissioner Beckendorff – Yes

EXECUTIVE SESSION

50. Deliberate business and financial issues related to the purchase, exchange, lease or value of real properties pursuant to Government Code Sections 551.072 and 551.0725.

51. Deliberate business and financial issues related to contract negotiations pursuant to Government Code 551.0725.

52. Consultation with District Attorney and outside counsel pursuant to Government Code Section 551.071.

Court convened to Executive Session at 10:45 a.m.
Court reconvened from Executive Session at 12:59 p.m.

Returned to Agenda Item #18

DIRECTOR OF POLICY AND ADMINISTRATION

18. ~~Discuss and take action to advertise RFQ for Program Manager for the Mobility Bond Projects.~~ Item **WITHDRAWN**.

Proceeded with Agenda Item #36

DIRECTOR OF FACILITIES

36. Discuss and take action to approve payment of \$7,379.00 for Estimate # 38113 and \$209.00 for Estimate # 38122 for a total of \$7,588.00 to Automate Shade for window and teller window blinds at the Waller County Joe Kuciamba Annex. Funds to be paid from line-item 604-604-581837 [Swing Space].

Motion made by Commissioner Beckendorff, seconded by Commissioner Jones.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler

– Yes

Commissioner Smith

– Yes

Commissioner Jones – Yes

Commissioner Beckendorff – Yes

37. **Update** on the Macerator for the Waller County Jail.

No action required.

38. Discuss and take action to approve payment of Application #2 for \$247,741.98 to Sedalco from line item 602-602-581838 [WCJC Macerator].

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler

– Yes

Commissioner Smith

– Yes

Commissioner Jones – Yes

Commissioner Beckendorff – Yes

39. **Update** on the construction phase of the Waller County Courthouse Replacement and Annex Project.

No action required.

40. Discuss and take action to approve payment of Application #13 for \$1,274,173.50 to Sedalco to be paid from the following:
 \$494,827.02 from line-item 604-604-545405 [Professional Services]
 \$678,282.90 from line-item 604-604-581000 [Bldg Purch, Const, or Improv]
 \$101,063.58 from line-item 604-604-581837 [Swing Space].

Motion made by Commissioner Beckendorff, seconded by Commissioner Jones.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler

– Yes

Commissioner Smith

– Yes

Commissioner Jones – Yes

Commissioner Beckendorff – Yes

41. Discuss and take action to approve Lease Agreement and ~~payment~~ **in total amount of** \$22,924.86 for Agreement # Q-1605365 and **payment of** \$3,483.49 for Invoice # 9019616565 for a total of \$26,408.35 to Williams Scotsman Inc. for CCL#2 temporary office space. Funds to be paid from line item 604-604-581837 [Swing Space].

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Judge Duhon made motion to amend to approve lease agreement in total amount of \$22,924.86 and payment of \$3,483.49, seconded by Commissioner Smith.

Amendment carried by 5-0 vote.

Judge Trey Duhon – Yes	Commissioner Amsler – Yes	Commissioner Smith – Yes
	Commissioner Jones – Yes	Commissioner Beckendorff – Yes

Amended Motion carried by 5-0 vote.

Judge Trey Duhon – Yes	Commissioner Amsler – Yes	Commissioner Smith – Yes
	Commissioner Jones – Yes	Commissioner Beckendorff – Yes

MISCELLANEOUS

42. Court addressed agenda item #42 earlier in the meeting. (page 2)

43. ~~Discuss and take action on RFP for outside counsel for mobility bond projects.~~
Item WITHDRAWN.

44. Discuss and take action to approve Interlocal Agreement with Harris County for Performance of Postmortem Examinations by Harris County Institute of Forensic Sciences.

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes	Commissioner Amsler – Yes	Commissioner Smith – Yes
	Commissioner Jones – Yes	Commissioner Beckendorff – Yes

45. Discuss and take action to approve official bond and oaths for Elected Officials.

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes	Commissioner Amsler – Yes	Commissioner Smith – Yes
	Commissioner Jones – Yes	Commissioner Beckendorff – Yes

46. Discuss and take action to approve Drainage Right-Of-Way Easement from WCF, LLC (Houston Executive Airport) and related agreement for Cardiff Road.

Motion made by Commissioner Beckendorff, seconded by Commissioner Jones.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes	Commissioner Amsler – Yes	Commissioner Smith – Yes
	Commissioner Jones – Yes	Commissioner Beckendorff – Yes

47. Discuss and take action to approve the IRS standard mileage rate for business travel at 67 cents per mile for 2024.

Motion made by Commissioner Jones, seconded by Commissioner Beckendorff.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes	Commissioner Amsler – Yes	Commissioner Smith – Yes
	Commissioner Jones – Yes	Commissioner Beckendorff – Yes

48. Court addressed agenda item #48 earlier in the meeting. (page 6)

49. Court addressed agenda item #49 earlier in the meeting. (page 6)

EXECUTIVE SESSION

50. Court addressed agenda item #50 earlier in the meeting. (page 6)

51. Court addressed agenda item #51 earlier in the meeting. (page 6)

52. Court addressed agenda item #52 earlier in the meeting. (page 7)

53. Reconvene in Open Session to take any action necessary on matters discussed in Executive Session.

Commissioner Amsler moved to approve acquisition agreement with Alberta Diemer Ranch LLC, owners of Property Id #8683 for the Diemer Road realignment project, seconded by Commissioners Jones.

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler – Yes

Commissioner Jones – Yes

Commissioner Smith – Yes

Commissioner Beckendorff – Yes

ADJOURN MEETING

Motion to **adjourn** meeting by Commissioner Amsler, seconded by Commissioner Jones

Motion carried by 5-0 vote.

Judge Trey Duhon – Yes

Commissioner Amsler – Yes


Commissioner Jones – Yes

Commissioner Smith – Yes

Commissioner Beckendorff – Yes

Meeting was **ADJOURNED** at 1:30 p.m.

I **ATTEST** that the above proceedings are the true and correct minutes taken in my capacity as
Ex-Officio for the Commissioners' Court of Waller County.


Debbie Hollan
Waller County Clerk

APPROVED this the 10th day of January 2024.

Carbett "Trey" J. Duhon, III
County Judge

WALLER COUNTY

Yancy Scott, P.E., CFM
County Engineer

MEMORANDUM



To: Honorable Commissioners' Court

Item: Final RePlat Approval for Sunterra Section 14 Partial Replat No.1

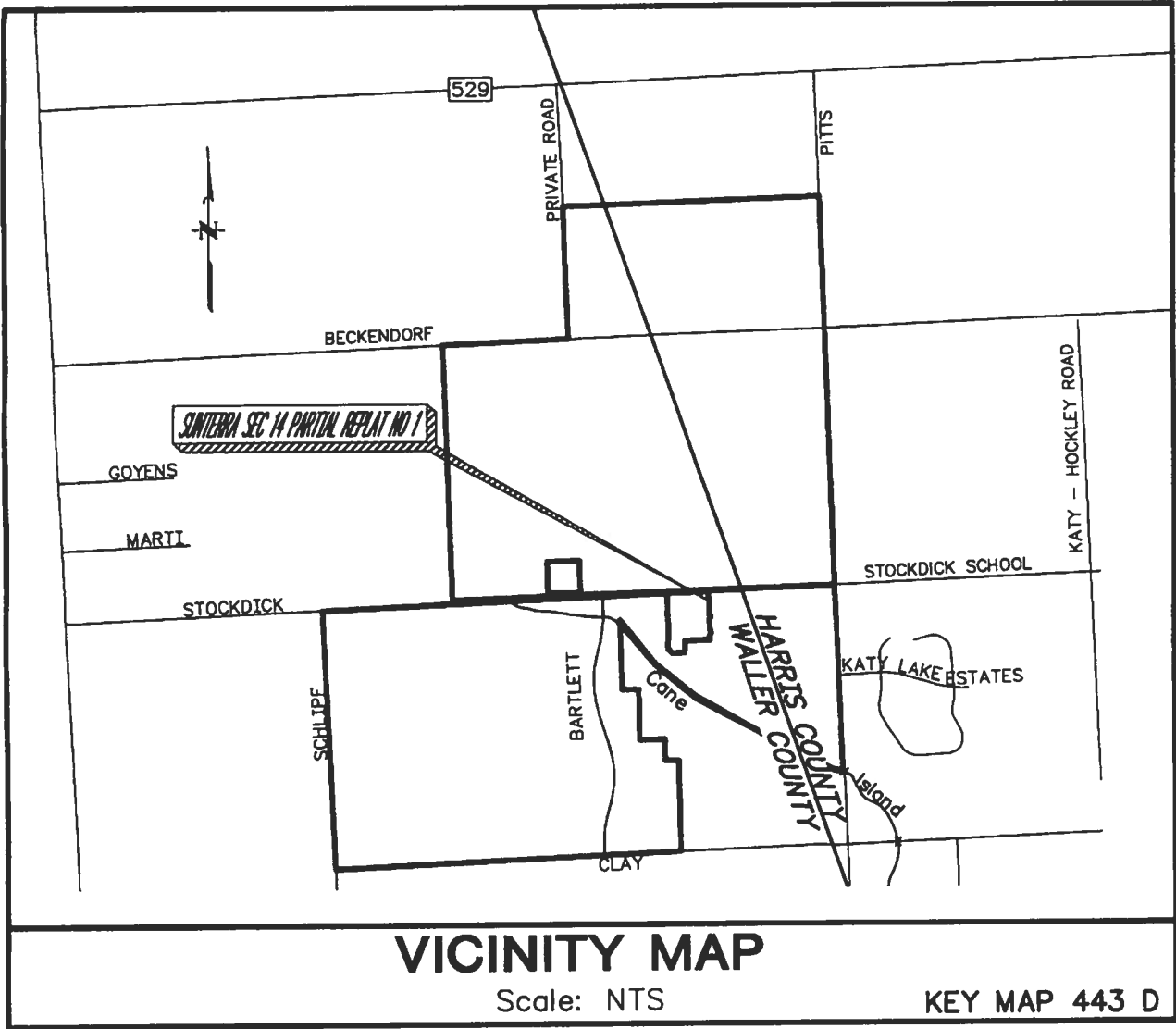
Date January 10, 2024

Background

Final RePlat of Sunterra Section 14 Partial Replat No. 1 street name change Sunset Gables Drive to Sunrise Gables Drive in Precinct 3.

Staff Recommendation

Approve Plat



SUNTERRA

SEC 14 PARTIAL REPLAT NO 1

A SUBDIVISION OF 0.10 ACRE OF LAND
BEING A REPLAT OF THE RIGHT-OF-WAY OF 'SUNSET GABLES DRIVE',
SUNTERRA SEC 14, RECORDED UNDER C.C.F. NO. 2206152
OUT OF THE
J. W. MCCUTCHEON SURVEY SECTION 130, A-308
WALLER COUNTY, TEXAS
JANUARY 2023
REASON FOR REPLAT: TO CHANGE STREET NAME
'SUNSET GABLES DRIVE' TO 'SUNRISE GABLES DRIVE'

BKDD Permit No. 2021-62 REVISED

DATE: JANUARY 2023

SCALE: NTS

SHEET 1A OF 1

SUNTERRA
SEC 14 PARTIAL
REPLAT NO. 1

OWNER/DEVELOPER:
ASTRO SUNTERRA, LP
a Delaware Limited Partnership
2450 Fondren Road, Suite 210
HOUSTON, TEXAS 77063
(713) 783-6702
Sobryant@andtejas.com

ENGINEER/PLANNER/SURVEYOR:

 **QUIDDITY**
Quiddity Engineering, LLC

Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100
61229 Corporate Drive, Rosenberg, Texas 77471 281.342.2033

Cjamnik@quiddity.com

K:\16537\16537-0036-00 Sunterra 14 WS&D & Paving_Plotting\2 Design Phase\Planning\REPLAT\PR SUNTERRA SEC 14.dwg Nov 28, 2023 - 1:10pm CKJ

A METES & BOUNDS description of an 0.10 acre strip of land in the J. W. McCutcheon Survey Section 130, Abstract 308, Waller County, Texas, being over, through and across Sunterra Sec 14, according to map or plat thereof recorded under County Clerk's File Number 2206152, Official Public Records, Waller County, Texas, with all bearings based upon the Texas Coordinate System of 1983, South Central Zone, based upon GPS observations.

Beginning at a ¾ inch iron rod with cap marked "Quiddity" found for the northeast corner and Place of Beginning of the herein described tract, same being an angle point in the east line of said Sunterra Sec 14 and the west line of Sunterra Sec 15, according to map or plat thereof recorded under County Clerk's File Number 2206153, Official Public Records, Waller County, Texas, being in the east right-of-way line of Del Sol Ridge Lane (50-Foot Wide) and the north right-of-way line of Sunset Gables Drive (50-Foot Wide), and being in a curve to the left;

Thence along the easterly line of the herein described tract, being the east line of said Sunterra Sec 14, and the west line of said Sunterra Sec 15, to points at the following courses and distances:

Thence with said curve to the left, having a central angle of 90 degrees 00 minutes 00 seconds, an arc length of 39.27 feet, a radius of 25.00 feet, and a chord bearing South 47 degrees 01 minute 40 seconds East, 35.36 feet to a found ¾ inch iron rod with cap marked "Quiddity";

South 02 degrees 01 minute 40 seconds East, crossing said Sunset Gables Drive, 50.00 feet to a found ¾ inch iron rod with cap marked "Quiddity", being in the south right-of-way line of said Sunset Gables Drive, and being in a non-tangent curve to the left;

Thence with said non-tangent curve to the left, having a central angle of 90 degrees 00 minutes 00 seconds, an arc length of 39.27 feet, a radius of 25.00 feet, and a chord bearing South 42 degrees 58 minutes 20 seconds West, 35.36 feet to a ¾ inch iron rod with cap marked "Quiddity" found for the southeast corner of the herein described tract, being in the south right-of-way line of said Sunset Gables Drive and the east right-of-way line of the aforementioned Del Sol Ridge Lane;

Thence South 87 degrees 58 minutes 20 seconds West establishing the south line of the herein described tract, crossing said Del Sol Ridge Lane, 30.00 feet to a point for the southwest corner of the herein described tract, being in the centerline of said Del Sol Ridge Lane;

Thence North 02 degrees 01 minute 40 seconds West along the west line of the herein described tract, being the centerline of said Del Sol Ridge Lane, 100.00 feet to the northwest corner of the herein described tract;

Thence North 87 degrees 58 minutes 20 seconds East establishing the north line of the herein described tract, 30.00 feet to the Place of Beginning and containing 0.10 acre of land, more or less.

Line Table		
Line	Bearing	Distance
L1	N87°58'20"E	30.00'
L2	S02°01'40"E	50.00'
L3	S87°58'20"W	30.00'
L4	N02°01'40"W	100.00'
L5	N87°58'20"E	55.00'

Curve Table						
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C1	25.00'	90°00'00"	39.27'	S47°01'40"E	35.36'	25.00'
C2	25.00'	90°00'00"	39.27'	S42°58'20"W	35.36'	25.00'

DATE: JANUARY 2023

SCALE NTS

SHEET 18 OF 1

SUNTERRA
SEC 14 PARTIAL
REPLAT NO. 1

OWNER/DEVELOPER:
ASTRO SUNTERRA, LP
a Delaware Limited Partnership
2450 Fondren Road, Suite 210
HOUSTON, TEXAS 77063
(713) 783-6702
Sobryant@landtejas.com

ENGINEER/PLANNER/SURVEYOR:



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Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100
61229 Corporate Drive Rosenberg, Texas 77471 281.342.2033

Cjarnik@quiddity.com

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General Notes:

- AE "Aerial Easement"
- BL "Building Line"
- C.C.F. "County Clerk's File"
- D.R.H.C.T. "Deed Records, Harris County, Texas"
- GBL "Garage Building Line"
- No "Number"
- O.P.R.W.C.T. "Official Public Records, Waller County, Texas"
- O.P.R.R.P.H.C.T. "Official Public Records of Real Property, Harris County, Texas"
- ROW "Right-of-Way"
- SSE "Sanitary Sewer Easement"
- Sq Ft "Square Feet"
- UE "Utility Easement"
- Vol - Pg - "Volume and Page"
- WLE "Waterline Easement"
- "Set 3/4-Inch Iron Rod With Cap Stamped
"James[Carter]" as Per Certification"
- ① "Block Number"
- ↗ "Street Name Break"

- 1. One-foot reserve dedicated for buffer purposes to the public in fee as a buffer separation between the side or end of street where such streets abut adjacent property, the condition of such dedication being that when the adjacent property is subdivided or re-subdivided in a recorded plat, the one-foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and vest in the dedicator, his heirs, assigns or successors.
- 2. This subdivision is proposed for single-family residential, detention, and other related uses.
- 3. The radius on all block corners is 25 feet, unless otherwise noted.
- 4. All easements are centered on lot lines unless otherwise shown. All 14 foot utility easements shown extend 7 feet on each side of a common lot line unless otherwise indicated.
- 5. With respect to recorded instruments within this plat, surveyor relied on City Planning Letter Issued by Charter Title Company, GF No. 1076601800196A, Dated March 13, 2022.
- 6. All coordinates shown are grid based on the Texas Coordinate System of 1983, South Central Zone, and may be converted to surface by applying by the combined scale factor of 0.99989805999.
- 7. All bearings are based on the Texas Coordinate System of 1983, South Central Zone, based upon GPS observations.
- 8. A minimum of ten (10) feet shall be provided between sides of residential dwellings.
- 9. New development within the subdivision plat shall obtain a storm water quality permit before the issuance of any development permits.
- 10. Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing.
- 11. Structures built on lots in the designated flood plain shall be elevated to two (2) feet or more above the 500-year floodplain elevation, in the 100-year floodplain. Within the 500-year, these structures must be elevated to one (1) foot above the 500-year floodplain level. No development permits will be issued in a Flood Hazard Area below the base flood elevation (B.F.E.) Contact the County Engineer's office for specific information.
- 12. No structure in this subdivision shall be occupied until connected to a public sewer system.
- 13. No structure in this subdivision shall be occupied until connected to an individual water supply or a state - approved community water system.
- 14. This tract lies within Zone "AE" with defined BFE, and Zone "X Shaded" of the Flood Insurance Rate Map, Community No. 480640, Map Number 48473C0375E, Panel 0375, suffix "E" dated February 18, 2009 and revised under LOMR 19-06-1115P dated April 27, 2020 for Waller County, Texas and incorporated areas. Zone AE; is defined as special flood hazard areas subject to inundation by the 1% annual chance flood event (100-year flood) with Base Flood Elevations determined. Shaded Zone X; is defined as areas of the 0.2% annual chance flood (500-year flood); areas of 1% annual chance flood (100-year flood) with average depths of less than one foot or with drainage areas less than one square mile.
- 15. Unless otherwise indicated, the building line (B.L.), whether one or more, shown on this subdivision plat are established to evidence compliance with the applicable provisions of Chapter 42, Code of Ordinances, City of Houston, Texas, in effect at the time this plat was approved, which may be amended from time to time.
- 16. Single Family Residential shall mean the use of a lot with one building designed for and containing no more than two separate units with facilities for living, sleeping cooking and eating therein. A lot upon which is located a free-standing building containing one dwelling unit and a detached secondary dwelling unit of no more than 900 square feet also shall be considered single family residential. A building that contains one dwelling unit on one lot that is connected by a party wall to another building containing one dwelling unit on an adjacent lot shall be single family residential.
- 17. Each lot shall provide a minimum of two off-street parking spaces per dwelling unit on each lot. In those instances where a secondary unit is provided only one additional space shall be provided.
- 18. Right-of-way easements for widening streets or improving drainage shall be maintained by the landowner until all street or drainage improvements are actually constructed on the property. The county has the right at any time to take possession of any street widening easement for construction, improvement or maintenance.
- 19. The building of all streets, bridges or culverts is the responsibility of the owners in accordance with the plans prescribed by the Commissioners Court. The Commissioners Court assumes no obligation to build or maintain any of the streets shown on the plat or constructing any of the bridges or drainage improvements. Upon completion of all obligations by the developer and written approval from the Commissioners Court, the County will assume full responsibility for maintenance of the public streets. The county will assume no responsibility for the drainage ways or easements in the subdivision, other than those draining or protecting the streets. The county assumes no responsibility for the accuracy of representations by other parties on the plat. Flood plain data, in particular, may change depending on subsequent development. The owners of land covered by this plat must install at their own expense all traffic control devices and signage that may be required before the streets in the subdivision have finally been accepted for maintenance by the county. The property subdivided herein is further restricted in its use as specified under the terms and conditions of restrictions filed separately. A copy of said restrictions will be furnished by aforesaid Astro Sunterra, L.P., a Delaware Limited Partnership, to the purchaser of each and every lot in the subdivision prior to culmination of each sale include certification that the subdivider has complied with the requirements of section 232.032 and that:
 - (a) the water quality and connections to the lots meet, or will meet, the minimum state standards;
 - (b) sewer connections to the lots or septic tanks meet, or will meet, the minimum requirements of state standards;
 - (c) electrical connections provided to the lot meet, or will meet, the minimum state standards; and
 - (d) gas connections, if available, provided to the lot meet, or will meet, the minimum state standards.
- 20. Project site is within City of Houston ETJ.
- 21. No pipeline or pipeline easement exist within the boundaries of this plat.
- 22. TBM "7523" being a set cotton picker spindle. Located in the South edge of asphalt of Clay Road, being +/- 6,946' East of the Intersection of Clay Road and Schilpf Road, and +/- 3,601' West of the Intersection of Clay Road and Pitts Road. Elevation = 159.03' (NAVD88, 2001 Adjustment).
- 23. All lots shall have adequate wastewater collection service.
- 24. Tract is subject to Declaration of Covenants, Conditions, and Restrictions recorded under C.C.F. NOS. 2100543, 2108796, 2109155, 2110496, 2112608, 2113020, and 2115251, O.P.R.W.C.T.
- 25. Tract is subject to Grant of Easement and Surface Use Agreement recorded under C.C.F. NOS. 1910726 and 2007577, O.P.R.W.C.T.
- 26. Tract is subject to Agreement for Underground Electric Service recorded under C.C.F. NO. 2202206, O.P.R.W.C.T.
- 27. Tract is subject to Detention Facilities Maintenance Agreement recorded under C.C.F. NOS. 2009285, 2200987, 2200988, 2200989, 2200990, and 2202918, O.P.R.W.C.T.

DATE: JANUARY 2023

SCALE NTS

SHEET 1C OF 1

SUNTERRA
SEC 14 PARTIAL
REPLAT NO. 1

OWNER/DEVELOPER:
ASTRO SUNTERRA, LP
a Delaware Limited Partnership
2450 Fondren Road, Suite 210
HOUSTON, TEXAS 77063
(713) 783-6702
Sobryant@andtejas.com

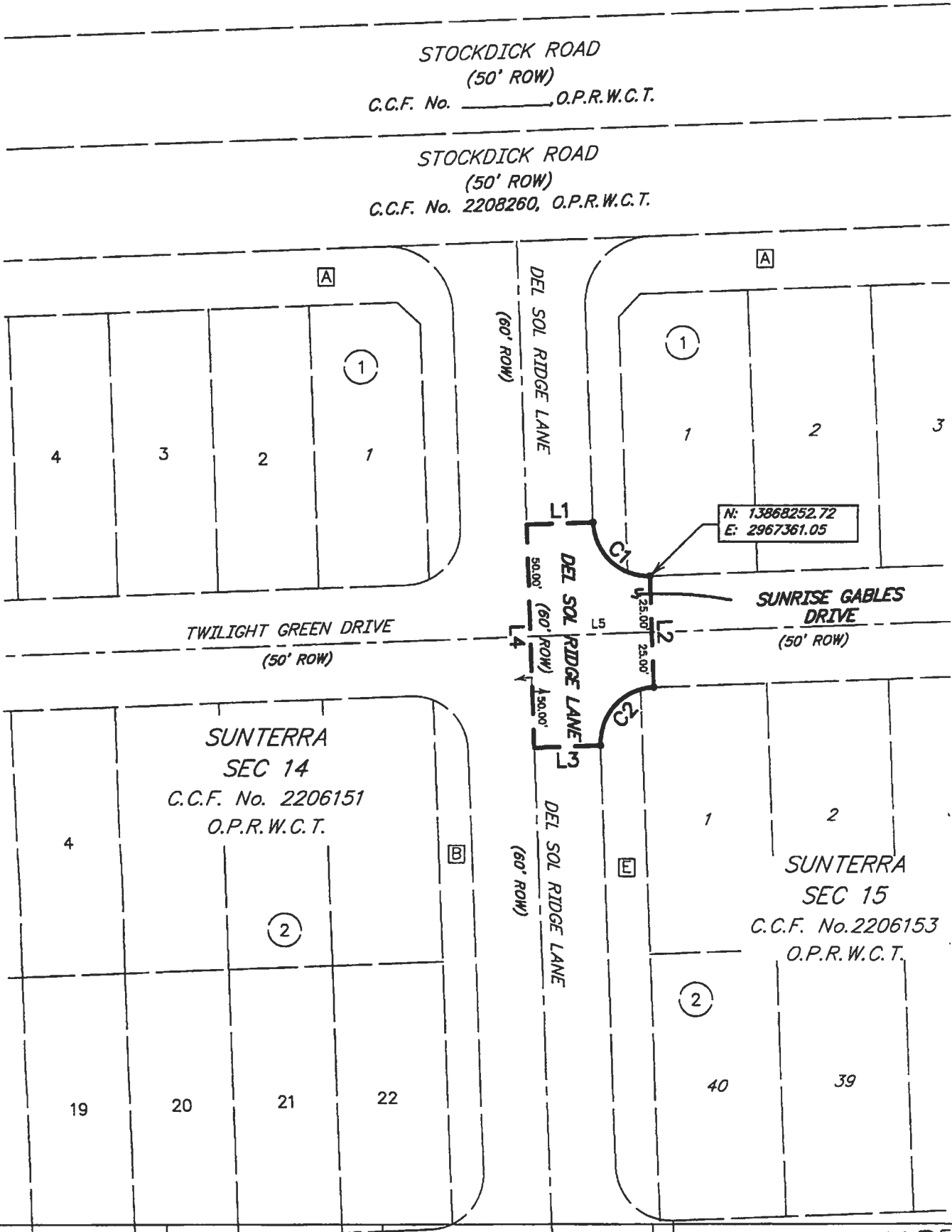
ENGINEER/PLANNER/SURVEYOR:



QUIDDITY

Quiddity Engineering, LLC
Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23190 & 10046100
61229 Corporate Drive, Rosenberg, Texas 77471 281.342.2033

Cjarnik@quiddity.com



DATE: JANUARY 2023

SCALE NTS

SHEET 10 OF 1

SUNTERRA
SEC 14 PARTIAL
REPLAT NO. 1

OWNER/DEVELOPER:
ASTRO SUNTERRA, LP
a Delaware Limited Partnership
2450 Fondren Road, Suite 210
HOUSTON, TEXAS 77063
(713) 783-6702
Sabryant@landtejas.com

ENGINEER/PLANNER/SURVEYOR:

QUIDDITY
Quiddity Engineering, LLC
Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-13290 & 10046100
81229 Corporate Drive Rosenberg, Texas 77471 281.342.3033

Cjornik@quiddity.com


K:\16537\16537-0036-00 Sunterra 14 WS&D & Paving Platting\2. Design Phase\Planning\REPLAT\PR SUNTERRA SEC 14.dwg Dec 04, 2023 -- 2:23pm CKJ

Certificate of Surveyor
This is to certify that I, Chris D. Kalkomey, a Registered Professional Land Surveyor of the State of Texas, have platted the above subdivision from an actual survey on the ground; and that all block corners, lot corners and permanent referenced monuments have been set, that permanent control points will be set at completion of construction and that this plat correctly represents that survey made by me.

A portion of this subdivision lies within the boundaries of any municipality's corporate city limits, or area of extra territorial jurisdiction.


A portion of this subdivision lies within the boundaries of the 1% annual chance (100 year) flood plain as delineated on Waller County Community Panel #480640 dated 2/18/2009, and revised in LOMR 19-06-1115P dated 4/27/2020.


A portion of this subdivision lies within the boundaries of the 0.2% annual chance (500 year) flood plain as delineated on Waller County Community Panel #480640 dated 2/18/2009, and revised in LOMR 19-06-1115P dated 4/27/2020.


Chris D. Kalkomey
Registered Professional Land Surveyor
Texas Registration No. 5869




This is to certify that the Planning Commission of the City of Houston, Texas, has approved this plat and subdivision of Sunterra Section 14 Partial Replat No 1 in conformance with the laws of the State of Texas and the ordinances of the City of Houston, as shown hereon, and authorized the recording of this plat this 30th day of January, 2023.

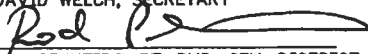
By: 
Martha L. Stein or M. Sonny Garza
Chair Vice Chairman

By: 
Margaret Wallace Brown, AICP, CNU-A
Secretary



BROOKSHIRE- KATY DRAINAGE DISTRICT
APPROVED BY THE BOARD OF SUPERVISORS ON

1-9-23
DATE

ARNOLD ENGLAND, PRESIDENT

DAVID WELCH, SECRETARY

ROD PINHEIRO, PE, PMP, CFM, DISTRICT ENGINEER

THE ABOVE HAVE SIGNED THESE PLANS AND/OR PLAT BASED ON THE RECOMMENDATION OF THE DISTRICT'S ENGINEER WHO HAS REVIEWED ALL SHEETS PROVIDED AND FOUND THEM TO BE IN GENERAL COMPLIANCE WITH THE DISTRICT'S "RULES, REGULATIONS, AND GUIDELINES". THIS APPROVAL IS ONLY VALID FOR THREE HUNDRED SIXTY-FIVE (365) CALENDAR DAYS. AFTER THAT TIME RE-APPROVAL IS REQUIRED. PLEASE NOTE, THIS DOES NOT NECESSARILY MEAN THAT ALL THE CALCULATIONS PROVIDED IN THESE PLANS AND/OR PLATS HAVE BEEN COMPLETELY CHECKED AND VERIFIED. PLANS SUBMITTED HAVE BEEN PREPARED, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE ENGINEERING IN THE STATE OF TEXAS AND PLAT HAS BEEN SIGNED AND SEALED BY A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE OF TEXAS, WHICH CONVEYS THE ENGINEER'S AND/OR SURVEYOR'S RESPONSIBILITY AND ACCOUNTABILITY.

BROOKSHIRE- KATY DRAINAGE DISTRICT Permit No. 2021-62 REVISED

DATE: JANUARY 2023	SUNTERRA SEC 14 PARTIAL REPLAT NO. 1	OWNER/DEVELOPER: ASTRO SUNTERRA, LP a Delaware Limited Partnership 2450 Fondren Road, Suite 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@andtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 61229 Corporate Drive Rosenberg, Texas 77471 281.342.2013</small> Cjamnik@quiddity.com
SCALE NTS			
SHEET 1E OF 1			

STATE OF TEXAS §
COUNTY OF WALLER §

We, Astro Sunterra, L.P., a Delaware Limited Partnership, acting by and through Melanie Ohl, Authorized Signer, owner hereinafter referred to as Owners of the 0.10 acre tract described in the above and foregoing map of Sunterra Sec 14 Partial Replat No 1, do hereby make and establish said subdivision and development plan of said property according to all lines, dedications, restrictions, and notations on said maps or plat and hereby dedicate to the use of the public forever, all streets (except those streets designated as private streets, or permanent access easements), alleys, parks, water courses, drains, easements and public places shown thereon for the purposes and considerations therein expressed; and do hereby bind ourselves, our heirs, successors and assigns to warrant and forever defend the title on the land so dedicated.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional eleven feet, six inches (11' 6") for ten feet (10' 0") perimeter ground easements or seven feet, six inches (7' 6") for fourteen feet (14' 0") perimeter ground easements or five feet, six inches (5' 6") for sixteen feet (16' 0") perimeter ground easements, from a plane sixteen feet (16' 0") above the ground level upward, located adjacent to and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals twenty one feet, six inches (21' 6") in width.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional ten feet (10' 0") for ten feet (10' 0") back-to-back ground easements, or eight feet (8' 0") for fourteen feet (14' 0") back-to-back ground easements or seven feet (7' 0") for sixteen feet (16' 0") back-to-back ground easements, from a plane sixteen feet (16' 0") above ground level upward, located adjacent to both sides and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals thirty feet (30' 0") in width.

FURTHER, we do hereby certify that we are the owners of all property immediately adjacent to and adjoining the boundaries of the above and foregoing subdivision, Sunterra where public utility easements are to be established outside the boundaries of the above and foregoing subdivision and to hereby make and establish and dedicated to the use of the public utilities forever all public utility easements show in said adjacent acreage.

FURTHER, Owners hereby certify that this replat does not attempt to alter, amend, or remove any covenants or restrictions.

FURTHER, all of the property subdivided in the above and foregoing plat shall be restricted in its use, which restrictions shall run with the title to the property and shall be enforceable at the option of Waller County, by Waller County, or any citizen thereof, by injunction as follows:

- 1. That drainage of septic tanks into roads, streets, alleys or public ditches, streams, ect., either directly or indirectly is strictly prohibited.
- 2. All stock animals, horses and fowl, shall be fenced in and not allowed to run at large in the subdivision.
- 3. Drainage structures under private drives shall have a new drainage opening area of sufficient size to permit the free flow of water without backwater and shall be a minimum of one and three quarters (1-1/4) square feet (15" diameter pipe) reinforced concrete pipe, unless specified by the County Road Administrator or County Engineer. Culverts and bridges must be used for all driveway and/or walks, although dip-style driveways are encouraged where appropriate.
- 4. Property owners will obtain Development Permits/Permit Exemptions from the County Flood Plain Administrator for all development.
- 5. There are no underground pipelines within the confines of the subdivision except as shown on the plat.
- 6. There shall be no sanitary sewer systems or any water well constructed within 50 feet of any lot line that does not adjoin with a public road.

IN TESTIMONY WHEREOF, the Astro Sunterra, L.P., a Delaware Limited Partnership has caused these presents to be signed by Melanie Ohl, its Authorized Signer, thereunto authorize, this 20th day of January 2023.

Astro Sunterra, L.P.,
a Delaware Limited Partnership

By: Astro Sunterra GP LLC
a Delaware Limited Liability Company,
Its General Partner

By: Melanie Ohl
By: Melanie Ohl
Title: Authorized Signer

STATE OF TEXAS §
COUNTY OF HARRIS §

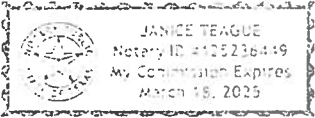
BEFORE ME, the undersigned authority, on this day personally appeared Melanie Ohl, Authorized Signer known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 20th day of January 2023.

Janice Teague
Notary Public in and for the State of Texas

Janice Teague
Print Name

My commission expires: 03/18/2025



DATE: JANUARY 2023	SUNTERRA SEC 14 PARTIAL REPLAT NO. 1	OWNER/DEVELOPER: ASTRO SUNTERRA, LP a Delaware Limited Partnership 2450 Fondren Road, Suite 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@andtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration No. 7-210712 & 12-210712 43279 Corporate Drive - Houston, Texas 77071 281-952-2013</small> Cjarnik@quiddity.com
SCALE NTS			
SHEET 1F OF 1			

K:\16537\16537-0036-00 Sunterra 14 WS&D & Paving\Plotting\2 Design Phase\Planning\REPLAT\PR SUNTERRA SEC 14.dwg Jan 20, 2023 - 9:41am CKJ

I, J. Ross McCall, County Engineer of Waller County, Certify that the Plat of this subdivision complies with all existing rules and regulations of Waller County.

No construction or other development within this subdivision may begin until all Waller County permit requirements have been met.

1-4-24
Date

J. Ross McCall
County Engineer

STATE OF TEXAS 5
COUNTY OF WALLER 5

I, Debbie Hollan, County Clerk in and for Waller County, Texas do hereby certify that the foregoing instrument with its certificate of authentication was filed for recordation in my office on _____, 2022, at _____ o'clock ____M In File No. _____ of the Plat Records of said County. Witness my hand and seal of office, at Hempstead, Texas, the day and date last above written.

Debbie Hollan
Waller County,
Texas

By: _____
Deputy

CERTIFICATE OF COMMISSIONERS COURT

APPROVED by the Commissioners' Court of Waller County, Texas, this _____ day of _____, 2023.

Carbett "Trey" J. Duhon III
County Judge

John A. Amsler
Commissioner, Precinct 1

Kendric D. Jones
Commissioner, Precinct 3

Walter E. Smith, P.E., RPLS
Commissioner, Precinct 2

Justin Beckendorff
Commissioner, Precinct 4

NOTE: Acceptance of the above plat by the Commissioners Court does not signify Waller County acceptance of the dedicated roads for integration into the County Road System. The developer is required to comply with Sections 5 and 6 of the current Waller County Subdivision and Development Regulations, in this regard.

DATE: JANUARY 2023

SCALE NTS

SHEET 1G OF 1

SUNTERRA
SEC 14 PARTIAL
REPLAT NO. 1

OWNER/DEVELOPER:
ASTRO SUNTERRA, LP
a Delaware Limited Partnership
2450 Fondren Road, Suite 210
HOUSTON, TEXAS 77063
(713) 783-6702
Sobryant@andtejas.com

ENGINEER/PLANNER/SURVEYOR:



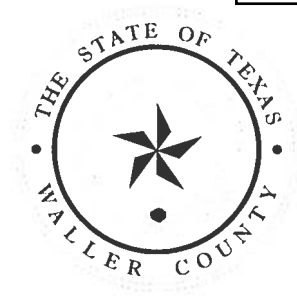
QUIDDITY

Quiddity Engineering, LLC
Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-237722 & 10046100
61219 Corporate Drive, Houston, Texas 77071 281.342.7213

Cjamnik@quiddity.com

WALLER COUNTY

Yancy Scott, P.E., CFM
County Engineer



MEMORANDUM

To: Honorable Commissioners' Court

Item: Final RePlat Approval for Sunterra Section 16 Partial Replat No.1

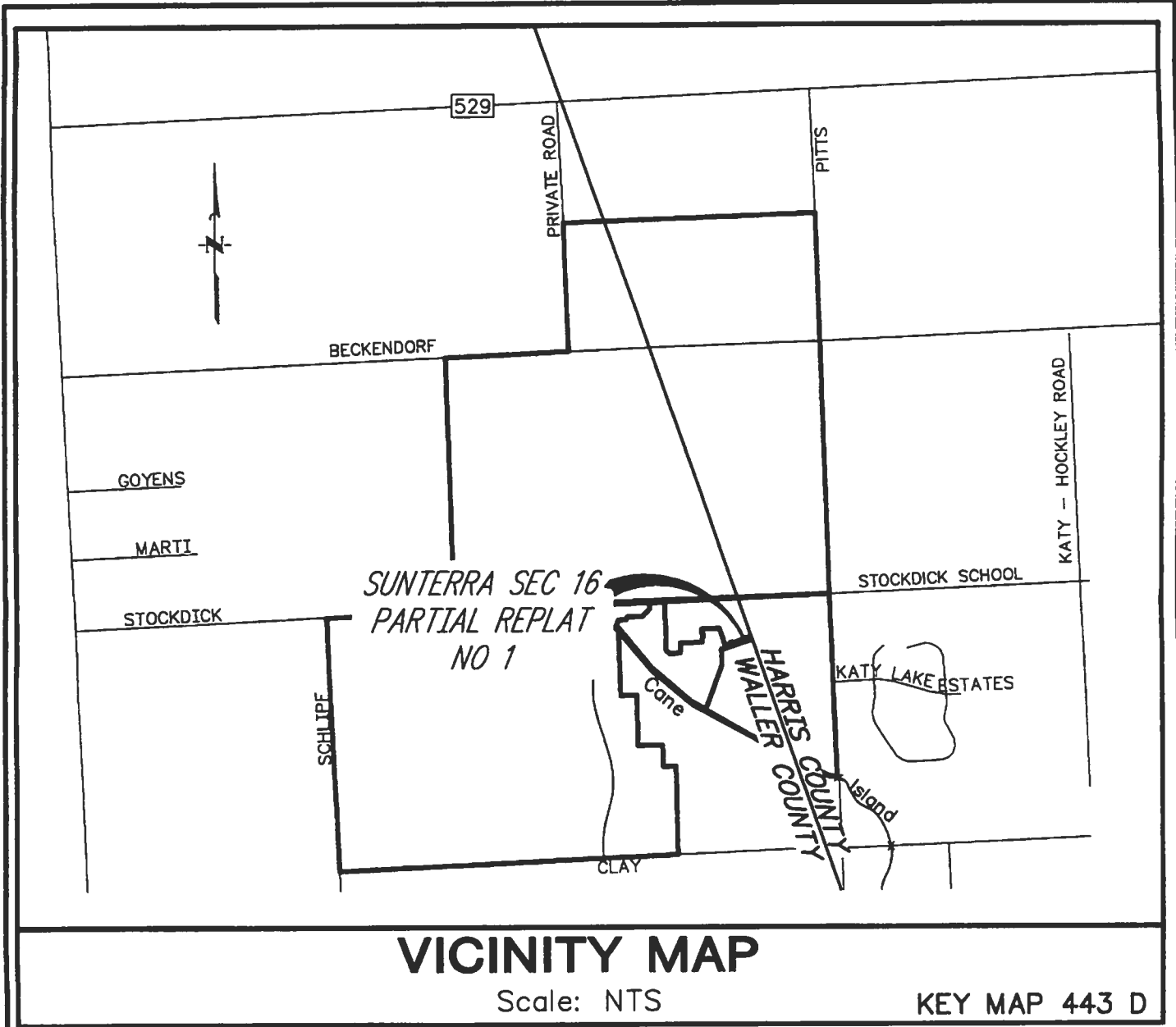
Date January 10, 2024

Background

Final RePlat of Sunterra Section 16 Partial Replat No. 1 street name change Sunset Gables Drive to Sunrise Gables Drive in Precinct 3.

Staff Recommendation

Approve Plat



VICINITY MAP

Scale: NTS

KEY MAP 443 D

SUNTERRA

SEC 16

PARTIAL REPLAT NO 1

A SUBDIVISION OF 0.04 ACRE OF LAND
BEING A REPLAT OF THE RIGHT-OF-WAY OF "SUNSET
GABLES DRIVE", SUNTERRA SEC 16, RECORDED UNDER C.C.F.
NO. 2206154
OUT OF THE
J. W. MCCUTCHEON SURVEY SECTION 130, A-308
WALLER COUNTY, TEXAS

NOVEMBER 2022

REASON FOR REPLAT: TO CHANGE STREET NAME
"SUNSET GABLES DRIVE" TO "SUNRISE GABLES DRIVE"

BKDD Permit No. 2021-64 REVISED

DATE: NOVEMBER 2022	SUNTERRA SEC 16 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sabryant@andtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 61229 Corporate Drive Rosenberg, Texas 77471 281.347.2013 mahernandez@quiddity.com</small>
SCALE NTS			
SHEET 1A OF 1			

K:\1853\1853-0039-00 Sunterra Section 16 W&S & Paving_Plat\1853-0039-00 Sunterra Section 16.dwg Nov 28, 2023 8:02am CKJ

STATE OF TEXAS §
COUNTY OF WALLER §

A METES & BOUNDS description of an 0.04 acre strip of land in the J. W. McCutcheon Survey, Section 130, Abstract 308, Waller County, Texas, being over, through and across Sunterra Sec 16, according to map or plat thereof recorded under County Clerk's File Number 2206154, Official Public Records, Waller County, Texas, with all bearings based upon the Texas Coordinate System of 1983, South Central Zone, based upon GPS observations.

Commencing at a 3/4 inch iron rod with cap marked "Quiddity" found for angle point in the east line of said Sunterra Sec 16, same being the southeast corner of the adjoining Sunterra Sec 15, according to map or plat thereof recorded under County Clerk's File Number 2206153, Official Public Records, Waller County, Texas, being in the north right-of-way line of Sol Bend Drive (60-foot wide) and being in a non-tangent curve to the left;

Thence along the northerly line of said Sunterra Sec 16, the north right-of-way line of Sol Bend Drive, and the south line of said adjoining Sunterra Sec 15, with the following courses and distances:

Thence with said non-tangent curve to the left, having a central angle of 00 degrees 13 minutes 59 seconds, an arc length of 2.16 feet, a radius of 530.00 feet, and a chord bearing South 71 degrees 11 minutes 53 seconds West, 2.16 feet to a 3/4 inch iron rod with cap marked "Quiddity" found;

South 71 degrees 04 minutes 53 seconds West, 92.85 feet to a 3/4 inch iron rod with cap marked "Quiddity" found for the east corner and Place of Beginning of the herein described tract;

Thence South 71 degrees 04 minutes 53 seconds West along the southeast line of the herein described tract, 100.00 feet to a 3/4 inch iron rod with cap marked "Quiddity" found for the south corner of the herein described tract, being in the lower north line of said Sunterra Sec 16 and the south line of said adjoining Sunterra Sec 15, being in a non-tangent curve to the left;

Thence with said non-tangent curve to the left along the southwest line of the herein described tract, being the lower north line of said Sunterra Sec 16 and the south line of said adjoining Sunterra Sec 15, having a central angle of 90 degrees 00 minutes 00 seconds, an arc length of 39.27 feet, a radius of 25.00 feet, and a chord bearing North 26 degrees 04 minutes 53 seconds East, 35.36 feet to a 3/4 inch iron rod with cap marked "Quiddity" found for the northwest corner of the herein described tract, being in the west right-of-way line of Sunrise Gables Drive (50-foot wide);

Thence North 71 degrees 04 minutes 53 seconds East along the northwest line of the herein described tract, being the lower north line of said Sunterra Sec 16 and the south line of said adjoining Sunterra Sec 15, 50.00 feet to a 3/4 inch iron rod with cap marked "Quiddity" found for the north corner of the herein described tract, being in the east line of said Sunrise Gables Drive, and being in a non-tangent curve to the left;

Thence with said non-tangent curve to the left along the northeast line of the herein described tract, being the lower north line of said Sunterra Sec 16 and the south line of said adjoining Sunterra Sec 15, having a central angle of 90 degrees 00 minutes 00 seconds, an arc length of 39.27 feet, a radius of 25.00 feet, and a chord bearing South 63 degrees 55 minutes 07 seconds East, 35.36 feet to the Place of Beginning and containing 0.04 acres of land, more or less.

Line Table		
Line	Bearing	Distance
L1	N71°04'53"E	50.00'
L2	S71°04'53"W	100.00'
L3	N18°55'07"W	25.00'

Curve Table						
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C1	25.00'	90°00'00"	39.27'	N26°04'53"E	35.36'	25.00'
C2	25.00'	90°00'00"	39.27'	S63°55'07"E	35.36'	25.00'

DATE: NOVEMBER 2022	SUNTERRA SEC 16 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P., a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@landtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. E-73290 & 10046100 61229 Corporate Drive Rosenberg, Texas 77471 281.342.2011 mahernandez@quiddity.com</small>
SCALE NTS			
SHEET 18 OF 1			

K:\18537\18537-0038-00 Sunterra Section 16 W58D & Paving_Plat1\2 Design Phase\Planning\replat\replat_Sunterra Sec 16.dwg Nov 29, 2023 - 8:04am CLK

General Notes:

- AE "Aerial Easement"
- BL "Building Line"
- C.C.F. "County Clerk's File"
- D.R.W.C.T. "Deed Records, Waller County, Texas"
- F.C. "Film Code"
- GBL "Garage Building Line"
- NO. "Number"
- O.P.R.W.C.T. "Official Public Records, Waller County, Texas"
- O.P.R.R.P.H.C.T. "Official Public Records of Real Property, Harris County, Texas"
- ROW "Right-of-Way"
- SSE "Sanitary Sewer Easement"
- STM SE "Storm Sewer Easement"
- Sq Ft "Square Feet"
- UE "Utility Easement"
- Vol — Pg — "Volume and Page"
- WLE "Waterline Easement"
- "Set 3/4-Inch Iron Rod With Cap Stamped "Jones|Carter" as Per Certification"
- ① "Block Number"
- ↗ "Street Name Break"

- 1. With respect to recorded instruments within this plat, surveyor relied on City Planning Letter issued by Charter Title Company, GF No. 1076601800196A, dated AUGUST 1, 2022.
- 2. All coordinates shown are grid based on the Texas Coordinate System of 1983, South Central Zone, and may be converted to surface by applying by the combined scale factor of 0.99989805999.
- 3. All bearings are based on the Texas Coordinate System of 1983, South Central Zone, based on GPS observations.
- 4. New development within the subdivision plat shall obtain a storm water quality permit before the issuance of any development permits.
- 5. Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing.
- 6. Structures built on lots in the designated flood plain shall be elevated to two (2) feet or more above the 500-year floodplain. Within the 500-year, these structures must be elevated to one (1) foot above the 500-year floodplain elevation. No development permits will be issues in a Flood Hazard Area below the base flood elevation (B.F.E.). Contact the County Engineer's Office for specific information.
- 7. No structure in this subdivision shall be occupied until connected to a public sewer system.
- 8. No structure in this subdivision shall be occupied until connected to an individual water supply or a state – approved community water system.
- 9. This tract This tract lies within Zone "AE" with defined BFE, and Shaded Zone "X", of the Flood Insurance Rate Map, Community No. 480640, Map Number 48473C0375E, Panel 0375, suffix "E" dated February 18, 2009 and revised under LOMR 19-06-1115P dated April 27, 2020 for Waller County, Texas and incorporated areas. Zone "AE"; is defined as special flood hazard areas subject to inundation by the 1% annual chance flood event (100-year flood) with Base Flood Elevations determined. Shaded Zone "X"; is defined as areas of the 0.2% annual chance flood (500-year flood); areas of 1% annual chance flood (100-year flood) with average depths of less than one foot or with drainage areas less than one square mile; and areas protected by levees from 1% annual chance flood.
- 10. Right-of-way easements for widening streets or improving drainage shall be maintained by the landowner until all street or drainage improvements are actually constructed on the property. The county has the right at any time to take possession of any street widening easement for construction, improvement or maintenance.
- 11. The building of all streets, bridges, or culverts is the responsibility of the owners in accordance with the plans prescribed by the Commissioners Court. The Commissioners Court assumes no obligation to build or maintain any of the streets shown on the plat or constructing any of the bridges or drainage improvements. Upon completion of all obligations by the developer and written approval from the Commissioners Court, the County will assume full responsibility for maintenance of the public streets. The county will assume no responsibility for the drainage ways or easements in the subdivision, other than those draining or protecting the streets. The county assumes no responsibility for the accuracy of representations by other parties on the plat. Flood plain data, in particular, may change depending on subsequent development. The owners of land covered by this plat must install at their own expense all traffic control devices and signage that may be required before the streets in the subdivision have finally been accepted for maintenance by the county. The property subdivided herein is further restricted in its use as specified under the terms and conditions of restrictions filed separately. A copy of said restrictions will be furnished by aforesaid Astro Sunterra, L.P., to the purchaser of each and every lot in the subdivision prior to culmination of each sale include certification that the subdivider has complied with the requirements of section 232.032 and that:
 - (a)the water quality and connections to the lots meet, or will meet, the minimum state standards;
 - (b)sewer connections to the lots or septic tanks meet, or will meet, the minimum requirements of state standards;
 - (c)electrical connections provided to the lot meet, or will meet, the minimum state standards; and
 - (d)gas connections, if available, provided to the lot meet, or will meet, the minimum state standards.
- 14. Project site is within City of Houston ETJ.
- 15. No pipelines or pipeline easements exist within the boundaries of this plat.
- 16. Tract is subject to Declaration of Covenants, Conditions, and Restrictions recorded under C.C.F. NOS. 2100543, 2108796, 2109155, 2110496, 2112608, 2113020, and 2115251, O.P.R.W.C.T.
- 17. Tract is subject to Grant of Easement and Surface Use Agreement recorded under C.C.F. NOS. 1910726 and 2007577, O.P.R.W.C.T.
- 18. Tract is subject to Agreement for Underground Electric Service recorded under C.C.F. NO. 2202204, O.P.R.W.C.T.
- 19. Tract is subject to Detention Facilities Maintenance Agreement recorded under C.C.F. NOS. 2009285, 2200987, 2200988, 2200989, 2200990, and 2202918, O.P.R.W.C.T.
- 21. TBM "7525" being a set cotton picker spindle. Located in Pitts Road, being +/- 192' North from the intersection of Pitts Road and Stockdick-School Road, being +/- 1' West of the East edge of asphalt of Pitts Road, and +/- 82' South of a power pole with guy anchor. Elevation = 162.09' (NAVD88, 2001 adjustment).

DATE: NOVEMBER 2022	SUNTERRA SEC 16 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@andtjas.com	<div>ENGINEER/PLANNER/SURVEYOR:</div> <div> QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 61229 Corporate Drive - Rosenberg, Texas 77471 281.342.2033 mohemandez@quiddity.com</div>
SCALE NTS			
SHEET 1C OF 1			


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Certificate of Surveyor
This is to certify that I, Chris D. Kalkomey, a Registered Professional Land Surveyor of the State of Texas, have platted the above subdivision from an actual survey on the ground; and that all block corners, lot corners and permanent referenced monuments have been set, that permanent control points will be set at completion of construction and that this plat correctly represents that survey made by me.

A portion of this subdivision lies within the boundaries of any municipality's corporate city limits, or area of extra territorial jurisdiction.

A portion of this subdivision lies within the boundaries of the 1% annual chance (100 year) flood plain as delineated on Waller County Community Panel #480640 dated 2/18/2009, and revised in LOMR 19-06-1115P dated 4/27/2020.




Chris D. Kalkomey
Registered Professional Land Surveyor
Texas Registration No. 5869

STATE OF TEXAS §
COUNTY OF WALLER §

I, Debbie Hollan, County Clerk in and for Waller County, Texas do hereby certify that the foregoing instrument with its certificate of authentication was filed for recordation in my office on _____, 20____, at _____ o'clock ____M in File No. _____ of the Plat
Records of said County. Witness my hand and seal of office, at Hempstead, Texas, the day and date
last above written.

Debbie Hollan
Waller County, Texas

By: _____
Deputy

CERTIFICATE OF COMMISSIONERS COURT

APPROVED by the Commissioners' Court of Waller County, Texas, this _____ day of _____, 20____.

Carbett "Trey" J. Duhon III
County Judge

John A. Amsler
Commissioner, Precinct 1

Walter E. Smith, P.E., RPLS
Commissioner, Precinct 2

Kendric D. Jones
Commissioner, Precinct 3

Justin Beckendorff
Commissioner, Precinct 4

NOTE: Acceptance of the above plat by the Commissioners Court does not signify Waller County acceptance of the dedicated roads for integration into the County Road System. The developer is required to comply with Sections 5 and 6 of the current Waller County Subdivision and Development Regulations, in this regard.

DATE: NOVEMBER 2022	SUNTERRA SEC 16 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@landtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 61229 Corporate Drive Rosenberg, Texas 77471 281 342 2031 mahernandez@quiddity.com
SCALE NTS			
SHEET 1D OF 1			

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STATE OF TEXAS §
COUNTY OF WALLER §

We, Astro Sunterra, L.P., a Delaware Limited Partnership, acting by and through James Henrie, Authorized Signer, owner hereinafter referred to as Owners of the 0.04 acre tract described in the above and foregoing map of Sunterra Sec 16 Partial Replat No 1, do hereby make and establish said subdivision and development plan of said property according to all lines, dedications, restrictions, and notations on said maps or plat and hereby dedicate to the use of the public forever, all streets (except those streets designated as private streets, or permanent access easements), alleys, parks, water courses, drains, easements and public places shown thereon for the purposes and considerations therein expressed; and do hereby bind ourselves, our heirs, successors and assigns to warrant and forever defend the title on the land so dedicated.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional eleven feet, six inches (11' 6") for ten feet (10' 0") perimeter ground easements or seven feet, six inches (7' 6") for fourteen feet (14' 0") perimeter ground easements or five feet, six inches (5' 6") for sixteen feet (16' 0") perimeter ground easements, from a plane sixteen feet (16' 0") above the ground level upward, located adjacent to and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals twenty one feet, six inches (21' 6") in width.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional ten feet (10' 0") for ten feet (10' 0") back-to-back ground easements, or eight feet (8' 0") for fourteen feet (14' 0") back-to-back ground easements or seven feet (7' 0") for sixteen feet (16' 0") back-to-back ground easements, from a plane sixteen feet (16' 0") above ground level upward, located adjacent to both sides and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals thirty feet (30' 0") in width.

FURTHER, we do hereby certify that we are the owners of all property immediately adjacent to and adjoining the boundaries of the above and foregoing subdivision, Sunterra where public utility easements are to be established outside the boundaries of the above and foregoing subdivision and to hereby make and establish and dedicated to the use of the public utilities forever all public utility easements show in said adjacent acreage.

FURTHER, all of the property subdivided in the above and foregoing plat shall be restricted in its use, which restrictions shall run with the title to the property and shall be enforceable at the option of Waller County, by Waller County, or any citizen thereof, by injunction as follows:

1. That drainage of septic tanks into roads, streets, alleys or public ditches, streams, ect., either directly or indirectly is strictly prohibited.
2. All stock animals, horses and fowl, shall be fenced in and not allowed to run at large in the subdivision.
3. Drainage structures under private drives shall have a new drainage opening area of sufficient size to permit the free flow of water without backwater and shall be a minimum of one and three quarters (1-1/4) square feet (15" diameter pipe) reinforced concrete pipe, unless specified by the County Road Administrator or County Engineer. Culverts and bridges must be used for all driveway and/or walks, although dip-style driveways are encouraged where appropriate.
4. Property owners will obtain Development Permits/Permit Exemptions from the County Flood Plain Administrator for all development.
5. There are no underground pipelines within the confines of the subdivision except as shown on the plat.
6. There shall be no sanitary sewer systems or any water well constructed within 50 feet of any lot line that does not adjoin with a public road.

FURTHER, Owners hereby certify that this replat does not attempt to alter, amend, or remove any covenants or restrictions;

IN TESTIMONY WHEREOF, the Astro Sunterra, L.P., a Delaware Limited Partnership has caused these presents to be signed by James Henrie, Its Authorized Signer, thereunto authorize, this 12th day of November, 2022.

Astro Sunterra, L.P.,
a Delaware Limited Partnership
By: Astro Sunterra GP LLC
a Delaware Limited Liability Company,
Its General Partner
By: [Signature]
By: James Henrie
Title: Authorized Signer

DATE: NOVEMBER 2022	SUNTERRA SEC 16 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@andtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration No. F-23790 & 10046100 6117961 Upgrade D or Surveyors, Texas 77475 J81 347 2011</small> mahernandez@quiddity.com
SCALE 1" = 250'			
SHEET 1E OF 1			

K:\16537\16537-0038-00 Sunterra Section 16 W540 & Faving_Plativity Design Phase\Platting\Replat_Suntterra Sec 16.dwg Nov 17,2022 - 9:55am CJK

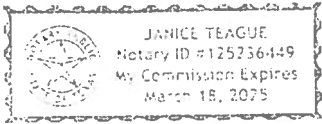
STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, the undersigned authority, on this day personally appeared James Henrie, Authorized Signer, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 17th day of November, 2022.

Janice Teague
Notary Public in and for the State of Texas

Janice Teague
Print Name



My commission expires: 03/18/2025

I, J. Ross McCall, County Engineer of Waller County, Certify that the Plat of this subdivision complies with all existing rules and regulations of Waller County.

No construction or other development within this subdivision may begin until all Waller County permit requirements have been met

1-4-24
Date

J. Ross McCall
County Engineer

This is to certify that the Planning Commission of the City of Houston, Texas, has approved this plat and subdivision of Sunterra Section 16 Partial Replat No 1 in conformance with the laws of the State of Texas and the ordinances of the City of Houston, as shown hereon, and authorized the recording of this plat this 5 day of DECEMBER, 2022.

By: M. Sunny Garza or M. Sunny Garza
Chair Vice Chairman
By: H. Rodriguez
Margaret Wallace Brown, AICP, CNU-A
Secretary



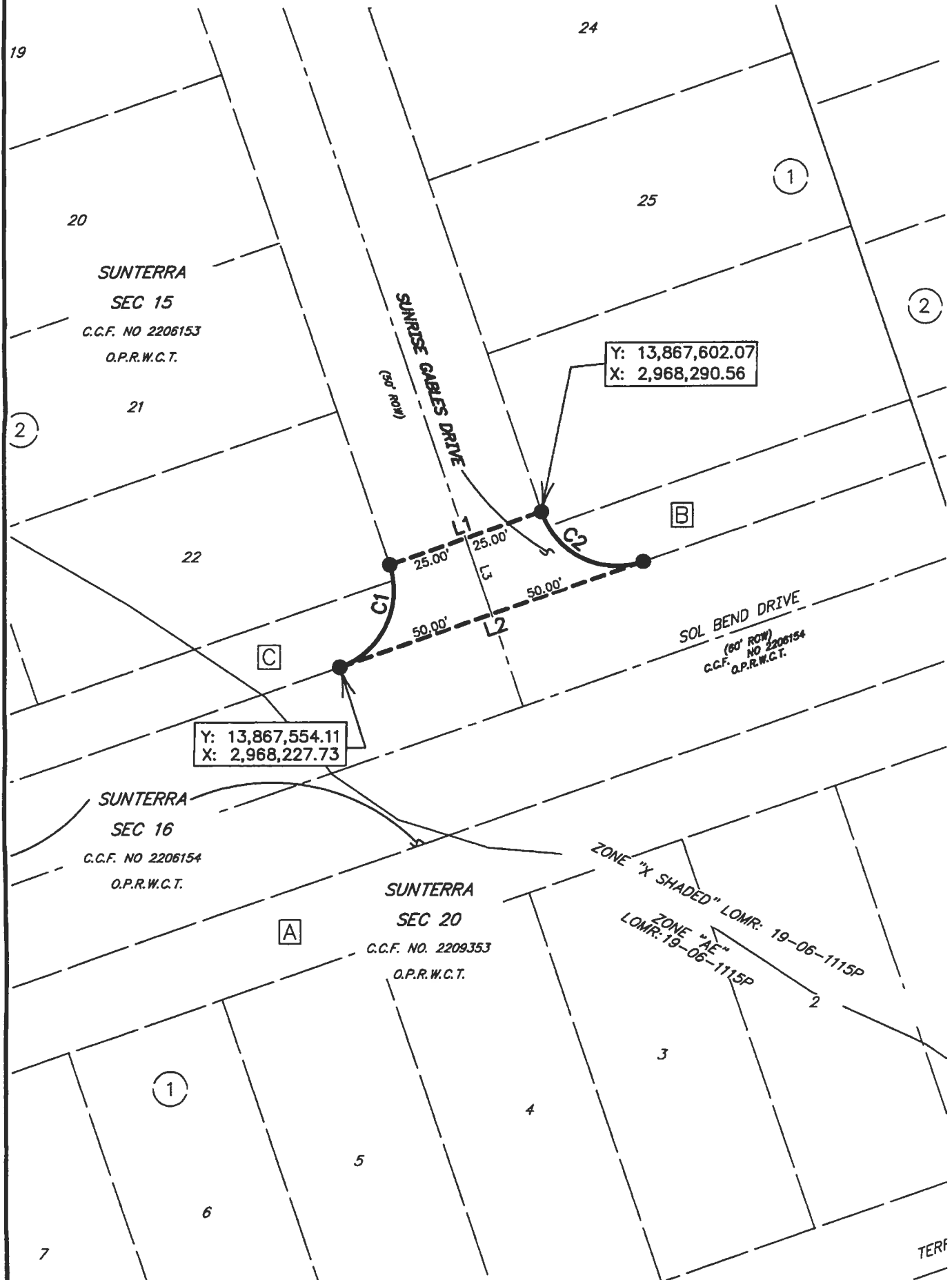
BROOKSHIRE- KATY DRAINAGE DISTRICT
APPROVED BY THE BOARD OF SUPERVISORS ON

DATE 11/17/2022
Arnold England
ARNOLD ENGLAND, PRESIDENT
David Welch
DAVID WELCH, SECRETARY
Rod Pinheiro
ROD PINHEIRO, PE, PMP, CFM, DISTRICT ENGINEER

THE ABOVE HAVE SIGNED THESE PLANS AND/OR PLAT BASED ON THE RECOMMENDATION OF THE DISTRICT'S ENGINEER WHO HAS REVIEWED ALL SHEETS PROVIDED AND FOUND THEM TO BE IN GENERAL COMPLIANCE WITH THE DISTRICT'S RULES, REGULATIONS, AND GUIDELINES". THIS APPROVAL IS ONLY VALID FOR THREE HUNDRED SIXTY-FIVE (365) CALENDAR DAYS. AFTER THAT TIME RE-APPROVAL IS REQUIRED. PLEASE NOTE, THIS DOES NOT NECESSARILY MEAN THAT ALL THE CALCULATIONS PROVIDED IN THESE PLANS AND/OR PLATS HAVE BEEN COMPLETELY CHECKED AND VERIFIED. PLANS SUBMITTED HAVE BEEN PREPARED, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE ENGINEERING IN THE STATE OF TEXAS AND PLAT HAS BEEN SIGNED AND SEALED BY A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE OF TEXAS, WHICH CONVEYS THE ENGINEER'S AND/OR SURVEYOR'S RESPONSIBILITY AND ACCOUNTABILITY.

BROOKSHIRE- KATY DRAINAGE DISTRICT Permit No. 2022-64 REVISED

DATE: NOVEMBER 2022	SUNTERRA SEC 16 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@andtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity, Inc. is a registered professional engineering and planning firm in the State of Texas. License No. 00212992 & 00016100 6022916, 6022917, 6022918, 6022919, 6022920, 6022921, 6022922, 6022923, 6022924, 6022925, 6022926, 6022927, 6022928, 6022929, 6022930, 6022931, 6022932, 6022933, 6022934, 6022935, 6022936, 6022937, 6022938, 6022939, 6022940, 6022941, 6022942, 6022943, 6022944, 6022945, 6022946, 6022947, 6022948, 6022949, 6022950, 6022951, 6022952, 6022953, 6022954, 6022955, 6022956, 6022957, 6022958, 6022959, 6022960, 6022961, 6022962, 6022963, 6022964, 6022965, 6022966, 6022967, 6022968, 6022969, 6022970, 6022971, 6022972, 6022973, 6022974, 6022975, 6022976, 6022977, 6022978, 6022979, 6022980, 6022981, 6022982, 6022983, 6022984, 6022985, 6022986, 6022987, 6022988, 6022989, 6022990, 6022991, 6022992, 6022993, 6022994, 6022995, 6022996, 6022997, 6022998, 6022999, 6023000, 6023001, 6023002, 6023003, 6023004, 6023005, 6023006, 6023007, 6023008, 6023009, 6023010, 6023011, 6023012, 6023013, 6023014, 6023015, 6023016, 6023017, 6023018, 6023019, 6023020, 6023021, 6023022, 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DATE: NOVEMBER 2022	SUNTERRA SEC 16 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@andtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 61229 Corporate Drive, Rosenberg, Texas 77471 281.342.2033 mahemandez@quiddity.com
SCALE 1"=40'			
SHEET 1G OF 1			

K:\1853\18537-0038-00 Sunterra Section 16 W&B & Paving_Plat\1\2 Design Phase\Planning\Replat_Suntterra Sec 16.dwg Nov 29, 2023 8:07am CKJ

WALLER COUNTY

Yancy Scott, P.E., CFM
County Engineer



MEMORANDUM

To: Honorable Commissioners' Court

Item: Final RePlat Approval for Sunterra Section 24 Partial Replat No.1

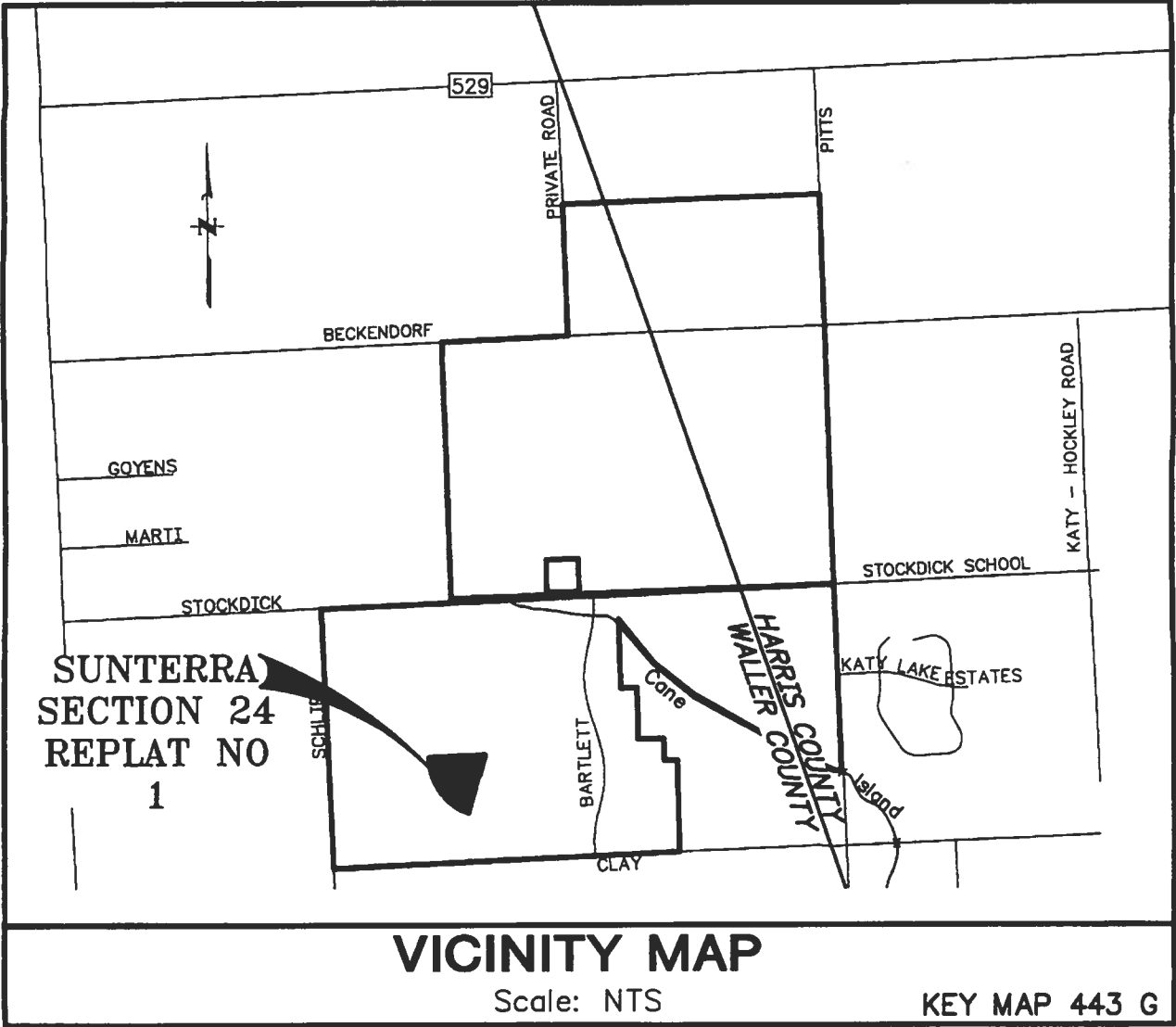
Date January 10, 2024

Background

Final RePlat of Sunterra Section 24 Partial Replat No. to create 112 Lots, 4 Reserves, and 2 Blocks and to correct scrivener's error of the lot count, and reserve totals in Precinct 3.

Staff Recommendation

Approve Plat



**SUNTERRA
SECTION 24
REPLAT NO 1**

**A SUBDIVISION OF 26.73 ACRES OF LAND OUT OF THE
H. & T. C. SURVEY SECTION 121, A-201
WALLER COUNTY, TEXAS
112 LOTS 4 RESERVES 2 BLOCKS
NOVEMBER 2022**

**REASON: TO CREATE 112, LOTS, 4 RESERVES, AND 2 BLOCKS
AND TO CORRECT SCRIVENER'S ERROR OF THE LOT COUNT, AND
RESERVE TOTALS**

BKDD Permit No. 2022-__

DATE: NOVEMBER 2022	SUNTERRA SECTION 24 REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sabryant@andtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-232290 & 10046100 3279 Corporate Drive Rosemary, Texas 77471 281.342.2033 mahemandez@quiddity.com</small>
SCALE NTS			
SHEET 1A OF 1			

A METES & BOUNDS description of a 26.73 acre tract of land in the H. & T. C. Railroad Company Survey Section 121, Abstract 201, Waller County, Texas, being out of and a part of that certain called 384.139 acre tract recorded under County Clerk's File Number 1910749, Official Public Records, Waller County, Texas, and a portion of that certain called 655.54 acre tract recorded under County Clerk's File Number 1910752, Official Public Records, Waller County, Texas, with all bearings based upon the Texas Coordinate System of 1983, South Central Zone, based upon GPS observations.

Commencing at a bolt spike found (6-inches of cover) at the intersection of Schlipf Road and Clay Road for the southwest corner of said H. & T. C. Railroad Company Survey Section 121, Abstract 201, and the southwest corner of said called 384.139 acre tract, said point also being the northwest corner of the T. S. Reese Survey, Abstract 333, being the northwest corner of a called 40.00 acre tract (Second Tract) recorded in Volume 181, Page 538, Deed Records, Waller County, Texas, the northeast corner of the H. & T. C. Railroad Company Survey Section 109, Abstract 171, being the northeast corner of a called 2.00 acre tract recorded in Volume 373, Page 42, Deed Records, Waller County, Texas, being Tract 1 of Monticello Subdivision (unrecorded), and the southeast corner of the Fred Eule Survey, Abstract 373, being the southeast corner of a called 35.6821 acre tract recorded in Volume 567, Page 33, Deed Records, Waller County, Texas;

Thence North 88 degrees 00 minutes 58 seconds East (called South 89 degrees 54 minutes 46 seconds East) along the south line of said called 384.139 acre tract, and the south line of said H. & T. C. Railroad Company Survey Section 121, Abstract 201, same being the north line of said T. S. Reese Survey, Abstract 333, the north line of a called 9.5693 acre tract recorded in Volume 569, Page 889, Official Records, Waller County, Texas, the north line of a called 25-foot wide strip recorded in Volume 881, Page 264, Official Records, Waller County, Texas, the north line of a called 13.5984 acre tract recorded under County Clerk's File Number 1906390, Official Public Records, Waller County, Texas, the north line of a called 5.109 acre tract recorded in Volume 798, Page 810, Official Records, Waller County, Texas, the north line of a called 5.00 acre tract recorded in Volume 1171, Page 752, Official Records, Waller County, Texas, the north line of a called 5.00 acre tract recorded in Volume 599, Page 699, Official Records, Waller County, Texas, the north line of a called 20.00 acre tract recorded under County Clerk's File Number 1703899, Official Public Records, Waller County, Texas, and the north line of said adjoining called 40.00 acre tract (Second Tract), as located in Clay Road, 2,462.04 feet to a point on said line, from said point a 1/4 inch iron pipe (8-inches of cover) found on said line for the southwest corner of the J. W. McCutcheon Survey, Abstract 308, the northwest corner of the H. & T. C. Railroad Survey Section 127, Abstract 205, the northeast corner of said T. S. Reese Survey, Abstract 333, and the southeast corner of said H. & T. C. Railroad Company Survey Section 121, Abstract 201, bears North 88 degrees 00 minutes 58 seconds East, 2,838.38 feet;

Thence North 01 degree 59 minutes 02 seconds West crossing said called 384.139 acre tract, 791.99 feet to a point for the south corner and Place of Beginning of the herein described tract, said point being in the east line of a called 30-foot wide Multi-Purpose Easement No. 3 recorded under County Clerk's File Number RP-2019-559219, Official Public Records of Real Property, Harris County, Texas, and being in a non-tangent curve to the right;

Thence establishing the southwest line of the herein described tract to points at the following courses and distances:

Thence with said non-tangent curve to the right, having a central angle of 27 degrees 44 minutes 30 seconds, an arc length of 651.22 feet, a radius of 1,345.00 feet, and a chord bearing North 57 degrees 43 minutes 02 seconds West, 644.88 feet to the beginning of a compound curve to the right;

Thence with said compound curve to the right, having a central angle of 93 degrees 03 minutes 05 seconds, an arc length of 48.72 feet, a radius of 30.00 feet, and a chord bearing North 02 degrees 40 minutes 45 seconds East, 43.54 feet;

North 40 degrees 47 minutes 42 seconds West, 80.00 feet to a point in a non-tangent curve to the right;

Thence with said non-tangent curve to the right, having a central angle of 93 degrees 03 minutes 05 seconds, an arc length of 48.72 feet, a radius of 30.00 feet, and a chord bearing North 84 degrees 16 minutes 10 seconds West, 43.54 feet to the beginning of a compound curve to the right;

Thence with said compound curve to the right, having a central angle of 34 degrees 50 minutes 45 seconds, an arc length of 817.99 feet, a radius of 1,345.00 feet, and a chord bearing North 20 degrees 19 minutes 15 seconds West, 805.45 feet;

North 02 degrees 53 minutes 52 seconds West, 99.86 feet to a point for the northwest corner of the herein described tract, said point being in the south line of an adjoining called 30-foot wide Multi-Purpose Easement No. 2 recorded under County Clerk's File Number RP-2019-559219, Official Public Records of Real Property, Harris County, Texas;

Thence North 88 degrees 08 minutes 52 seconds East along the south line of said adjoining called 30-foot wide Multi-Purpose Easement No. 2, 1,326.64 feet to a point for the northeast corner of the herein described tract, said point being in the east line of a called 50-foot wide Multi-Purpose Easement No. 5 recorded under County Clerk's File Number RP-2019-559219, Official Public Records of Real Property, Harris County, Texas;

Thence South 15 degrees 33 minutes 53 seconds West along the east line of said Multi-Purpose Easement No. 5, 180.13 feet to an angle point;

Thence South 15 degrees 48 minutes 31 seconds West continuing along said line, 296.05 feet to a point for corner, said point being the south corner of said Multi-Purpose Easement No. 5, and being in the south line of a called 30-foot wide Multi-Purpose Easement No. 4 recorded under County Clerk's File Number RP-2019-559219, Official Public Records of Real Property, Harris County, Texas;

Thence North 74 degrees 22 minutes 06 seconds West along the south line of said Multi-Purpose Easement No. 4, 20.00 feet to a point for a reentry corner to the herein described tract, said point being in the east line of the aforementioned Multi-Purpose Easement No. 3;

Thence South 15 degrees 48 minutes 31 seconds West along the east line of said Multi-Purpose Easement No. 3, 933.07 feet to the Place of Beginning and containing 26.73 acres of land, more or less.

DATE: NOVEMBER 2022	SUNTERRA SECTION 24 REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sabryant@andtejas.com	<div>ENGINEER/PLANNER/SURVEYOR:</div> <div> QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. 1-21290 & 10046100 1729 Corporate Drive Rosenberg, Texas 77471 281 342 2033</small></div> <div>mahermandez@quiddity.com</div>
SCALE NTS			
SHEET 18 OF 1			

K:\18537\18537-0052-00 Sunterra Section 24 WSD\2 Design Phase\Planning\REPLAT\Section 24.dwg Nov 29, 2023 - 5:59am CKJ

1. This subdivision is proposed for single-family residential, detention, and other related uses.
2. The radius on all block corners is 25 feet, unless otherwise noted.
3. All easements are centered on lot lines unless otherwise shown. All 14 foot utility easements shown extend 7 feet on each side of a common lot line unless otherwise indicated.
4. With respect to recorded instruments within this plat, surveyor relied on City Planning Letter issued by Charter Title Company, GF No. 1076601800196A, Dated October 31, 2022.
5. All coordinates shown are grid based on the Texas Coordinate System of 1983, South Central Zone, and may be converted to surface by applying by the combined scale factor of 0.99989805999.
6. All bearings are based on the Texas Coordinate System of 1983, South Central Zone, and the project coordinates were determined with GPS observations. All of the distances shown are in U.S. survey feet.
7. A minimum of ten (10) feet shall be provided between sides of residential dwellings.
8. New development within the subdivision plat shall obtain a storm water quality permit before the issuance of any development permits.
9. Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing.
10. Structures built on lots in the designated flood plain shall be elevated to two (2) feet or more above the 500-year floodplain. Within the 500-year, these structures must be elevated to one (1) foot above the 500-year floodplain elevation. No development permits will be issues in a Flood Hazard Area below the base flood elevation (B.F.E.). Contact the County Engineer's Office for specific information.
11. No structure in this subdivision shall be occupied until connected to a public sewer system.
12. No structure in this subdivision shall be occupied until connected to an individual water supply or a state - approved community water system.
13. This tract lies within Zone "A" with no defined BFE, and Unshaded Zone "X" of the Flood Insurance Rate Map, Community No. 480640, Map Number 48473C0375E, Panel 0375, suffix "E" dated February 18, 2009 and revised under LOMR 19-06-1115P-48640 dated April 27, 2020 for Waller County, Texas and incorporated areas. Unshaded Zone "X"; is defined as areas determined to be outside the 0.2% annual chance floodplain. Zone "A"; is defined as Special Flood Hazard Areas subject to inundation by the 1% annual chance flood with no Base Flood Elevations determined.
14. Unless otherwise indicated, the building line (B.L.), whether one or more, shown on this subdivision plat are established to evidence compliance with the applicable provisions of Chapter 42, Code of Ordinances, City of Houston, Texas, in effect at the time this plat was approved, which may be amended from time to time.
15. Single Family Residential shall mean the use of a lot with one building designed for and containing no more than two separate units with facilities for living, sleeping, cooking, and eating therein. A lot upon which is located a free-standing building containing one dwelling unit and a detached secondary dwelling unit of no more than 900 square feet also shall be considered single family residential. A building that contains one dwelling unit on one lot that is connected by a party wall to another building containing one dwelling unit on an adjacent lot shall be single family residential.
16. Each lot shall provide a minimum of two off-street parking spaces per dwelling unit on each lot. In those instances where a secondary unit is provided only one additional space shall be provided.
17. Right-of-way easements for widening streets or improving drainage shall be maintained by the landowner until all street or drainage improvements are actually constructed on the property. The county has the right at any time to take possession of any street widening easement for construction, improvement or maintenance.
18. The building of all streets, bridges or culverts is the responsibility of the owners in accordance with the plans prescribed by the Commissioners Court. The Commissioners Court assumes no obligation to build or maintain any of the streets shown on the plat or constructing any of the bridges or drainage improvements. Upon completion of all obligations by the developer and written approval from the Commissioners Court, the County will assume full responsibility for maintenance of the public streets. The county will assume no responsibility for the drainage ways or easements in the subdivision, other than those draining or protecting the streets. The county assumes no responsibility for the accuracy of representations by other parties on the plat. Flood plain data, in particular, may change depending on subsequent development. The owners of land covered by this plat must install at their own expense all traffic control devices and signage that may be required before the streets in the subdivision have finally been accepted for maintenance by the county. The property subdivided herein is further restricted in its use as specified under the terms and conditions of restrictions filed separately. A copy of said restrictions will be furnished by aforesaid Astro Sunterra, L.P., A Delaware Limited Partnership, to the purchaser of each and every lot in the subdivision prior to culmination of each sale include certification that the subdivider has complied with the requirements of section 232.032 and that:
 - (a) the water quality and connections to the lots meet, or will meet, the minimum state standards;
 - (b) sewer connections to the lots or septic tanks meet, or will meet, the minimum requirements of state standards;
 - (c) electrical connections provided to the lot meet, or will meet, the minimum state standards; and
 - (d) gas connections, if available, provided to the lot meet, or will meet, the minimum state standards.
19. Project site is within City of Houston ETJ.
20. All pipeline easements within the platted area are shown hereon.
21. This subdivision contains one or more permanent access easements that have not been dedicated to or accepted by the City of Houston or any other local governmental agency as public right-of-way. The City of Houston has no obligation, nor does any other local governmental agency have any obligation, to maintain or improve any permanent access easement within the subdivision, which obligation shall be the sole responsibility of the owners of the property in this subdivision.
22. Elevations shown hereon are based on TSARP Monument 190105, being located along Pitts Road, approximately 1,485 feet north of the intersection of Pitts Road and Clay Road. Benchmark is west of Pitts Road and north of Cane Island Branch, on the north high bank of Cane Island Branch between the end of a guardrail and an existing fence running north-south. Elevation = 156.48' (NAVD88, 2001 Adjustment).
23. TBM "7520" being a set cotton picker spindle. Located on the west edge of asphalt in Schlupf Road, being +/- 2,490' North of the intersection of Schlupf Road and Clay Road, and +/- 2,786' South of the intersection of Schlupf Road and Stockdick School Road. Elevation = 164.00 (NAVD88, 2001 Adjustment).
24. Tract is subject to Declaration of Covenants, Conditions, and Restrictions recorded under C.C.F. NOS. 2100543, 2108796, 2109155, 2110496, 2112068, 2113020, and 2115251, O.P.R.W.C.T.
25. Tract is subject to Grant of Easement and Surface Use Agreement recorded under C.C.F. NOS. 1910725, 1910726, and 2007577, O.P.R.W.C.T.
26. Tract is subject to Detention Facilities Maintenance Agreement Recorded under C.C.F. NOS. 2009285, 2200987, 2200988, 2200989, 2200990, and 2202918, O.P.R.W.C.T.
27. All lots shall have adequate wastewater service collection.

DATE: NOVEMBER 2022

SCALE NTS

SHEET 1C OF 1

SUNTERRA
SECTION 24
REPLAT NO 1

OWNER/DEVELOPER:
Astro Sunterra L.P.
a Delaware Limited Partnership
2450 FONDREN ROAD, SUITE 210
HOUSTON, TEXAS 77063
(713) 783-6702
Sabryant@andtejas.com

ENGINEER/PLANNER/SURVEYOR:



QUIDDITY

Quiddity Engineering, LLC
Texas Board of Professional Engineers and Land Surveyors Registration No. F-23290 & 10046100
1229 Corporate Drive Rosenberg, Texas 77471 281 342 2033
mahernandez@quiddity.com

K:\18537\18537-0052-00 Sunterra Section 24 WSO&P\2 Design Phase\Planning\REPLAT VIEPLAY Section 24.dwg Nov 29, 2023 - 5:59am BK

General Notes:

- AE "Aerial Easement"
- BL "Building Line"
- C.C.F. "County Clerk's File"
- GBL "Garage Building Line"
- No "Number"
- O.P.R.W.C.T. . . . "Official Public Records,
Waller County, Texas"
- O.P.R.R.P.H.C.T. . "Official Public Records of Real
Property, Harris County, Texas"
- PAE/PUE. "Private Access Easement/
Public Utility Easement"
- Pvt "Private"
- ROW "Right-of-Way"
- SSE "Sanitary Sewer Easement"
- STM SE "Storm Sewer Easement"
- Sq Ft "Square Feet"
- UE "Utility Easement"
- Vol __, Pg __ . . . "Volume and Page"
- WLE "Waterline Easement"
- "Set 3/4-inch Iron Rod With Cap Stamped "Jones|Carter" as Per Certification"
- ① "Block Number"
- ↗ "Street Name Break"

Curve Table						
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C1	1,345.00'	27°44'30"	651.22'	N57°43'02"W	644.88'	332.13'
C2	30.00'	93°03'05"	48.72'	N02°40'45"E	43.54'	31.64'
C3	30.00'	93°03'05"	48.72'	N84°16'10"W	43.54'	31.64'
C4	1345.00'	34°50'45"	817.99'	N20°19'15"W	805.45'	422.09'
C5	500.00'	33°50'02"	295.26'	S57°42'43"E	290.98'	152.07'
C6	75.00'	89°33'45"	117.24'	N80°35'24"E	105.66'	74.43'
C7	200.00'	107°39'39"	375.81'	N38°01'18"W	322.91'	273.57'
C8	50.00'	90°00'00"	78.54'	S43°08'52"W	70.71'	50.00'
C9	200.00'	15°55'55"	55.61'	S80°10'54"W	55.43'	27.99'
C10	800.00'	38°56'34"	543.74'	S21°19'25"E	533.34'	282.85'
C11	25.00'	87°35'58"	38.22'	N86°59'43"W	34.61'	23.97'
C12	25.00'	59°24'23"	25.92'	N43°09'32"W	24.78'	14.26'
C13	50.00'	180°00'00"	157.08'	N76°32'39"E	100.00'	0.00'
C14	25.00'	53°07'48"	23.18'	S13°08'33"W	22.36'	12.50'
C15	25.00'	78°27'47"	34.24'	S13°13'47"W	31.62'	20.41'
C16	25.00'	48°11'23"	21.03'	S76°33'22"W	20.41'	11.18'
C17	50.00'	276°22'46"	241.19'	N37°32'20"W	66.67'	44.72'
C18	25.00'	48°11'23"	21.03'	N28°21'59"E	20.41'	11.18'
C19	25.00'	78°27'47"	34.24'	S88°18'26"E	31.62'	20.41'
C20	25.00'	90°00'00"	39.27'	S46°51'08"E	35.36'	25.00'
C21	25.00'	48°11'23"	21.03'	N67°45'27"W	20.41'	11.18'
C22	50.00'	276°22'46"	241.19'	N01°51'08"W	66.67'	44.72'
C23	25.00'	48°11'23"	21.03'	N64°03'10"E	20.41'	11.18'
C24	25.00'	47°12'33"	20.80'	S68°14'52"E	20.02'	10.92'
C25	50.00'	185°22'39"	161.77'	S42°40'05"W	99.89'	1064.71'
C26	25.00'	48°10'06"	21.02'	N25°56'11"W	20.40'	11.17'
C27	25.00'	90°00'00"	39.27'	N43°08'52"E	35.36'	25.00'
C28	25.00'	93°49'21"	40.94'	S60°52'22"E	38.51'	26.73'
C29	25.00'	27°46'10"	12.12'	S12°01'57"W	12.00'	6.18'
C30	50.00'	271°07'18"	236.60'	S70°21'22"W	70.02'	49.03'
C31	25.00'	63°21'08"	27.64'	N33°31'42"W	26.26'	15.43'
C32	25.00'	88°56'30"	38.81'	N04°44'03"E	35.03'	24.54'
C33	25.00'	93°49'21"	40.94'	S25°18'17"W	38.51'	26.73'
C34	25.00'	91°57'49"	40.13'	S84°48'47"E	35.98'	25.87'
C35	50.00'	180°00'00"	157.08'	N40°47'42"W	100.00'	0.00'
C36	25.00'	94°12'36"	41.11'	N02°06'00"W	38.63'	26.91'

Line Table		
Line	Bearing	Distance
L1	N88°08'52"E	1,326.64'
L2	S15°33'53"W	180.13'
L3	S15°48'31"W	296.05'
L4	N74°22'06"W	20.00'
L5	S15°48'31"W	933.07'
L6	N40°47'42"W	80.00'
L7	N02°53'52"W	99.86'
L8	N49°12'18"E	227.48'
L9	S40°47'42"E	91.26'
L10	N13°27'21"W	63.54'
L11	N15°48'31"E	243.07'
L12	S52°27'40"W	132.31'
L13	N88°08'52"E	311.28'
L14	S01°51'08"E	250.00'
L15	N47°23'22"W	20.03'
L16	N88°08'52"E	446.94'
L17	S72°12'57"W	58.15'
L18	N01°51'08"W	100.30'
L19	N88°08'52"E	16.36'
L20	N49°12'18"E	127.60'
L21	N01°59'27"E	13.59'
L22	N45°13'24"W	54.96'
L23	N47°37'53"W	55.05'
L24	N50°01'56"W	55.57'
L25	N52°27'43"W	56.37'
L26	N54°55'57"W	57.47'
L27	N57°10'59"W	46.23'
L28	N59°21'48"W	54.22'
L29	N61°41'00"W	46.05'
L30	N63°48'50"W	63.52'
L31	S75°07'14"W	131.40'
L32	S15°48'31"W	371.60'
L33	S74°11'29"E	132.00'
L34	N74°11'29"W	132.00'
L35	S15°48'31"W	204.08'
L36	S15°37'31"E	63.62'
L37	S66°51'03"W	188.56'
L38	S15°48'31"W	183.13'
L39	S45°15'05"E	63.13'
L40	S47°48'37"W	104.24'

Line Table		
Line	Bearing	Distance
L41	S15°34'49"W	27.47'
L42	S35°12'30"E	126.91'
L43	S01°51'08"E	132.00'
L44	S01°51'08"E	132.00'
L45	N55°08'13"E	110.09'
L46	S58°50'30"E	110.09'
L47	N38°27'02"E	95.50'
L48	S03°35'12"E	91.77'
L49	S06°40'39"E	45.43'
L50	S08°40'26"E	45.61'
L51	S10°53'16"E	55.57'
L52	S13°17'21"E	55.07'
L53	S15°40'13"E	54.63'
L54	S18°02'00"E	54.25'
L55	S20°22'52"E	53.92'
L56	S22°42'56"E	53.64'
L57	S25°02'21"E	53.42'
L58	S27°21'16"E	53.26'
L59	S29°39'50"E	53.15'
L60	S31°58'12"E	53.10'
L61	S34°16'30"E	53.10'
L62	S36°42'00"E	48.63'
L63	S38°44'51"E	13.63'
L64	N49°24'48"E	127.01'
L65	S17°31'59"W	146.08'
L66	N88°08'52"E	420.00'
L67	S00°20'25"E	170.18'
L68	S03°15'01"E	201.96'
L69	N88°08'52"E	331.51'
L70	S84°56'03"E	35.23'
L71	S50°25'07"E	30.33'
L72	S15°06'10"E	30.33'
L73	S13°53'19"W	39.75'
L74	S15°48'31"W	136.50'
L75	S24°09'20"W	121.13'
L76	S38°45'42"W	25.00'
L77	S38°45'42"W	25.18'
L78	S27°27'38"W	25.12'
L79	S27°27'38"W	25.30'
L80	S89°25'25"E	45.04'
L81	S51°59'13"E	81.52'
L82	S15°48'31"W	109.45'

DATE: NOVEMBER 2022

SCALE NTS

SHEET 10 OF 1

SUNTERRA
SECTION 24
REPLAT NO 1

OWNER/DEVELOPER:
Astro Sunterra L.P.
a Delaware Limited Partnership
2450 FONDREN ROAD, SUITE 210
HOUSTON, TEXAS 77063
(713) 783-6702
Sobryant@landtejas.com

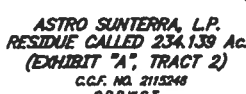
ENGINEER/PLANNER/SURVEYOR:



QUIDDITY
Quiddity Engineering, LLC
Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10045100
1229 Corporate Drive Rosenberg, Texas 77471 Tel: 342 2033

mahemandez@quiddity.com

K:\1853\18537-0052-00 Sunterra Section 24 WS02P\Y Design Phase\Planning\REPLAT\REPLAT Section 24.dwg Nov 29, 2023 - 5:59am CKJ



DATE: NOVEMBER 2022	<p style="text-align: center;">SUNTERRA SECTION 24 REPLAT NO 1</p>	<p>OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@landtejas.com</p>	<p>ENGINEER/PLANNER/SURVEYOR:</p> <div style="display: flex; align-items: center;"> <div> <p style="font-size: 24pt; font-weight: bold; margin: 0;">QUIDDITY</p> <p style="font-size: 8pt; margin: 0;">Quidd by Engineering, LLC</p> <p style="font-size: 8pt; margin: 0;">Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1229 Corporate Drive Roseburg, Texas 77471 281.342.7033</p> </div> </div> <p style="text-align: center; font-weight: bold;">mahernandez@quiddity.com</p>
SCALE 1" = 250'			
SHEET 1E OF 1			

Certificate of Surveyor
This is to certify that I, Chris D. Kalkomey, a Registered Professional Land Surveyor of the State of Texas, have platted the above subdivision from an actual survey on the ground; and that all block corners, lot corners and permanent referenced monuments have been set, that permanent control points will be set at completion of construction and that this plat correctly represents that survey made by me.

A portion of this subdivision lies within the boundaries of any municipality's corporate city limits, or area of extra territorial jurisdiction.

A portion of this subdivision lies within the boundaries of the 1% annual chance (100 year) flood plain as delineated on Waller County Community Panel #480640 dated 2/18/2009, and revised in LOMR 19-06-1115P dated 4/27/2020.




Chris D. Kalkomey
Registered Professional Land Surveyor
Texas Registration No. 5869

This is to certify that the Planning Commission of the City of Houston, Texas, has approved this plat and subdivision of Sunterra Section 24 Replat No 1 in conformance with the laws of the State of Texas and the ordinances of the City of Houston, as shown hereon, and authorized the recording of this plat this 5 day of DECEMBER, 2022.

By: Martha L. Stein or M. Sonny Garza
Title Chair Vice Chairman
By: H. Brodugney
Margaret Wallace Brown, AICP, CNU-A
Secretary



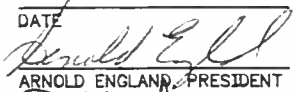
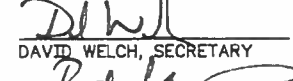
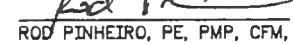
I, J. Ross McCall, County Engineer of Waller County, Certify that the Plat of this subdivision complies with all existing rules and regulations of Waller County.

No construction or other development within this subdivision may begin until all Waller County permit requirements have been met.

1-4-24
Date


J. Ross McCall
County Engineer

BROOKSHIRE- KATY DRAINAGE DISTRICT
APPROVED BY THE BOARD OF SUPERVISORS ON

DATE 11/16/2022

ARNOLD ENGLAND, PRESIDENT

DAVID WELCH, SECRETARY

ROD PINHEIRO, PE, PMP, CFM, DISTRICT ENGINEER

THE ABOVE HAVE SIGNED THESE PLANS AND/OR PLAT BASED ON THE RECOMMENDATION OF THE DISTRICT'S ENGINEER WHO HAS REVIEWED ALL SHEETS PROVIDED AND FOUND THEM TO BE IN GENERAL COMPLIANCE WITH THE DISTRICT'S 'RULES, REGULATIONS, AND GUIDELINES'. THIS APPROVAL IS ONLY VALID FOR THREE HUNDRED SIXTY-FIVE (365) CALENDAR DAYS. AFTER THAT TIME RE-APPROVAL IS REQUIRED. PLEASE NOTE, THIS DOES NOT NECESSARILY MEAN THAT ALL THE CALCULATIONS PROVIDED IN THESE PLANS AND/OR PLATS HAVE BEEN COMPLETELY CHECKED AND VERIFIED. PLANS SUBMITTED HAVE BEEN PREPARED, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE ENGINEERING IN THE STATE OF TEXAS AND PLAT HAS BEEN SIGNED AND SEALED BY A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE OF TEXAS, WHICH CONVEYS THE ENGINEER'S AND/OR SURVEYOR'S RESPONSIBILITY AND ACCOUNTABILITY.

BROOKSHIRE- KATY DRAINAGE DISTRICT Permit No. 2022-96 REVISED

DATE: NOVEMBER 2022	SUNTERRA SECTION 24 REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@landtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY Quiddity Engineering, LLC The Texas Board of Professional Engineers and Land Surveyors Registration No. 12046000 1204 Corporate Drive, Houston, Texas 77002-1204 mahernandez@quiddity.com
SCALE NTS			
SHEET 1F OF 1			

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STATE OF TEXAS §
COUNTY OF WALLER §

We, Astro Sunterra, L.P., A Delaware Limited Partnership, acting by and through James Henrie

Authorized Signer, owner hereinafter referred to as Owners of the 26.73 acre tract described in the above and foregoing map of Sunterra Section 24 Replat No 1, do hereby make and establish said subdivision and development plan of said property according to all lines, dedications, restrictions, and notations on said maps or plat and hereby dedicate to the use of the public forever, all streets (except those streets designated as private streets, or permanent access easements), alleys, parks, water courses, drains, easements and public places shown thereon for the purposes and considerations therein expressed; and do hereby bind ourselves, our heirs, successors and assigns to warrant and forever defend the title on the land so dedicated.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional eleven feet, six inches (11' 6") for ten feet (10' 0") perimeter ground easements or seven feet, six inches (7' 6") for fourteen feet (14' 0") perimeter ground easements or five feet, six inches (5' 6") for sixteen feet (16' 0") perimeter ground easements, from a plane sixteen feet (16' 0") above the ground level upward, located adjacent to and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals twenty one feet, six inches (21' 6") in width.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional ten feet (10' 0") for ten feet (10' 0") back-to-back ground easements, or eight feet (8' 0") for fourteen feet (14' 0") back-to-back ground easements or seven feet (7' 0") for sixteen feet (16' 0") back-to-back ground easements, from a plane sixteen feet (16' 0") above ground level upward, located adjacent to both sides and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals thirty feet (30' 0") in width.

FURTHER, we do hereby certify that we are the owners of all property immediately adjacent to and adjoining the boundaries of the above and foregoing subdivision SUNTERRA where public utility easements are to be established outside the boundaries of the above and foregoing subdivision and to hereby make and establish and dedicated to the use of the public utilities forever all public utility easements shown in said adjacent acreage.

FURTHER, Owners do hereby declare that all parcels of land designated as lots on this plat are originally intended for the construction of single family residential dwelling units thereon and shall be restricted for same under the terms and conditions of such restrictions filed separately.

FURTHER, Owners hereby certify that this replat does not attempt to alter, amend, or remove any covenants or restrictions.

FURTHER, all of the property subdivided in the above and foregoing plat shall be restricted in its use, which restrictions shall run with the title to the property and shall be enforceable at the option of Waller County, by Waller County, or any citizen thereof, by injunction as follows:

1. That drainage of septic tanks into roads, streets, alleys or public ditches, streams, ect., either directly or indirectly is strictly prohibited.
2. All stock animals, horses and fowl, shall be fenced in and not allowed to run at large in the subdivision.
3. Drainage structures under private drives shall have a new drainage opening area of sufficient size to permit the free flow of water without backwater and shall be a minimum of one and three quarters (1-1/4) square feet (15" diameter pipe) reinforced concrete pipe, unless specified by the County Road Administrator or County Engineer. Culverts and bridges must be used for all driveway and/or walks, although dip-style driveways are encouraged where appropriate.
4. Property owners will obtain Development Permits/Permit Exemptions from the County Flood Plain Administrator for all development.
5. There are no underground pipelines within the confines of the subdivision except as shown on the plat.
6. There shall be no sanitary sewer systems or any water well constructed within 50 feet of any lot line that does not adjoin with a public road.

IN TESTIMONY WHEREOF, the Astro Sunterra, L.P., a Delaware Limited Partnership has caused these presents to be signed by

James Henrie its Authorized Signer thereunto authorize, this 17th day of November, 2022.

Astro Sunterra, L.P.,
a Delaware Limited Partnership

By: Astro Sunterra GP LLC
a Delaware Limited Liability Company,
Its General Partner

By: James Henrie
Title: Authorized Signer

DATE: NOVEMBER 2022	SUNTERRA SECTION 24 REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@landtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. 9-23370 & 10046100 12219 Corporate Drive - Austin, Texas 78740 281-341-1233</small> mahernandez@quiddity.com
SCALE NTS			
SHEET 1G OF 1			

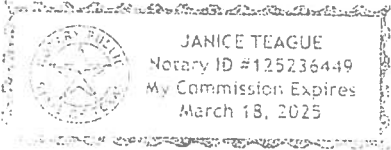
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STATE OF TEXAS §
COUNTY OF HARRIS §

BEFORE ME, the undersigned authority, on this day personally appeared James Henne Authorized Signer known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 17th day of November, 2022.

Janice Teague
Notary Public in and for the State of Texas
Janice Teague
Print Name



My commission expires: 03/18/2025

STATE OF TEXAS §
COUNTY OF WALLER §

I, Debbie Hollan, County Clerk in and for Waller County, Texas do hereby certify that the foregoing instrument with its certificate of authentication was filed for recordation in my office on _____, 20____ at _____ o'clock ____M in File No. _____ of the Plat Records of said County. Witness my hand and seal of office, at Hempstead, Texas, the day and date last above written.

Debbie Hollan
Waller County, Texas

By: _____
Deputy

CERTIFICATE OF COMMISSIONERS COURT

APPROVED by the Commissioners' Court of Waller County, Texas, this _____ day of _____, 20____.

Carbett "Trey" J. Duhon III
County Judge

John A. Amsler
Commissioner, Precinct 1

Walter E. Smith, P.E., RPLS
Commissioner, Precinct 2

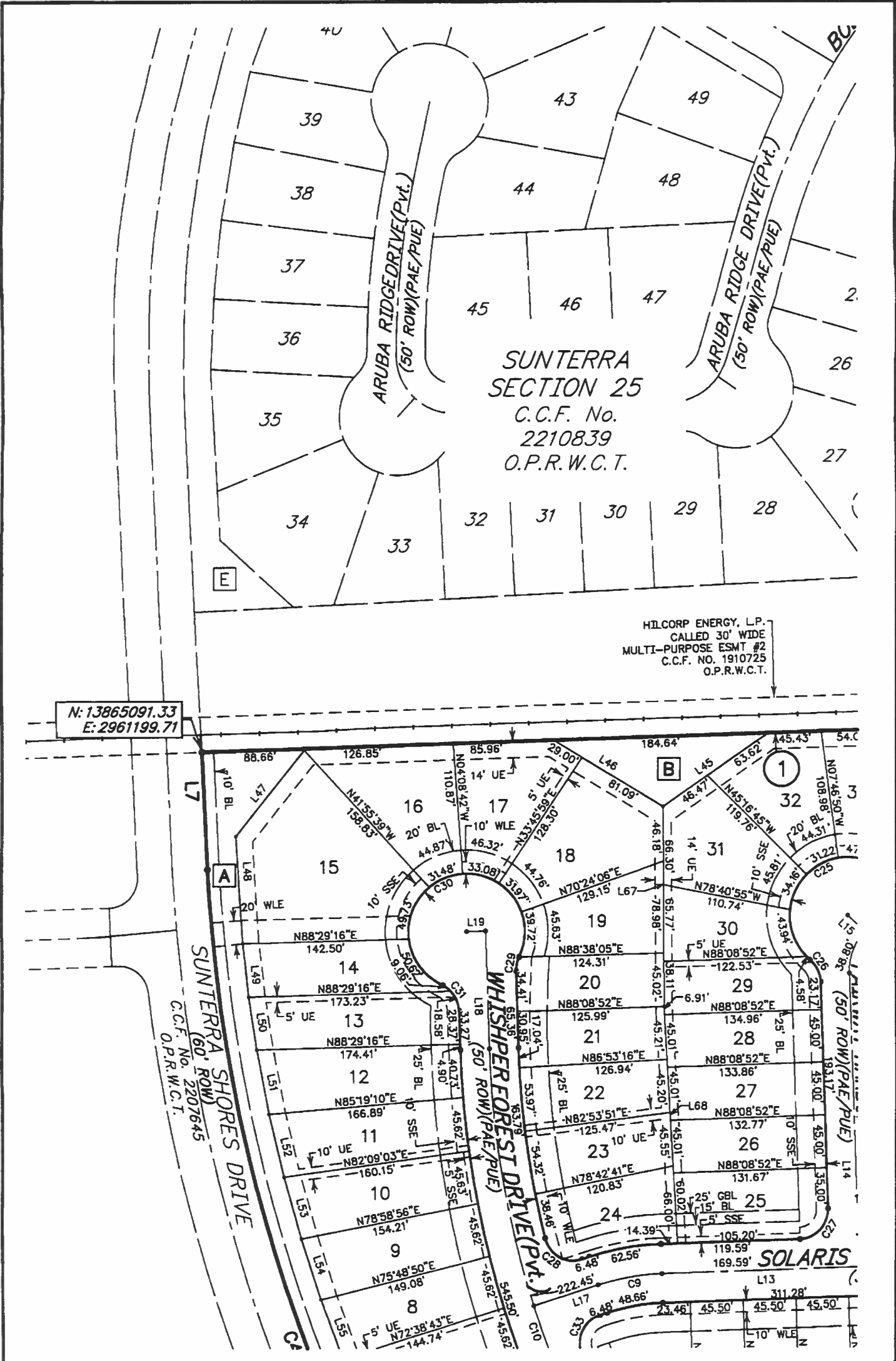
Kendric D. Jones
Commissioner, Precinct 3

Justin Beckendorff
Commissioner, Precinct 4

NOTE: Acceptance of the above plat by the Commissioners Court does not signify Waller County acceptance of the dedicated roads for integration into the County Road System. The developer is required to comply with Sections 5 and 6 of the current Waller County Subdivision and Development Regulations, in this regard.

DATE: NOVEMBER 2022	SUNTERRA SECTION 20A 24 REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@andtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration No. 1-23220 & 10046100 1729 Corporate Drive - Rosenberg, Texas 77471 281.342.2033</small> mahernandez@quiddity.com
SCALE NTS			
SHEET 1H OF 1			

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DATE: NOVEMBER 2022

SCALE 1"=100'

SHEET 11 OF 1

SUNTERRA
SECTION 24
REPLAT NO 1

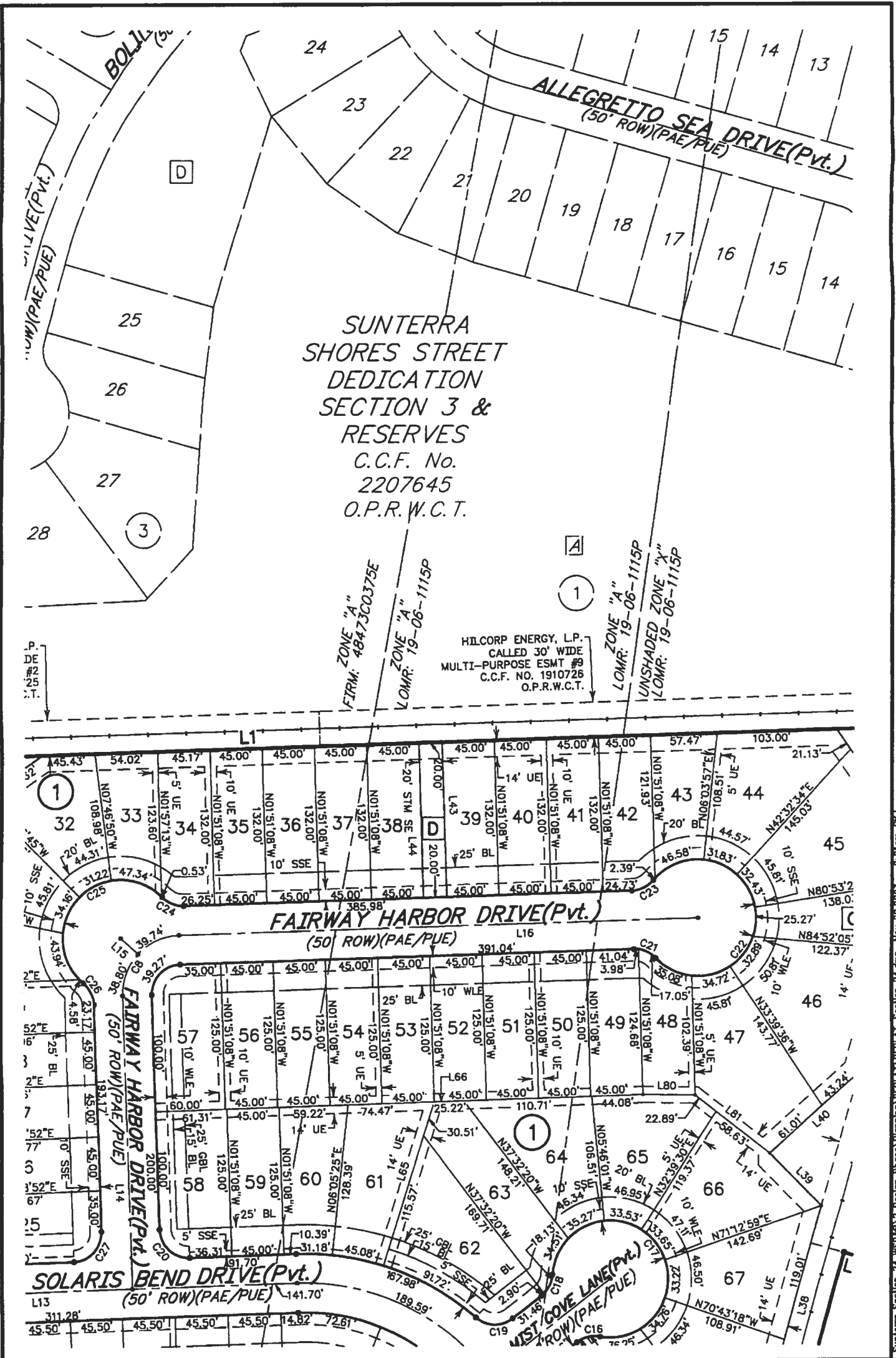
OWNER/DEVELOPER:
Astro Sunterra L.P.
a Delaware Limited Partnership
2450 FONDREN ROAD, SUITE 210
HOUSTON, TEXAS 77063
(713) 783-6702
Sobryant@andtejas.com


ENGINEER/PLANNER/SURVEYOR:

QUIDDITY
Quiddity Engineering, LLC

Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100
1229 Corporate Drive Rosenberg, Texas 77471 281.342.2033

mahemandez@quiddity.com

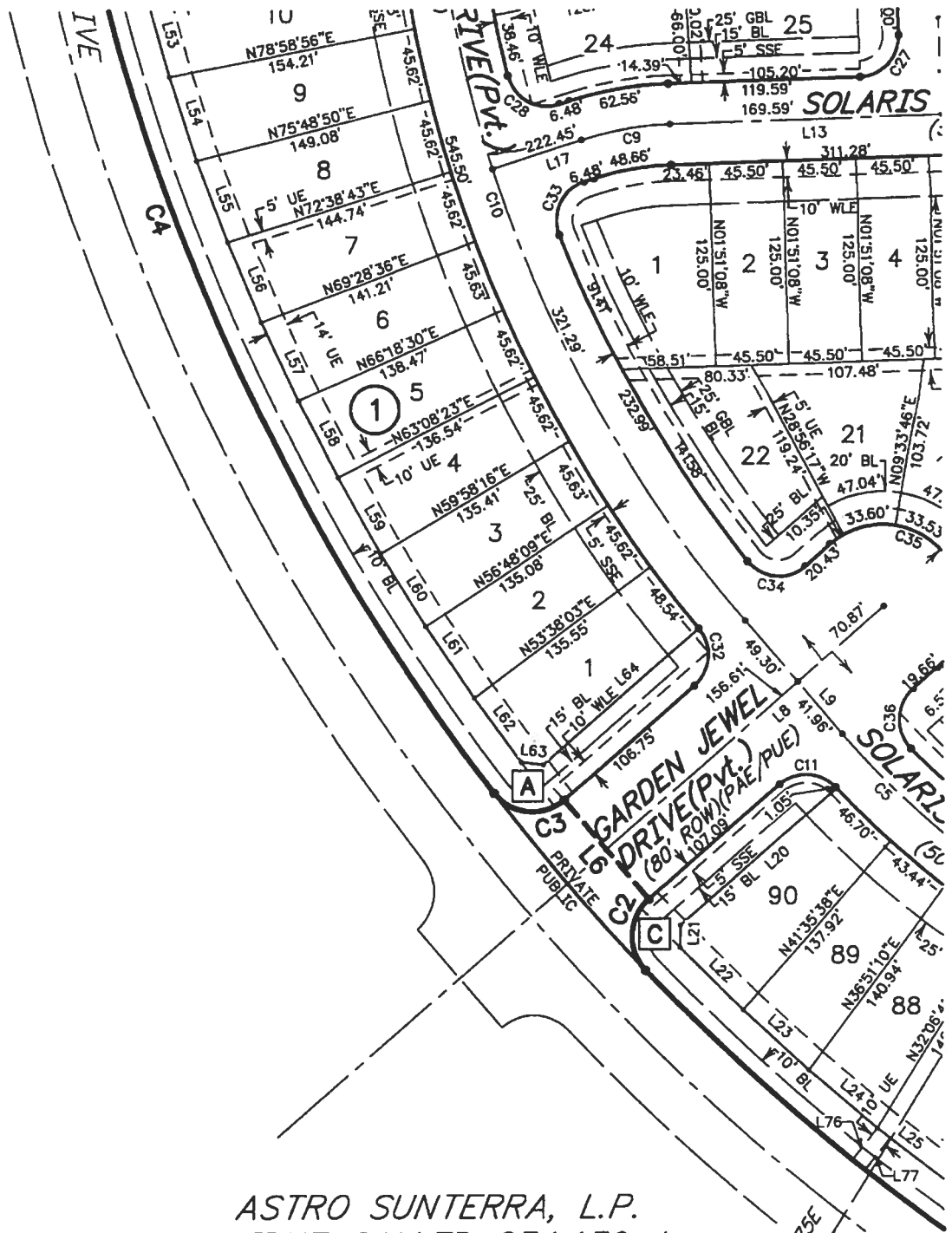


DATE: NOVEMBER 2022	SUNTERRA SECTION 24 REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sabryant@landtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quidd by Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10045100 1229 Corporate Drive - Rosenberg, Texas 77471 281-342-2033</small> mohamandez@quiddity.com
SCALE 1"= 100'			
SHEET 1J OF 1			

K:\18537\18537-0052-00 Sunterra Section 24 WSDP\X Design Phase\Planning\VIEW\PLAY\VIEW\PLAY Section 24.dwg Nov 29, 2023 - 8:01am DKG



mahernandez@quiddity.com



ASTRO SUNTERRA, L.P.
RESIDUE CALLED 234.139 Ac.
(EXHIBIT "A", TRACT 2)
C.C.F. NO. 2115246
O.P.R.W.C.T.

ZONE "A"
FROM: 4847300375E
ZONE "A"
LOMR: 19-06-11150

DATE: NOVEMBER 2022

SCALE 1"=100'

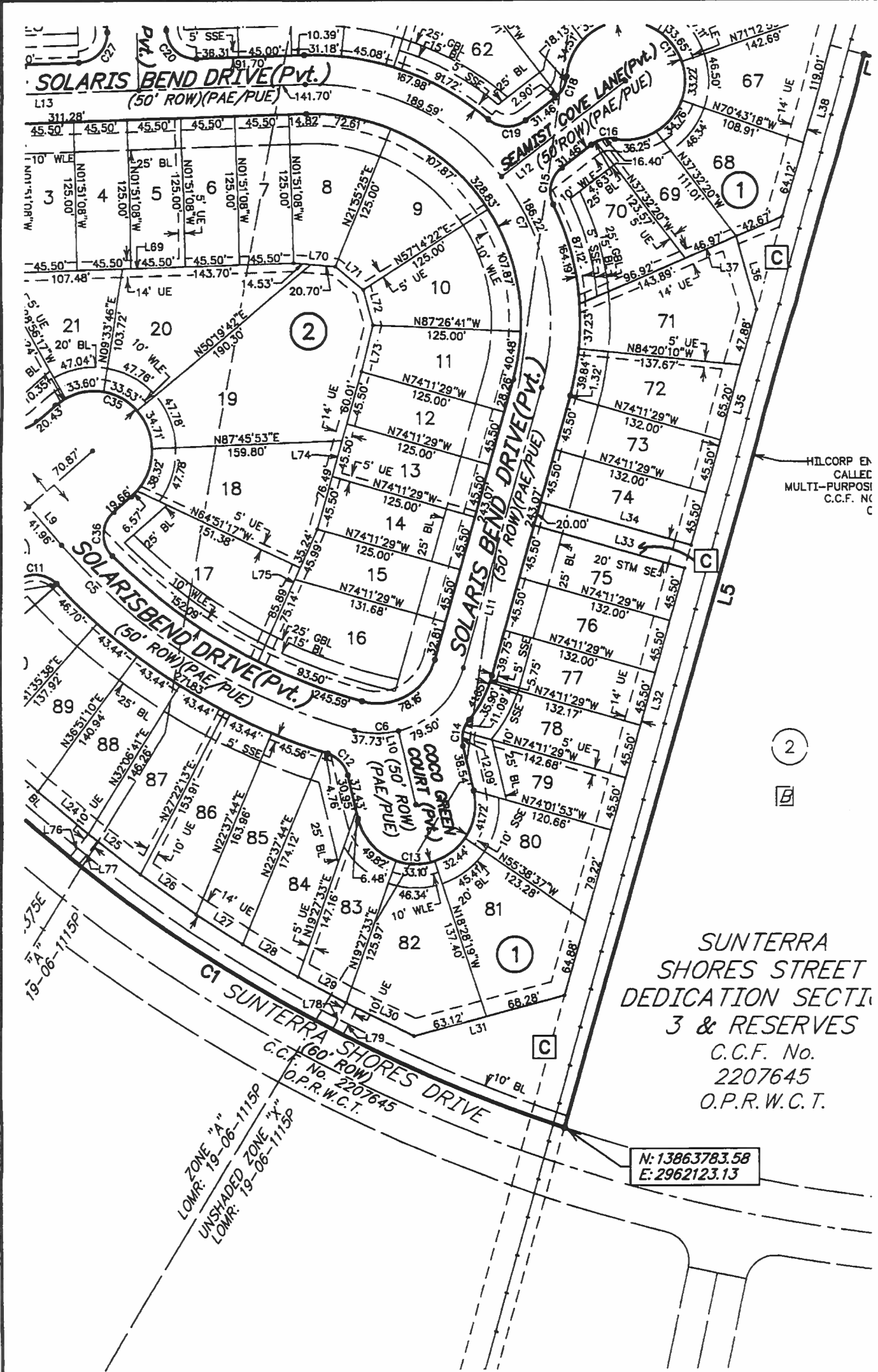
SHEET 1L OF 1

SUNTERRA
SECTION 24
REPLAT NO 1

OWNER/DEVELOPER:
Astro Sunterra L.P.
a Delaware Limited Partnership
2450 FONDREN ROAD, SUITE 210
HOUSTON, TEXAS 77063
(713) 783-6702
Sobryant@landtejas.com

ENGINEER/PLANNER/SURVEYOR:

QUIDDITY
Quiddity Engineering, LLC
Texas Board of Professional Engineers and Land Surveyors Registration No. F-23290 & 10048100
1229 Corporate Drive, Rosenberg, Texas 77471 281.342.2031
mahernandez@quiddity.com



DATE: NOVEMBER 2022

SCALE 1"=100'

SHEET 1M OF 1

SUNTERRA
SECTION 24
REPLAT NO 1

OWNER/DEVELOPER:
Astro Sunterra L.P.
a Delaware Limited Partnership
2450 FONDREN ROAD, SUITE 210
HOUSTON, TEXAS 77063
(713) 783-6702
Sabryant@andtejas.com

ENGINEER/PLANNER/SURVEYOR:

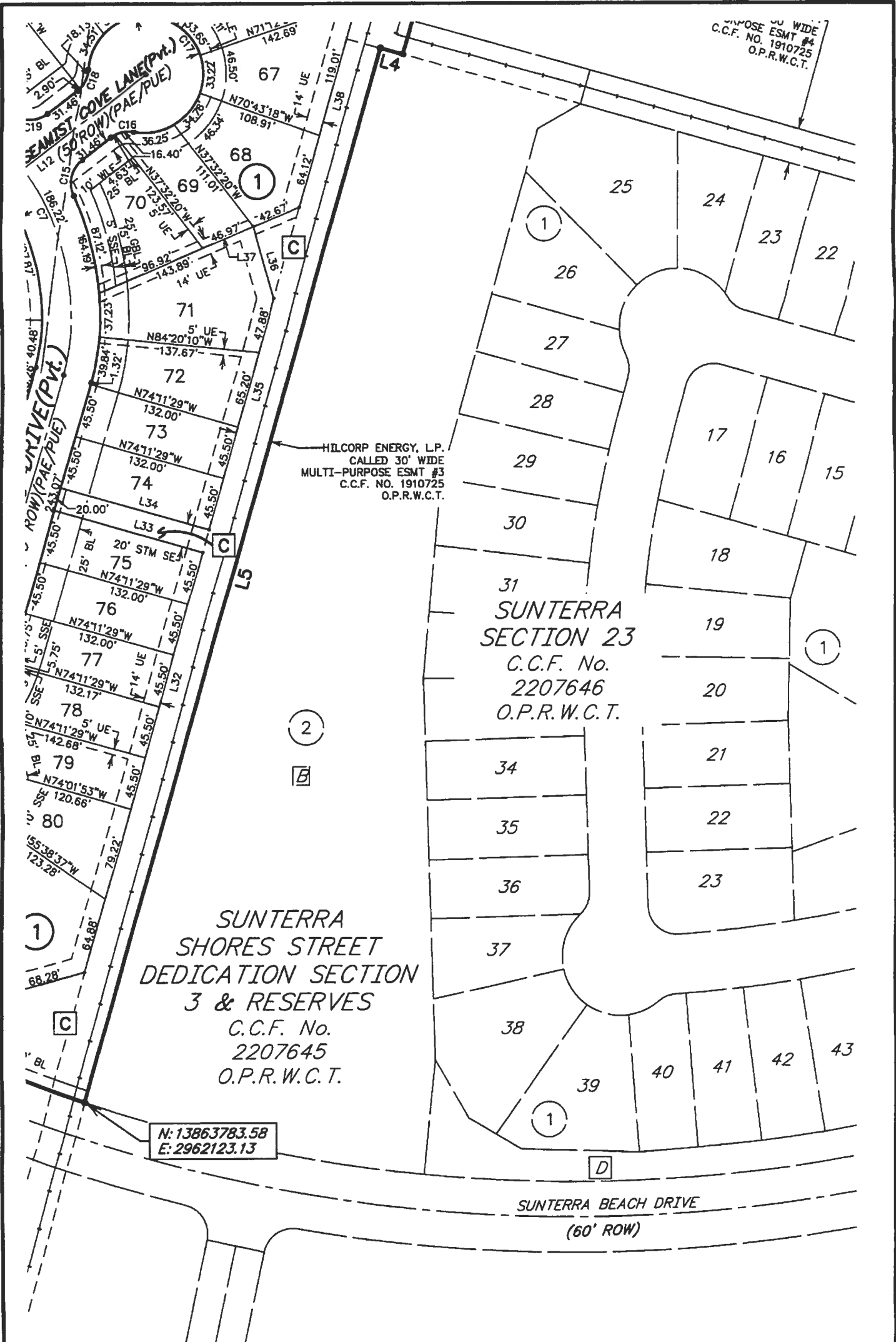


QUIDDITY

Quiddity Engineering, LLC
Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-22290 & 10046100
1279 Corporate Drive - Rosenberg, Texas 77471 281-343-7211

mahamondez@quiddity.com

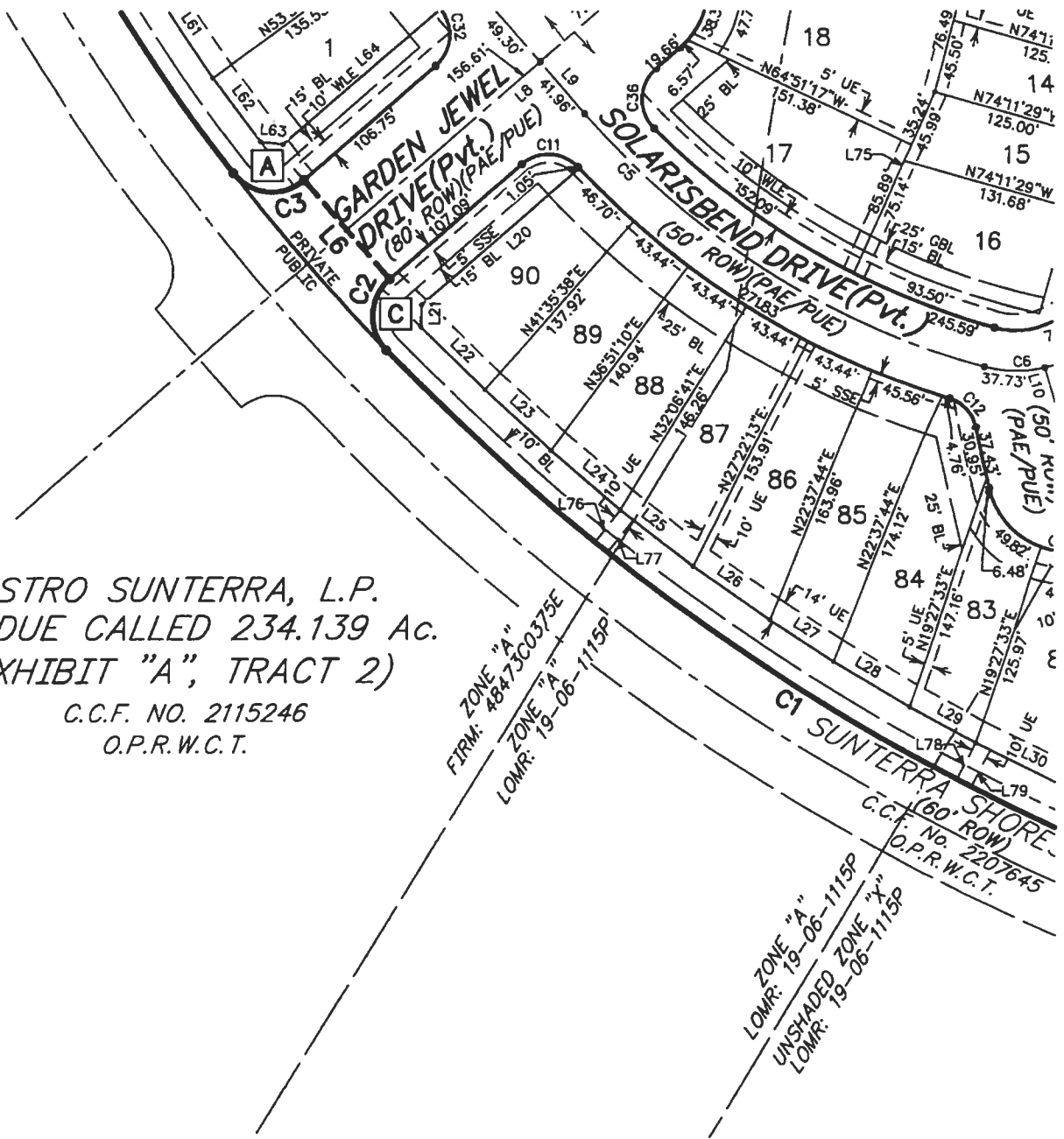
R:\1653\1653-0052-00 Sunterra Section 24 WSD&P\Design Phase\Planning\REF\DAT\REF\DAT_Section 24.dwg Nov 29, 2023 8:02am CJK



DATE: NOVEMBER 2022	SUNTERRA SECTION 24 REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@landtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1229 Corporate Drive, Rosenberg, Texas 77471 281.342.7033</small> mahernandez@quiddity.com
SCALE 1"=100'			
SHEET 1N OF 1			

K:\1853\1853-0052-00 Sunterra Section 24 WS02P\X Design Phase\Planning\REPLAT\REPLAT_Section 24.dwg Nov 28, 2023 - 8:05am CKJ

ASTRO SUNTERRA, L.P.
RESIDUE CALLED 234.139 AC.
(EXHIBIT "A", TRACT 2)
C.C.F. NO. 2115246
O.P.R. W.C.T.



DATE: NOVEMBER 2022

SCALE 1"=100'

SHEET 10 OF 1

SUNTERRA
SECTION 24
REPLAT NO 1

OWNER/DEVELOPER:
Astro Sunterra L.P.
a Delaware Limited Partnership
2450 FONDREN ROAD, SUITE 210
HOUSTON, TEXAS 77063
(713) 783-6702
Sabryant@landtejas.com

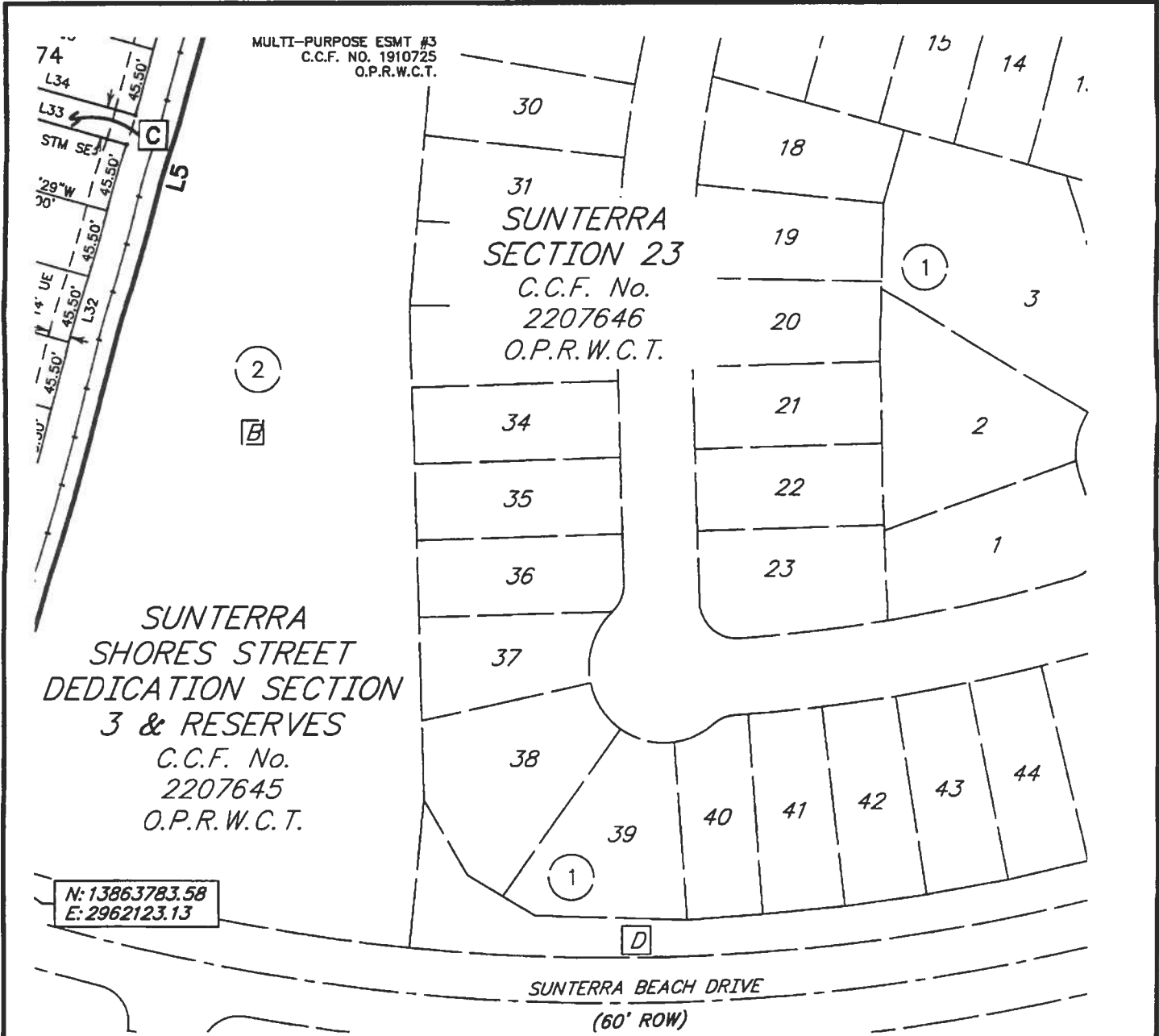
ENGINEER/PLANNER/SURVEYOR:



QUIDDITY
Quiddity Engineering, LLC

Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-33290 & 10046100
1229 Corporate Drive, Asterberg, Texas 77471 281 347 7033

mahamendez@quiddity.com



A RESTRICTED RESERVE "A"
Restricted to Landscape, Open
Space & Incidental Utility
Purposes Only
0.67 AC
29,168 SQ FT

B RESTRICTED RESERVE "B"
Restricted to Landscape, Open Space
& Incidental Utility
Purposes Only
0.13 AC
5,537 SQ FT

C RESTRICTED RESERVE "C"
Restricted to Landscape, Open Space
& Incidental Utility
Purposes Only
2.14 AC
93,365 SQ FT

D RESTRICTED RESERVE "D"
Restricted to Landscape, Open Space
& Incidental Utility
Purposes Only
0.06 AC
2,640 SQ FT

RESERVE TOTALS
3.00 AC
130,715 Sq Ft

DATE: NOVEMBER 2022

SCALE 1"=80'

SHEET 1Q OF 1

SUNTERRA
SECTION 24
REPLAT NO 1

OWNER/DEVELOPER:
Astro Sunterra L.P.
a Delaware Limited Partnership
2450 FONDREN ROAD, SUITE 210
HOUSTON, TEXAS 77063
(713) 783-6702
Sobryant@landtejas.com

ENGINEER/PLANNER/SURVEYOR:



QUIDDITY

Quiddity Engineering, LLC
Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23790 & 10046100
1229 Corporate Drive Rosenberg, Texas 77471 281-342-2033
mahernandez@quiddity.com

WALLER COUNTY

Yancy Scott, P.E., CFM
County Engineer



Item 8.

MEMORANDUM

To: Honorable Commissioners' Court

Item: Final RePlat Approval for Sunterra Section 29 Partial Replat No.1

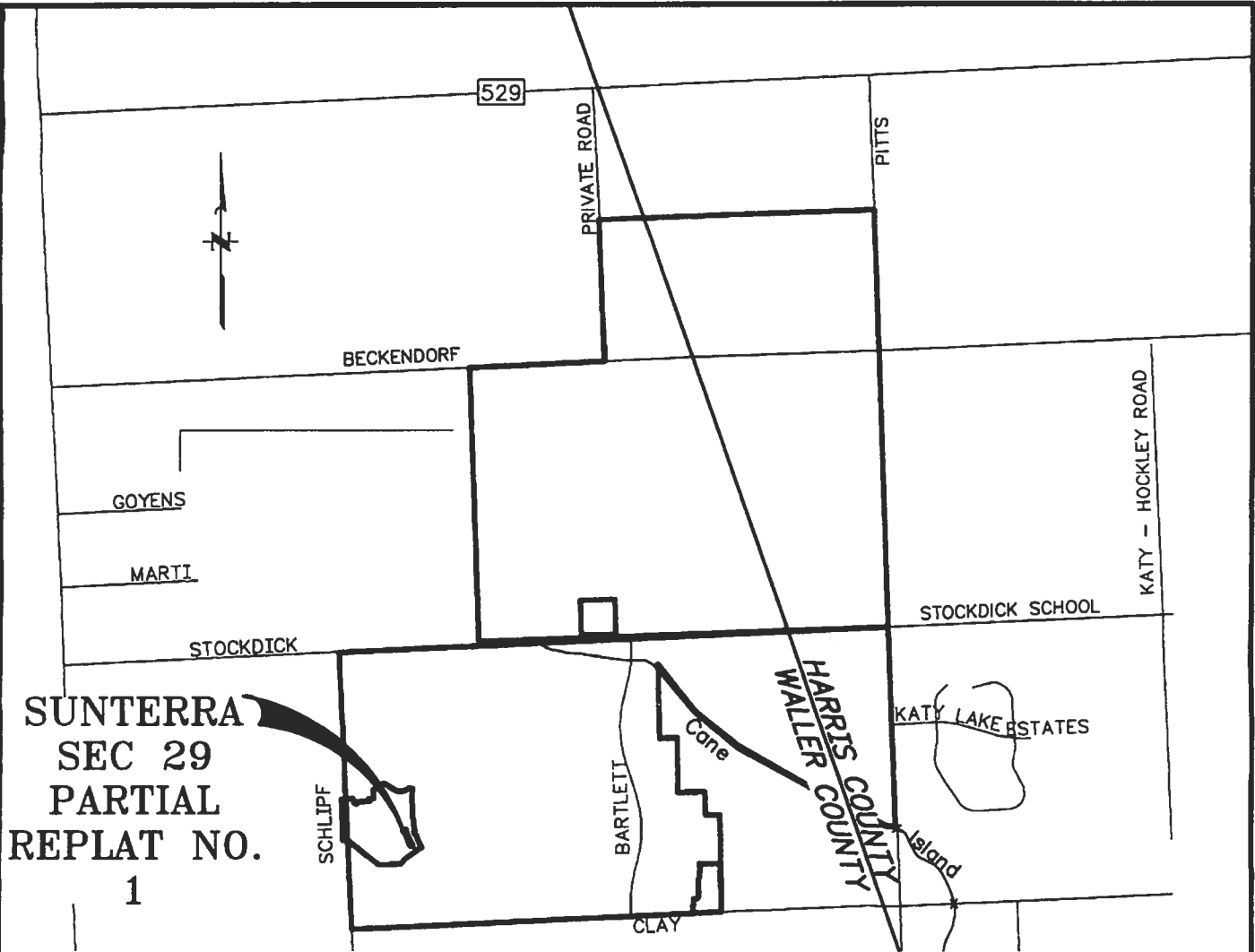
Date January 10, 2024

Background

Final RePlat of Sunterra Section 29 Partial Replat No.1 to change street names of Sol Vida Drive to Apple Rose Lane and Harbor Ridge Drive to Golden Dust Drive in Precinct 3.

Staff Recommendation

Approve Plat



VICINITY MAP


Scale: NTS

KEY MAP 443 D

SUNTERRA

SEC 29 PARTIAL REPLAT NO 1

A SUBDIVISION OF 0.53 ACRE OF LAND
BEING A REPLAT OF THE RIGHT-OF-WAY OF "TANTARA
DRIVE", "SOL VIDA DRIVE" AND "HARBOR RIDGE DRIVE",
SUNTERRA SEC 29, RECORDED UNDER C.C.F. NO. 2212972
O.P.R.W.C.T. OUT OF THE
H. & T. C. RAILROAD SURVEY SECTION 121, A-201
WALLER COUNTY, TEXAS
REASON FOR REPLAT: TO CHANGE STREET NAMES OF
"SOL VIDA DRIVE" TO "APPLE ROSE LANE" AND "HARBOR
RIDGE DRIVE" TO "GOLDEN DUST DRIVE"
MAY 2023

DATE: MAY 2023	SUNTERRA SEC 29 PARTIAL REPLAT NO. 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@andtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. # 23290 & 10044-100 1329 Corporate Drive, Suite 100 - Rosenberg, TX 77471-2813 281.342.2233</small> Cjamnik@quiddity.com
SCALE NTS			
SHEET 1A OF 1			

K:\18537\18537-0088-00 Sunterra Section 29 WSD\28\28 WSD\28\28 Design Phase\Planning\REPLAT\Sunterra Sec 29.dwg Nov 28/2023 - 7:04am CJK

A METES & BOUNDS description of an 0.53 acre strip of land in the H. & T. C. Railroad Company Survey Section 121, Abstract 201, Waller County, Texas, being over, through and across Sunterra Sec 29, according to map or plat thereof recorded under County Clerk's File Number 2212972, Official Public Records, Waller County, Texas, with all bearings based upon the Texas Coordinate System of 1983, South Central Zone, based upon GPS observations.

Beginning at a 5/8 inch iron rod with cap marked "Quiddity" found for the southeast corner of the herein described tract, being the southwest corner of the adjoining Lot 19, Block 4 and the northwest corner of the adjoining Lot 18, Block 4 of said Sunterra Sec 29, being in the easterly line of Harbor Ridge Drive (width varies this location);

Thence establishing the south line of the herein described tract, crossing said Harbor Ridge Drive to points at the following courses and distances:

North 88 degrees 10 minutes 18 seconds West, 50.00 feet;

North 80 degrees 28 minutes 41 seconds West, 25.22 feet to a point for the southwest corner of the herein described tract, being in the southeast line of the adjoining Lot 18, Block 5 of said Sunterra Sec 29, being in the westerly line of said Harbor Ridge Drive, and being in a non-tangent curve to the left;

Thence establishing the westerly line of said Harbor Ridge Drive, same being the northeast line of the adjoining Lots 13 through 18, Block 5 the westerly line of Harbor Ridge Drive, and the westerly line of Sol Vida Drive (50-foot wide) to points at the following courses and distances:

Thence with said non-tangent curve to the left, having a central angle of 44 degrees 23 minutes 27 seconds, an arc length of 19.37 feet, a radius of 25.00 feet, and a chord bearing North 01 degree 59 minutes 03 seconds West, 18.89 feet to a found 1/4 inch iron rod with cap marked "Quiddity";

North 24 degrees 10 minutes 46 seconds West, 279.62 feet to a 1/4 inch iron rod with cap marked "Quiddity" found at the beginning of a curve to the left;

Thence with said curve to the left, having a central angle of 03 degrees 38 minutes 09 seconds, an arc length of 7.93 feet, a radius of 125.00 feet, and a chord bearing North 25 degrees 59 minutes 51 seconds West, 7.93 feet to a found 1/4 inch iron rod with cap marked "Quiddity";

North 27 degrees 48 minutes 55 seconds West, 19.74 feet to a 1/4 inch iron rod with cap marked "Quiddity" found at the beginning of a curve to the left;

Thence with said curve to the left, having a central angle of 64 degrees 16 minutes 34 seconds, an arc length of 28.05 feet, a radius of 25.00 feet, and a chord bearing North 59 degrees 57 minutes 12 seconds West, 26.60 feet to a 1/4 inch iron rod with cap marked "Quiddity" found in the north line of said Lot 13, Block 5 and the southerly line of Tantara Drive (50-foot wide);

North 02 degrees 05 minutes 29 seconds West, crossing said Tantara Drive, 50.00 feet to the lower northwest corner of the herein described tract, being in the northerly line of said Tantara Drive and the south line of the adjoining Lot 66, Block 1 of said Sunterra Sec 29;

Thence along an interior line of the herein described tract, being the south line of said Lot 66, Block 1, and the northerly line of said Tantara Drive to points at the following courses and distances:

North 87 degrees 54 minutes 31 seconds East, 7.32 feet to a 1/4 inch iron rod with cap marked "Quiddity" found at the beginning of a curve to the left;

Thence with said curve to the left, having a central angle of 90 degrees 48 minutes 23 seconds, an arc length of 39.62 feet, a radius of 25.00 feet, and a chord bearing North 42 degrees 30 minutes 19 seconds East, 35.60 feet to a 1/4 inch iron rod with cap marked "Quiddity" found for the upper northwest corner of the herein described tract, same being the southeast corner of said Lot 66, Block 1, and being in the westerly line of said Apple Rose Lane (50-foot wide);

Thence North 87 degrees 06 minutes 09 seconds East establishing the north line of the herein described tract, crossing said Apple Rose Lane, 50.00 feet to a 1/4 inch iron rod with cap marked "Quiddity" found for the northeast corner of the herein described tract, being in the easterly line of said Apple Rose Lane, and the west line of Lot 77, Block 1, and being in a non-tangent curve to the right;

Thence establishing the easterly line of the herein described tract, being the easterly line of said Apple Rose Lane, the easterly line of said Sol Via Drive, the westerly line of Lot 77 and 78, Block 1, the westerly line of Restricted Reserve "B" and Restricted Reserve "C", and the westerly line of Lots 22 through 19, Block 4, crossing Seaglass Arbor Drive (60-foot wide) to points at the following courses and distances:

Thence with said non-tangent curve to the right, having a central angle of 35 degrees 04 minutes 56 seconds, an arc length of 45.92 feet, a radius of 75.00 feet, and a chord bearing South 14 degrees 38 minutes 37 seconds West, 45.21 feet to a 1/4 inch iron rod with cap marked "Quiddity" found at the beginning of a reverse curve to the left;

Thence with said reverse curve to the left, having a central angle of 60 degrees 00 minutes 00 seconds, an arc length of 26.18 feet, a radius of 25.00 feet, and a chord bearing South 02 degrees 11 minutes 05 seconds West, 25.00 feet to 1/4 inch iron rod with cap marked "Quiddity" found at the end of said curve;


South 27 degrees 48 minutes 55 seconds East, 20.05 feet to 3/4 inch iron rod with cap marked "Quiddity" found at the beginning of a curve to the right;

Thence with said curve to the right, having a central angle of 03 degrees 38 minutes 09 seconds, an arc length of 11.10 feet, a radius of 175.00 feet, and a chord bearing South 25 degrees 59 minutes 51 seconds East, 11.10 feet to a 1/4 inch iron rod with cap marked "Quiddity" found at the end of said curve;

South 24 degrees 10 minutes 46 seconds East, 267.69 feet to a 1/4 inch iron rod with cap marked "Quiddity" found at the beginning of a curve to the left;

Thence with said curve to the left, having a central angle of 35 degrees 22 minutes 22 seconds, an arc length of 15.43 feet, a radius of 25.00 feet, and a chord bearing South 41 degrees 51 minutes 57 seconds East, 15.19 feet to a 1/4 inch iron rod with cap marked "Quiddity" found at the beginning of a reverse curve to the right;

Thence with said reverse curve to the right, having a central angle of 61 degrees 22 minutes 51 seconds, an arc length of 53.56 feet, a radius of 50.00 feet, and a chord bearing South 28 degrees 51 minutes 43 seconds East, 51.04 feet to the Place of Beginning and containing 0.53 acre, more or less.

DATE: MAY 2023	SUNTERRA SEC 29 PARTIAL REPLAT NO. 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sabryant@landtejas.com	<div>ENGINEER/PLANNER/SURVEYOR:</div> <div> QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. E-13390 & L20646-02 1228 Corporate Drive, Suite 100 Houston, TX 77031 281 342 2033</small></div> <div>Cjamnik@quiddity.com</div>
SCALE NTS			
SHEET 18 OF 1			

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General Notes:

- AE "Aerial Easement"
- BL "Building Line"
- C.C.F. "County Clerk's File"
- C.L. "Center Line"
- GBL "Garage Building Line"
- No "Number"
- O.P.R.W.C.T. . . . "Official Public Records, Waller County, Texas"
- O.P.R.R.P.H.C.T. . "Official Public Records of Real Property,
Harris County, Texas"
- ROW "Right-of-Way"
- SSE "Sanitary Sewer Easement"
- Sq Ft "Square Feet"
- UE "Utility Easement"
- Vol — Pg — . . . "Volume and Page"
- WLE "Waterline Easement"
- "Set 3/4-inch Iron Rod With Cap Stamped
"Quiddity" as Per Certification"
- ① "Block Number"
- ↗ "Street Name Break"

- 1. This subdivision is proposed for single-family residential, detention and other related uses.
- 2. The radius on all block corners is 25 feet, unless otherwise noted.
- 3. All easements are centered on lot lines unless otherwise shown. All 14 foot utility easements shown extend 7 feet on each side of a common lot line unless otherwise indicated.
- 4. With respect to recorded instruments within this plat, surveyor relied on City Planning Letter issued by the representative Title Company dated March 6, 2023.
- 5. All coordinates shown are grid based on the Texas Coordinate System of 1983, South Central Zone, and may be converted to surface by applying the combined scale factor of 0.99989805999.
- 6. All bearings are based on the Texas Coordinate System of 1983, South Central Zone, and the project coordinates were determined with GPS observations. All of the distances shown are in U.S. survey feet.
- 7. A minimum of ten (10) feet shall be provided between sides of residential dwellings.
- 8. New development within the subdivision plat shall obtain a storm water quality permit before the issuance of any development permits.
- 9. Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing.
- 10. Structures built on lots in the designated flood plain shall be elevated to two (2) feet or more above the 500-year floodplain elevation, in the 100-year floodplain. Within the 500-year, these structures must be elevated to one (1) foot above the 500-year floodplain level. No development permits will be issued in a Flood Hazard Area below the base flood elevation (B.F.E.) Contact the County Engineer's office for specific information.
- 11. No structure in this subdivision shall be occupied until connected to a public sewer system.
- 12. No structure in this subdivision shall be occupied until connected to an individual water supply or a state - approved community water system.
- 13. This tract lies within within Zone "A" with no defined B.F.E. and Unshaded Zone X of the Flood Insurance Rate Map, Community No. 480640, Map Number 48473C0375E, Panel 0375, suffix "E" dated February 18, 2009 for Waller County, Texas and incorporated areas. Unshaded Zone "X": is defined as areas determined to be outside the 0.2% annual chance floodplain. Zone "A": is defined as Special Flood Hazard areas subject to inundation by the 1% annual chance flood, with no Base Flood Elevations defined.
- 14. Unless otherwise indicated, the building line (B.L.), whether one or more, shown on this subdivision plat are established to evidence compliance with the applicable provisions of Chapter 42, Code of Ordinances, City of Houston, Texas, in effect at the time this plat was approved, which may be amended from time to time.
- 15. Single Family Residential shall mean the use of a lot with one building designed for and containing no more than two separate units with facilities for living, sleeping cooking and eating therein. A lot upon which is located a free-standing building containing one dwelling unit and a detached secondary dwelling unit of no more than 900 square feet also shall be considered single family residential. A building that contains one dwelling unit on one lot that is connected by a party wall to another building containing one dwelling unit on an adjacent lot shall be single family residential.
- 16. Each lot shall provide a minimum of two off-street parking spaces per dwelling unit on each lot. In those instances where a secondary unit is provided only one additional space shall be provided.
- 17. Right-of-way easements for widening streets or improving drainage shall be maintained by the landowner until all street or drainage improvements are actually constructed on the property. The county has the right at any time to take possession of any street widening easement for construction, improvement or maintenance.
- 18. The building of all streets, bridges or culverts is the responsibility of the owners in accordance with the plans prescribed by the Commissioners Court. The Commissioners Court assumes no obligation to build or maintain any of the streets shown on the plat or constructing any of the bridges or drainage improvements. Upon completion of all obligations by the developer and written approval from the Commissioners Court, the County will assume full responsibility for maintenance of the public streets. The county will assume no responsibility for the drainage ways or easements in the subdivision, other than those draining or protecting the streets. The county assumes no responsibility for the accuracy of representations by other parties on the plat. Flood plain data, in particular, may change depending on subsequent development. The owners of land covered by this plat must install at their own expense all traffic control devices and signage that may be required before the streets in the subdivision have finally been accepted for maintenance by the county.
- 19. The property subdivided herein is further restricted in its use as specified under the terms and conditions of restrictions filed separately. A copy of said restrictions will be furnished by aforesaid Astro Sunterra, L.P., a Delaware Limited Partnership, to the purchaser of each and every lot in the subdivision prior to culmination of each sale include certification that the subdivider has complied with the requirements of section 232.032 and that:
 - (a) the water quality and connections to the lots meet, or will meet, the minimum state standards;
 - (b) sewer connections to the lots or septic tanks meet, or will meet, the minimum requirements of state standards;
 - (c) electrical connections provided to the lot meet, or will meet, the minimum state standards; and
 - (d) gas connections, if available, provided to the lot meet, or will meet, the minimum state standards.
- 20. Project site is within City of Houston ETJ.
- 21. All pipelines and pipeline easements that exist within the boundaries of this plat are shown hereon.
- 22. All lots shall have adequate wastewater collection services.
- 23. TBM "7520" being a set cotton picker spindle. Located on the west edge of asphalt in Schilpf Road, being +/- 2,490' North of the Intersection of Schilpf Road and Clay Road, and +/- 2,786' South of the Intersection of Schilpf Road and Stockdick School Road. Elevation = 164.00 (NAVD88, 2001 Adjustment).
- 24. Elevations shown hereon are based on TSARP Monument 190105, being located along Pitts Road, approximately 1,485 feet north of the Intersection of Pitts Road and Clay Road. Benchmark is west of Pitts Road and north of Cane Island Branch, on the north high bank of Cane Island Branch between the end of a guardrail and an existing fence running north-south. Elevation = 156.48' (NAVD88, 2001 Adjustment)
- 25. Tract is subject to Grant of Easement and Surface Use Agreement recorded under C.C.F. NOS. 1910725, 1910726, and 2007577, O.P.R.W.C.T.

DATE: MAY 2023	SUNTERRA SEC 29 PARTIAL REPLAT NO. 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@andtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration No. 1-21290 & 12046-120 1229 Corporate Drive, Suite 100 Houston, TX 77071-1813 281.942.2031</small> Cjamnik@quiddity.com
SCALE NTS			
SHEET 10 OF 1			

K:\6537\16537-0008-00 Sunterra Section 29 WSD&P\Design Phase\Planning\REPLAT\Mapa_Sunterra_Sec 29.dwg Nov 21, 2023 7:05am UC

K:\0988-00 SURVEY SECTION PLANS\67 WSW\72 Design Phase Planning\REFL\Replaced\Schematic Set.dwg May 01, 2003 - 11:47 am CDT

STATE OF TEXAS 5
COUNTY OF WALLER 5

We, Astro Sunterra, L.P., a Delaware Limited Partnership, acting by and through Melanie Ohl, Authorized Signer, owner hereinafter referred to as Owners of the 0.53 acre tract described in the above and foregoing map of Sunterra Sec 29 Partial Replat No 1, do hereby make and establish said subdivision and development plan of said property according to all lines, dedications, restrictions, and notations on said maps or plat and hereby dedicate to the use of the public forever, all streets (except those streets designated as private streets, or permanent access easements), alleys, parks, water courses, drains, easements and public places shown thereon for the purposes and considerations therein expressed; and do hereby bind ourselves, our heirs, successors and assigns to warrant and forever defend the title on the land so dedicated.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional eleven feet, six inches (11' 6") for ten feet (10' 0") perimeter ground easements or seven feet, six inches (7' 6") for fourteen feet (14' 0") perimeter ground easements or five feet, six inches (5' 6") for sixteen feet (16' 0") perimeter ground easements, from a plane sixteen feet (16' 0") above the ground level upward, located adjacent to and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals twenty one feet, six inches (21' 6") in width.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional ten feet (10' 0") for ten feet (10' 0") back-to-back ground easements, or eight feet (8' 0") for fourteen feet (14' 0") back-to-back ground easements or seven feet (7' 0") for sixteen feet (16' 0") back-to-back ground easements, from a plane sixteen feet (16' 0") above ground level upward, located adjacent to both sides and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals thirty feet (30' 0") in width.

FURTHER, we do hereby certify that we are the owners of all property immediately adjacent to and adjoining the boundaries of the above and foregoing subdivision, Sunterra where public utility easements are to be established outside the boundaries of the above and foregoing subdivision and to hereby make and establish and dedicated to the use of the public utilities forever all public utility easements show in said adjacent acreage.

FURTHER, all of the property subdivided in the above and foregoing plat shall be restricted in its use, which restrictions shall run with the title to the property and shall be enforceable at the option of Waller County, by Waller County, or any citizen thereof, by injunction as follows:

- 1. That drainage of septic tanks into roads, streets, alleys or public ditches, streams, ect., either directly or indirectly is strictly prohibited.
- 2. All stock animals, horses and fowl, shall be fenced in and not allowed to run at large in the subdivision.
- 3. Drainage structures under private drives shall have a new drainage opening area of sufficient size to permit the free flow of water without backwater and shall be a minimum of one and three quarters (1-1/4) square feet (15" diameter pipe) reinforced concrete pipe, unless specified by the County Road Administrator or County Engineer. Culverts and bridges must be used for all driveway and/or walks, although dip-style driveways are encouraged where appropriate.
- 4. Property owners will obtain Development Permits/Permit Exemptions from the County Flood Plain Administrator for all development.
- 5. There are no underground pipelines within the confines of the subdivision except as shown on the plat.
- 6. There shall be no sanitary sewer systems or any water well constructed within 50 feet of any lot line that does not adjoin with a public road.

FURTHER, Owners hereby certify that this replat does not attempt to alter, amend, or remove any covenants or restrictions;

IN TESTIMONY WHEREOF, the Astro Sunterra, L.P., a Delaware Limited Partnership has caused these presents to be signed by Melanie Ohl, its Authorized Signer, thereunto authorize, this 3rd day of May, 2023.

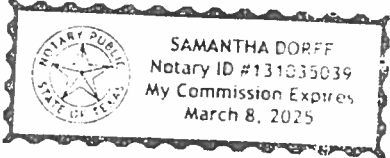
Astro Sunterra, L.P.,
a Delaware Limited Partnership
By: Astro Sunterra GP LLC
a Delaware Limited Liability Company
Its General Partner
By: Melanie Ohl
By: Melanie Ohl
Title: Authorized Signer

STATE OF TEXAS 5
COUNTY OF HARRIS 5

BEFORE ME, the undersigned authority, on this day personally appeared Melanie Ohl Authorized Signer known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 3rd day of May, 2023.

Samantha Doff
Notary Public in and for the State of Texas
Samantha Doff
Print Name
My commission expires: 3-8-2025




DATE: MAY 2023	SUNTERRA SEC 29 PARTIAL REPLAT NO. 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@landtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering LLC Texas Board of Professional Engineering and Land Surveyors Registration No. 4-23240-0012000 1229 Corporate Drive, Suite 200 • Houston, TX 77057 • 281.342.2211</small> Cjamnik@quiddity.com
SCALE 1" = 250'			
SHEET 1E OF 1			

K:\16557\16557-0088-00 Sunterra Section 29 WSDAP\2 Design\Phone\Planning\REPLAT\Sunterra Sec 29.dwg May 01, 2023 - 2:31pm OKJ

Line Table		
Line	Bearing	Distance
L1	N87°06'08"E	50.00'
L2	S27°48'55"E	20.05'
L3	S24°10'46"E	267.69'
L4	N88°10'18"W	50.00'
L5	N80°28'41"W	25.22'
L6	N24°10'46"W	279.62'
L7	N27°48'55"W	19.74'
L8	N02°05'29"W	50.00'
L9	N87°54'31"E	7.32'
L10	N65°49'14"E	25.00'
L10	N27°48'55"W	56.65'
L11	N24°10'46"W	279.62'
L12	N87°54'31"E	7.32'

Curve Table						
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C1	75.00'	35°04'57"	45.92'	S14°38'36"W	45.21'	23.71'
C2	25.00'	60°00'00"	26.18'	S02°11'05"W	25.00'	14.43'
C3	175.00'	3°38'09"	11.10'	S25°59'51"E	11.10'	5.55'
C4	25.00'	35°22'22"	15.43'	S41°51'57"E	15.19'	7.97'
C5	50.00'	61°22'51"	53.56'	S28°51'43"E	51.04'	29.68'
C6	25.00'	44°23'27"	19.37'	N01°59'03"W	18.89'	10.20'
C7	125.00'	3°38'09"	7.93'	N25°59'51"W	7.93'	3.97'
C8	25.00'	64°16'34"	28.05'	N59°57'12"W	26.60'	15.71'
C9	25.00'	90°48'23"	39.62'	N42°30'19"E	35.60'	25.35'
C10	50.00'	39°01'22"	34.05'	N04°40'05"W	33.40'	17.72'
C11	150.00'	3°38'09"	9.52'	N25°59'51"W	9.52'	4.76'
C12	50.00'	90°48'23"	79.24'	N42°30'19"E	71.21'	50.71'

DATE: MAY 2023	SUNTERRA SEC 29 PARTIAL REPLAT NO. 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@landtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. 9-23290 & 10045-000 11279 Corporate Drive, Suite 100 Houston, TX 77067-1128 842-7011</small> Cjamnik@quiddity.com
SCALE NTS			
SHEET 1F OF 1			

X:\1853\1853-0088-00 Sunterra Section 29 WSOB\2 Design Phase\Planning\REPLAT\Maplat_Suntterra Sec 29.dwg Nov 29, 2023 - 7:05am CKJ

I, J. Ross McCall, County Engineer of Waller County, Certify that the Plat of this subdivision complies with all existing rules and regulations of Waller County.

No construction or other development within this subdivision may begin until all Waller County permit requirements have been met.

1-4-24
Date

J. Ross McCall
County Engineer

STATE OF TEXAS §
COUNTY OF WALLER §

I, Debbie Hollan, County Clerk in and for Waller County, Texas do hereby certify that the foregoing instrument with its certificate of authentication was filed for recordation in my office on _____, 2023, at _____ o'clock ____M In File No. _____ of the Plat Records of said County. Witness my hand and seal of office, at Hempstead, Texas, the day and date last above written.

Debbie Hollan
Waller County,
Texas

By: _____
Deputy

CERTIFICATE OF COMMISSIONERS COURT

APPROVED by the Commissioners' Court of Waller County, Texas, this _____ day of _____, 2023.

Carbett "Trey" J. Duhon III
County Judge

John A. Amsler
Commissioner, Precinct 1

Walter E. Smith, P.E., RPLS
Commissioner, Precinct 2

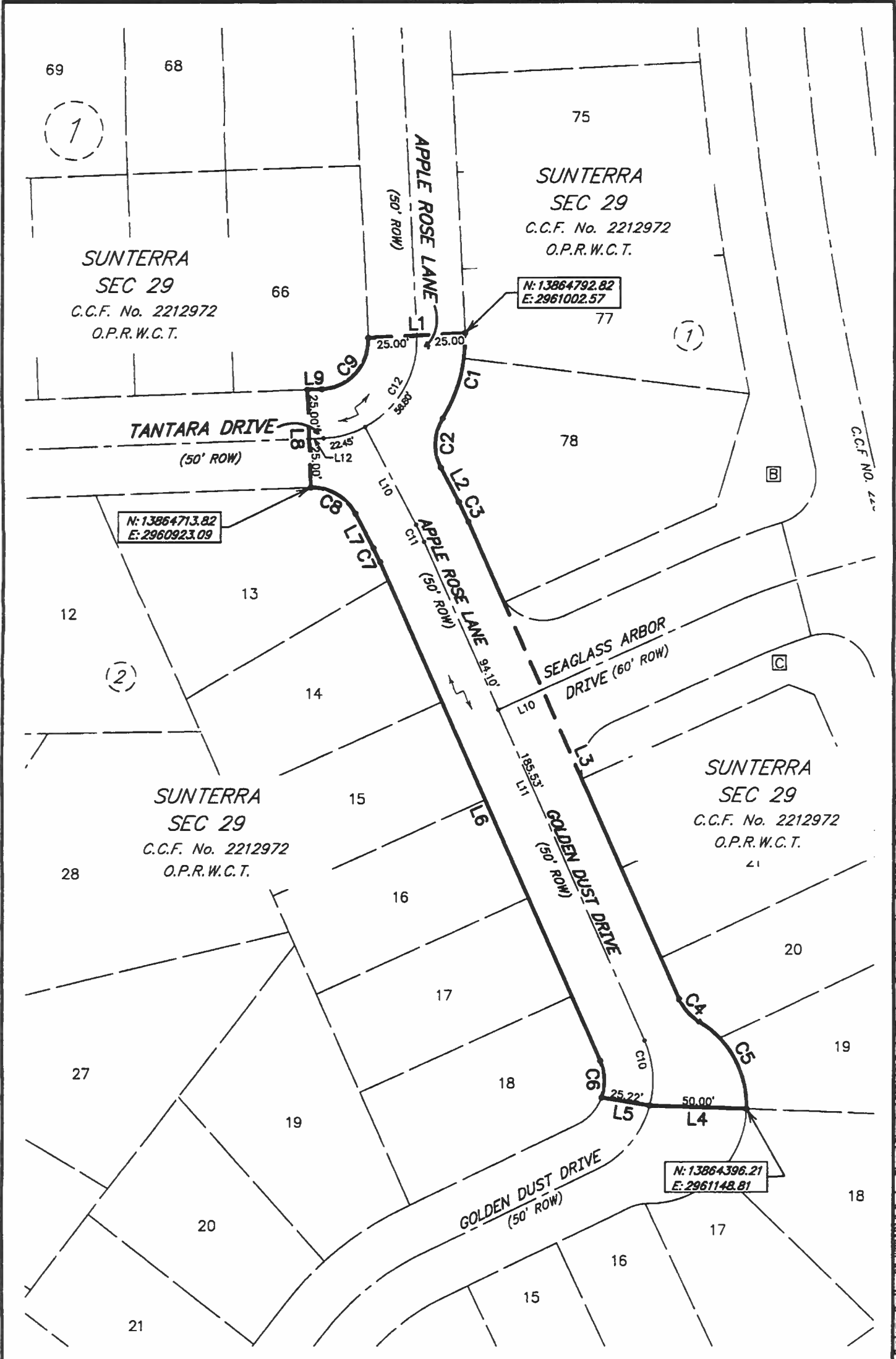
Kendric D. Jones
Commissioner, Precinct 3

Justin Beckendorff
Commissioner, Precinct 4

NOTE: Acceptance of the above plat by the Commissioners Court does not signify Waller County acceptance of the dedicated roads for integration into the County Road System. The developer is required to comply with Sections 5 and 6 of the current Waller County Subdivision and Development Regulations, in this regard.

DATE: MAY 2023	SUNTERRA SEC 29 PARTIAL REPLAT NO. 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@andtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineering and Land Surveyors Registration No. 123456789012345 1234 Corporate Center, Suite 100 • Houston, TX 77001 • 281-542-2211</small> Cjamnik@quiddity.com
SCALE NTS			
SHEET 1G OF 1			

K:\1653\16537-0088-00 Sunterra Section 29 WSD\2 Design Phase\Planning\REPLAT_Suntorra_Sec 29.dwg Nov 29, 2023 - 7:08am CKJ



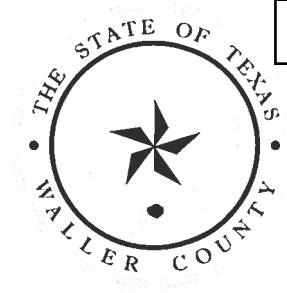
DATE: MAY 2023	SUNTERRA SEC 29 PARTIAL REPLAT NO. 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@andtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. 1-23290 & 10048102 1229 Corporate Drive, Suite 100 - Round Rock, TX 78664-2033 Cjamnik@quiddity.com</small>
SCALE 1"=60'			
SHEET 1H OF 1			

R:\10537\10537-0088-00 Sunterra Section 29 WSOB\2 Design Phase\Planning\NCEPLAN\Sunterra Sec 29.dwg Nov 28, 2023 - 7:08am CKJ

WALLER COUNTY

Yancy Scott, P.E., CFM
County Engineer

MEMORANDUM



Item 9.

To: Honorable Commissioners' Court

Item: Final RePlat Approval for Sunterra Section 30 Partial Replat No.1

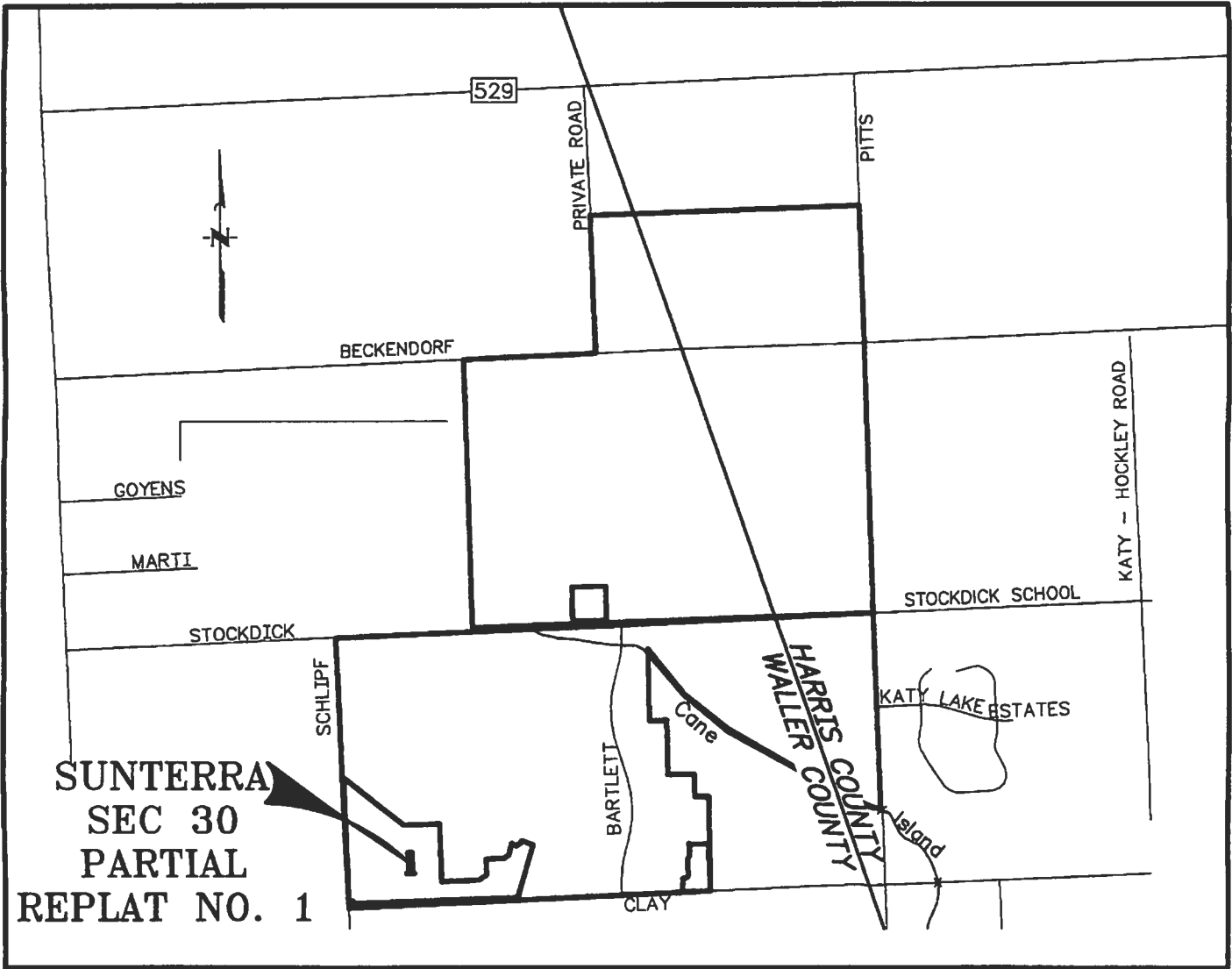
Date January 10, 2024

Background

Final RePlat of Sunterra Section 30 Partial Replat No.1 to change street name of Seawest Lake Drive to Sorrento Hill Drive in Precinct 3.

Staff Recommendation

Approve Plat



VICINITY MAP

Scale: NTS

KEY MAP 443 D

SUNTERRA

SEC 30 PARTIAL REPLAT NO 1

**A SUBDIVISION OF 0.32 ACRE OF LAND
BEING A REPLAT OF THE RIGHT-OF-WAY OF "SEAWEST LAKE
DRIVE", SUNTERRA SEC 30, RECORDED UNDER C.C.F. NO.
2212973**

**OUT OF THE
H. & T. C. RAILROAD SURVEY SECTION 121, A-201
WALLER COUNTY, TEXAS**

**REASON FOR REPLAT: TO CHANGE STREET NAME OF
"SEAWEST LAKE DRIVE" TO "SORRENTO HILL DRIVE"
MAY 2023**

DATE: MAY 2022

SCALE NTS

SHEET 1A OF 1

**SUNTERRA
SEC 30 PARTIAL
REPLAT NO 1**

OWNER/DEVELOPER:
Astro Sunterra L.P.
a Delaware Limited Partnership
2450 FONDREN ROAD, SUITE 210
HOUSTON, TEXAS 77063
(713) 783-6702
Sobryant@landtejas.com

ENGINEER/PLANNER/SURVEYOR:
 **QUIDDITY**
Quiddity Engineering, LLC
Texas Board of Professional Engineers and Land Surveyors
Registration Nos. E-23290 & L0048100
1229 Corporate Drive, Suite 100
Abernethy, TX 77413 | 281.342.2033
Cjarnik@quiddity.com

A METES & BOUNDS description of an 0.32 acre strip of land in the H. & T. C. Railroad Company Survey Section 121, Abstract 201, Waller County, Texas, being over, through and across Sunterra Sec 30, according to map or plat thereof recorded under County Clerk's File Number 2212973, Official Public Records, Waller County, Texas, with all bearings based upon the Texas Coordinate System of 1983, South Central Zone, based upon GPS observations.

Beginning at a 5/8 Inch Iron rod with cap marked 'Quiddity' found for the northeast corner and Place of Beginning of the herein described tract, same being the northwest corner of Lot 7, Block 2 of said Sunterra Sec 30 and the southwest corner of Restricted Reserve 'B' of said Sunterra Sec 30, being in the east right-of-way line of Seawest Lake Drive (50-foot wide);

Thence along the east line of the herein described tract, being the east right-of-way line of said Seawest Lake Drive, being the west line of Lots 7 through 11, Block 2 of said Sunterra Sec 30, to points at the following courses and distances:

South 02 degrees 05 minutes 05 seconds East, 251.20 feet to a 1/4 inch iron rod with cap marked 'Quiddity' found at the beginning of a curve to the left;

Thence with said curve to the left, having a central angle of 90 degrees 00 minutes 00 seconds, an arc length of 39.27 feet, a radius of 25.00 feet, and a chord bearing South 47 degrees 05 minutes 05 seconds East, 35.36 feet to a 1/4 inch iron rod with cap marked 'Quiddity' found for the southeast corner of the herein described tract, same being the southwest corner of said Lot 11, Block 2;

Thence South 87 degrees 54 minutes 55 seconds West establishing the south line of the herein described tract, crossing said Seawest Lake Drive, 100.00 feet to a 1/4 inch iron rod with cap marked 'Quiddity' found for the southwest corner of the herein described tract, same being the southeast corner of Lot 20, Block 3, being in a non-tangent curve to the left;

Thence along the west line of the herein described tract, same being the west right-of-way line of said Seawest Lake Drive, and the east line of Lots 20 through 15, Block 3, to points at the following courses and distances:


Thence with said non-tangent curve to the left, having a central angle of 90 degrees 00 minutes 00 seconds, an arc length of 39.27 feet, a radius of 25.00 feet, and a chord bearing North 42 degrees 54 minutes 55 seconds East, 35.36 feet to a 1/4 inch iron rod with cap marked 'Quiddity' found at the end of said curve;

North 02 degrees 05 minutes 05 seconds West, at 250.59 feet pass a 5/8 inch iron rod with cap marked 'Quiddity', continuing for a total distance of 251.20 feet to a point for the northwest corner of the herein described tract;

Thence North 87 degrees 54 minutes 55 seconds East establishing the north line of the herein described tract, crossing said Seawest Lake Drive, 50.00 feet to the Place of Beginning and containing 0.32 acre of land, more or less.

Line Table		
Line	Bearing	Distance
L1	N87°54'55"E	50.00'
L2	S02°05'05"E	251.20'
L3	S87°54'55"W	100.00'
L4	N02°05'05"W	251.19'
L5	N02°05'05"W	276.19'

Curve Table						
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C1	25.00'	90°00'00"	39.27'	S47°05'05"E	35.36'	25.00'
C2	25.00'	90°00'00"	39.27'	N42°54'52"E	35.35'	25.00'

DATE: MAY 2022	SUNTERRA SEC 30 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@landtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineering and Land Surveyors Registration nos. P-23290 & L2046120 1224 Corporate Drive, Suite 100 Rosenberg, TX 77471 281.342.2031</small> Cjamnik@quiddity.com
SCALE NTS			
SHEET 1B OF 1			

K:\18537\18537-0089-00 Sunterra Section 30 WSD&P\2 Design Phase\Planning\Replat\PR NO 1_Suntterra Sec 30.dwg Nov 28, 2023 - 7:51am CJK

I, J. Ross McCall, County Engineer of Waller County, Certify that the Plat of this subdivision complies with all existing rules and regulations of Waller County.

No construction or other development within this subdivision may begin until all Waller County permit requirements have been met.

1-4-24
Date

J. Ross McCall
County Engineer

STATE OF TEXAS §

COUNTY OF WALLER §

I, Debbie Hollan, County Clerk in and for Waller County, Texas do hereby certify that the foregoing instrument with its certificate of authentication was filed for recordation in my office on _____, 2023, at _____ o'clock ____M in File No. _____ of the Plat Records of said County. Witness my hand and seal of office, at Hempstead, Texas, the day and date last above written.

Debbie Hollan
Waller County,
Texas

By: _____
Deputy

CERTIFICATE OF COMMISSIONERS COURT

APPROVED by the Commissioners' Court of Waller County, Texas, this _____ day of _____, 2023.

Carbett "Trey" J. Duhon III
County Judge

John A. Amsler
Commissioner, Precinct 1

Walter E. Smith, P.E., RPLS
Commissioner, Precinct 2

Kendric D. Jones
Commissioner, Precinct 3

Justin Beckendorff
Commissioner, Precinct 4

NOTE: Acceptance of the above plat by the Commissioners Court does not signify Waller County acceptance of the dedicated roads for integration into the County Road System. The developer is required to comply with Sections 5 and 6 of the current Waller County Subdivision and Development Regulations, in this regard.

DATE: MAY 2022	SUNTERRA SEC 30 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sabryant@andtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration No. 1-232700 & 10045100 1228 Corporate Drive, Suite 200 - Rosenberg, TX 77470-2011-342-2231</small> Cjarnnik@quiddity.com
SCALE 1"=60'			
SHEET 1C OF 1			

K:\1653\16537-0069-00 Sunterra Section 30 WSO\APX Design Phase\Planning\replat\PR NO 1_Suntterra Sec 30.dwg Nov 29, 2023 - 7:16am CJK

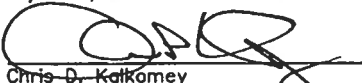
Certificate of Surveyor
This is to certify that I, Chris D. Kalkomey, a Registered Professional Land Surveyor of the State of Texas, have platted the above subdivision from an actual survey on the ground; and that all block corners, lot corners and permanent referenced monuments have been set, that permanent control points will be set at completion of construction and that this plat correctly represents that survey made by me.

A portion of this subdivision lies within the boundaries of any municipality's corporate city limits, or area of extra territorial jurisdiction.

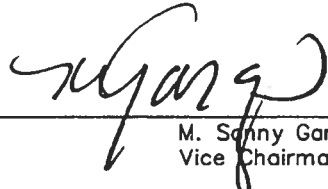
A portion of this subdivision lies within the boundaries of the 1% annual chance (100 year) flood plain as delineated on Waller County Community Panel #480640 dated 2/18/2009, and revised in LOMR 19-06-1115P dated 4/27/2020.


A portion of this subdivision lies within the boundaries of the 0.2% annual chance (500 year) flood plain as delineated on Waller County Community Panel #480640 dated 2/18/2009, and revised in LOMR 19-06-1115P dated 4/27/2020.




Chris D. Kalkomey
Registered Professional Land Surveyor
Texas Registration No. 5869


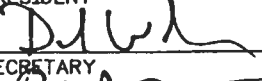

This is to certify that the Planning Commission of the City of Houston, Texas, has approved this plat and subdivision of Sunterra Sec 30 Partial Replat No 1 in conformance with the laws of the State of Texas and the ordinances of the City of Houston, as shown hereon, and authorized the recording of this plat this 14 day of JUNE, 2023.

By: 
Martha L. Stein or M. Sonny Garza
Chair Vice Chairman

By: 
Margaret Wallace Brown, AICP, GRI-A
Secretary



BROOKSHIRE- KATY DRAINAGE DISTRICT
APPROVED BY THE BOARD OF SUPERVISORS ON

6-27-2022
DATE

PRESIDENT

SECRETARY

DISTRICT ENGINEER

THE ABOVE HAVE SIGNED THESE PLANS AND/OR PLAT BASED ON THE RECOMMENDATION OF THE DISTRICT'S ENGINEER WHO HAS REVIEWED ALL SHEETS PROVIDED AND FOUND THEM TO BE IN GENERAL COMPLIANCE WITH THE DISTRICT'S 'RULES, REGULATIONS, AND GUIDELINES". THIS APPROVAL IS ONLY VALID FOR THREE HUNDRED SIXTY-FIVE (365) CALENDAR DAYS. AFTER THAT TIME RE-APPROVAL IS REQUIRED. PLEASE NOTE, THIS DOES NOT NECESSARILY MEAN THAT ALL THE CALCULATIONS PROVIDED IN THESE PLANS AND/OR PLATS HAVE BEEN COMPLETELY CHECKED AND VERIFIED. PLANS SUBMITTED HAVE BEEN PREPARED, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE ENGINEERING IN THE STATE OF TEXAS AND PLAT HAS BEEN SIGNED AND SEALED BY A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE OF TEXAS, WHICH CONVEYS THE ENGINEER'S AND/OR SURVEYOR'S RESPONSIBILITY AND ACCOUNTABILITY.

BROOKSHIRE- KATY DRAINAGE DISTRICT Permit No. 2022-25 REVISED

DATE: MAY 2022	SUNTERRA SEC 30 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra LP. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sabryant@landtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. E-23290 & E-20046100 1229 Corporate Drive Suite 100 Houston, TX 77057-1281 282.2013 Cjamnik@quiddity.com</small>
SCALE NTS			
SHEET 10 OF 1			

47-00089-00 Sunterra Section 30 WSD22-25 Design Phase Planning\Replat\PR NO 1_Suntterra Sec 30.dwg May 01/2023 - 11:53am OKD

STATE OF TEXAS 5
COUNTY OF WALLER 5

We, Astro Sunterra, L.P., a Delaware Limited Partnership, acting by and through Melanie Ohi, Authorized Signer, owner hereinafter referred to as Owners of the 0.32 acre tract described in the above and foregoing map of Sunterra Sec 30 Partial Replat No 1, do hereby make and establish said subdivision and development plan of said property according to all lines, dedications, restrictions, and notations on said maps or plat and hereby dedicate to the use of the public forever, all streets (except those streets designated as private streets, or permanent access easements), alleys, parks, water courses, drains, easements and public places shown thereon for the purposes and considerations therein expressed; and do hereby bind ourselves, our heirs, successors and assigns to warrant and forever defend the title on the land so dedicated.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional eleven feet, six inches (11' 6") for ten feet (10' 0") perimeter ground easements or seven feet, six inches (7' 6") for fourteen feet (14' 0") perimeter ground easements or five feet, six inches (5' 6") for sixteen feet (16' 0") perimeter ground easements, from a plane sixteen feet (16' 0") above the ground level upward, located adjacent to and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals twenty one feet, six inches (21' 6") in width.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional ten feet (10' 0") for ten feet (10' 0") back-to-back ground easements, or eight feet (8' 0") for fourteen feet (14' 0") back-to-back ground easements or seven feet (7' 0") for sixteen feet (16' 0") back-to-back ground easements, from a plane sixteen feet (16' 0") above ground level upward, located adjacent to both sides and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals thirty feet (30' 0") in width.

FURTHER, we do hereby certify that we are the owners of all property immediately adjacent to and adjoining the boundaries of the above and foregoing subdivision, Sunterra where public utility easements are to be established outside the boundaries of the above and foregoing subdivision and to hereby make and establish and dedicated to the use of the public utilities forever all public utility easements show in said adjacent acreage.

FURTHER, all of the property subdivided in the above and foregoing plat shall be restricted in its use, which restrictions shall run with the title to the property and shall be enforceable at the option of Waller County, by Waller County, or any citizen thereof, by injunction as follows:

- 1. That drainage of septic tanks into roads, streets, alleys or public ditches, streams, ect., either directly or indirectly is strictly prohibited.
- 2. All stock animals, horses and fowl, shall be fenced in and not allowed to run at large in the subdivision.
- 3. Drainage structures under private drives shall have a new drainage opening area of sufficient size to permit the free flow of water without backwater and shall be a minimum of one and three quarters (1-1/4) square feet (15" diameter pipe) reinforced concrete pipe, unless specified by the County Road Administrator or County Engineer. Culverts and bridges must be used for all driveway and/or walks, although dip-style driveways are encouraged where appropriate.
- 4. Property owners will obtain Development Permits/Permit Exemptions from the County Flood Plain Administrator for all development.
- 5. There are no underground pipelines within the confines of the subdivision except as shown on the plat.
- 6. There shall be no sanitary sewer systems or any water well constructed within 50 feet of any lot line that does not adjoin with a public road.

FURTHER, Owners hereby certify that this replat does not attempt to alter, amend, or remove any covenants or restrictions;

IN TESTIMONY WHEREOF, the Astro Sunterra, L.P., a Delaware Limited Partnership has caused these presents to be signed by Melanie Ohi, its Authorized Signer, thereunto authorize, this 3rd day of May 2023.

Astro Sunterra, L.P.,
a Delaware Limited Partnership

By: Astro Sunterra GP LLC
a Delaware Limited Liability Company,
Its General Partner

By: Melanie Ohi
By: Melanie Ohi
Title: Authorized Signer

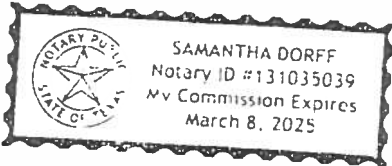
STATE OF TEXAS 5
COUNTY OF HARRIS 5

BEFORE ME, the undersigned authority, on this day personally appeared Melanie Ohi Authorized Signer known to me to be the person whose name is subscribed to the foregoing Instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 3rd day of May 2023

Samantha Dorff
Notary Public in and for the State of Texas

Samantha Dorff
Print Name



My commission expires: 3-8-2025

DATE: MAY 2022	SUNTERRA SEC 30 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sabryant@landtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration No. 1-23230 & 12041120 1129 Corporate Drive, Suite 105 Acumburg, TX 77479 • 281.342.1213 Cjamnik@quiddity.com</small>
SCALE 1" = 250'			
SHEET 1E OF 1			

K:\1853\16537-0089-00 Sunterra Section 30 WSD23\Design Phase\Planning\Replat\PR No 1_Suntarra Sec 30.dwg May 01, 2023 - 2:30pm CKI

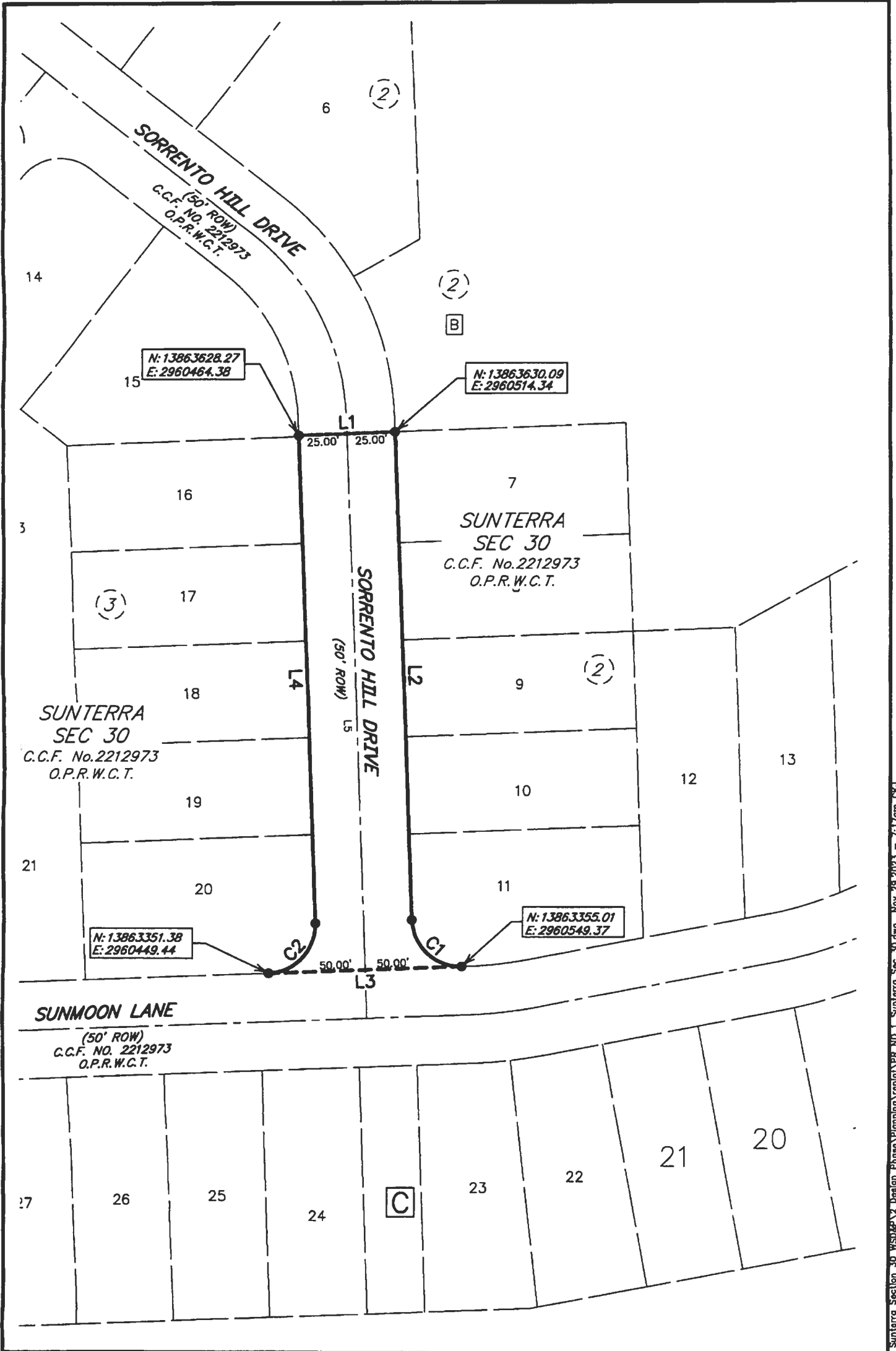
General Notes:


- AE "Aerial Easement"
- BL "Building Line"
- C.C.F. "County Clerk's File"
- C.L. "Center Line"
- GBL "Garage Building Line"
- No "Number"
- O.P.R.W.C.T. . . . "Official Public Records, Waller County, Texas"
- O.P.R.R.P.H.C.T. . "Official Public Records of Real Property,
Harris County, Texas"
- ROW "Right-of-Way"
- SSE "Sanitary Sewer Easement"
- Sq Ft "Square Feet"
- UE "Utility Easement"
- Vol __, Pg __ . . . "Volume and Page"
- WLE "Waterline Easement"
- "Set 3/4-inch Iron Rod With Cap Stamped
"Quiddity" as Per Certification"
- ① "Block Number"
- ↗ "Street Name Break"

- The radius on all block corners is 25 feet, unless otherwise noted.
- With respect to recorded instruments within this plat, surveyor relied on City Planning Letter issued by Charter Title Company, GF No. 1076601800196A, Dated March 6, 2023.
- All coordinates shown are grid based on the Texas Coordinate System, South Central Zone of 1983, and may be converted to surface by applying the combined scale factor of 0.99989805999.
- All bearings are based on the Texas Coordinate System, South Central Zone of 1983, and the project coordinates were determined with GPS observations. All of the distances shown are in U.S. survey feet.
- New development within the subdivision plat shall obtain a storm water quality permit before the issuance of any development permits.
- Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public utilities may put solid wooden posts and paneled wooden fences back up, but generally will not replace with new fencing.
- This tract lies within zone "A" with no defined BFE, and Unshaded Zone X of the Flood Insurance Rate Map, Community No. 480640, Map Number 48473C0375E, Panel 0375, suffix "E" dated February 18, 2009 and revised under LOMR 19-06-1115P-48640 dated April 27, 2020 for Waller County, Texas and incorporated areas. Unshaded Zone "X"; is defined as areas determined to be outside the 0.2% annual chance floodplain. Zone "A"; is defined as Special Flood Hazard areas subject to inundation by the 1% annual chance flood, with no Base Flood Elevations determined.
- Right-of-way easements for widening streets or improving drainage shall be maintained by the landowner until all street or drainage improvements are actually constructed on the property. The county has the right at any time to take possession of any street widening easement for construction, improvement or maintenance.
- The building of all streets, bridges or culverts is the responsibility of the owners in accordance with the plans prescribed by the Commissioners Court. The Commissioners Court assumes no obligation to build or maintain any of the streets shown on the plat or constructing any of the bridges or drainage improvements. Upon completion of all obligations by the developer and written approval from the Commissioners Court, the County will assume full responsibility for maintenance of the public streets. The county will assume no responsibility for the drainage ways or easements in the subdivision, other than those draining or protecting the streets. The county assumes no responsibility for the accuracy of representations by other parties on the plat. Flood plain data, in particular, may change depending on subsequent development. The owners of land covered by this plat must install at their own expense all traffic control devices and signage that may be required before the streets in the subdivision have finally been accepted for maintenance by the county. The property subdivided herein is further restricted in its use as specified under the terms and conditions of restrictions filed separately. A copy of said restrictions will be furnished by aforesaid Astro Sunterra, L.P., a Delaware Limited Partnership, to the purchaser of each and every lot in the subdivision prior to culmination of each sale include certification that the subdivider has complied with the requirements of section 232.032 and that:
(a) the water quality and connections to the lots meet, or will meet, the minimum state standards;
(b) sewer connections to the lots or septic tanks meet, or will meet, the minimum requirements of state standards;
(c) electrical connections provided to the lot meet, or will meet, the minimum state standards; and
(d) gas connections, if available, provided to the lot meet, or will meet, the minimum state standards.
- Project site is within City of Houston ETJ.
- All pipeline easements within the platted area are shown hereon.
- Elevations shown hereon are based on TSARP Monument 190105, being located along Pitts Road, approximately 1,485 feet north of the intersection of Pitts Road and Clay Road. Benchmark is west of Pitts Road and north of Cane Island Branch, on the north high bank of Cane Island Branch between the end of a guardrail and an existing fence running north-south. Elevation = 156.48' (NAVD88, 2001 Adjustment).
- TBM "7520" being a set cotton picker spindle. Located on the west edge of asphalt in Schilpf Road, being +/- 2,490' North of the intersection of Schilpf Road and Clay Road, and +/- 2,786' South of the intersection of Schilpf Road and Stockdick School Road. Elevation = 164.00 (NAVD88, 2001 Adjustment).

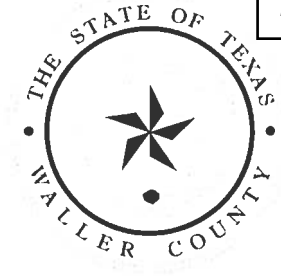
DATE: MAY 2022	SUNTERRA SEC 30 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@andtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration No. 123790 & 120645120 1729 Corporate Drive, Suite 100 Houston, TX 77057-2813</small> CJamnik@quiddity.com
SCALE NTS			
SHEET 1F OF 1			

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DATE: MAY 2022	SUNTERRA SEC 30 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra LP, a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@andtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. # 21790 & 10046102 1229 Corporate Drive, Suite 1200, Houston, TX 77020-2811, 281.347.2531</small> CJamnik@quiddity.com
SCALE NTS			
SHEET 1G OF 1			

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WALLER COUNTY

Yancy Scott, P.E., CFM
County Engineer

MEMORANDUM

To: Honorable Commissioners' Court

Item: Final RePlat Approval for Sunterra Section 31 Partial Replat No.1

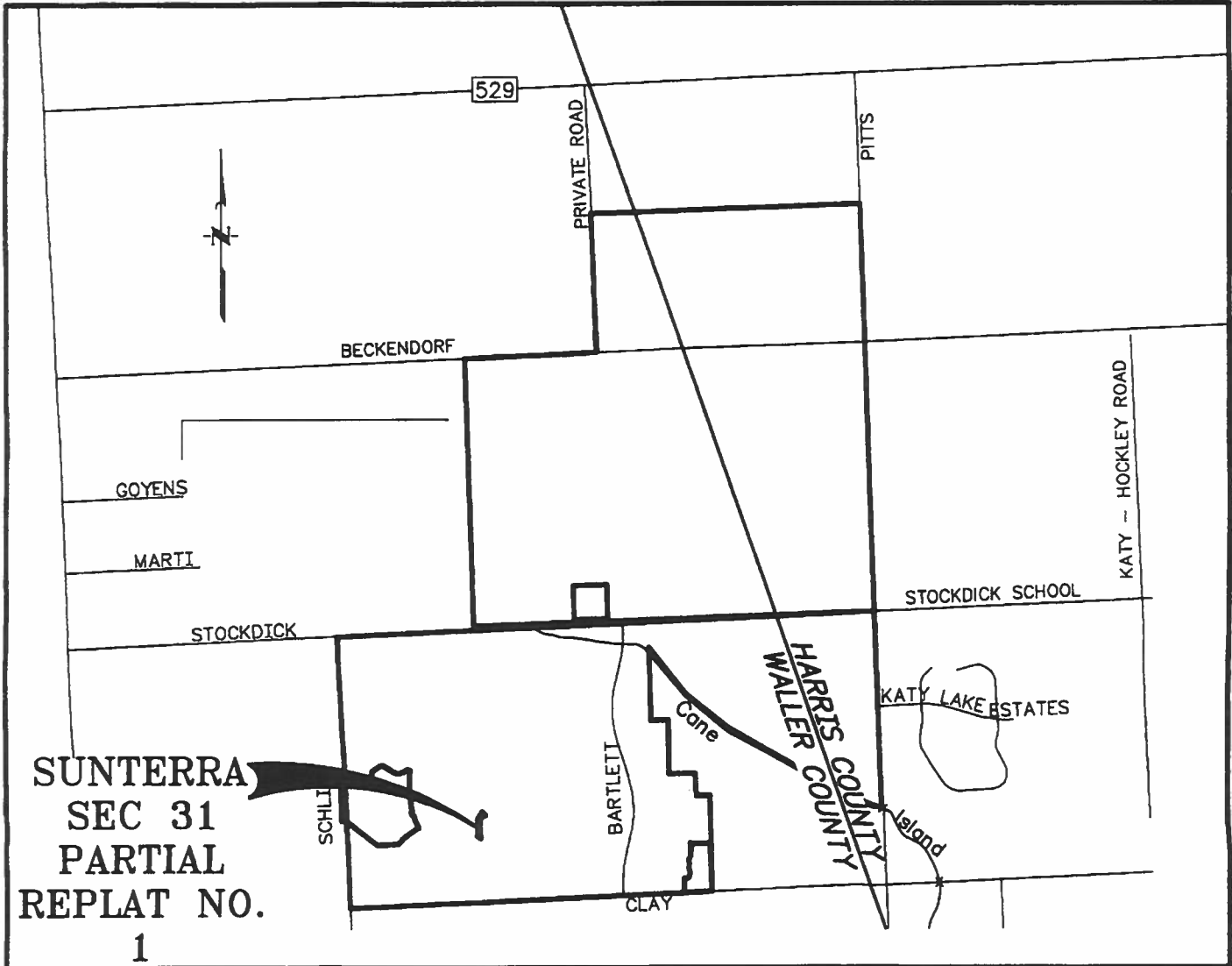
Date January 10, 2024

Background

Final RePlat of Sunterra Section 31 Partial Replat No.1 to change street name of Myrtle Glass Drive (PVT) to Stingray Cove Drive (PVT) in Precinct 3.

Staff Recommendation

Approve Plat



VICINITY MAP

Scale: NTS

KEY MAP 443 D

SUNTERRA

SEC 31 PARTIAL REPLAT NO 1

A SUBDIVISION OF 0.63 ACRE OF LAND

BEING A REPLAT OF THE RIGHT-OF-WAY OF "MYRTLE GLASS DRIVE (PVT)", SUNTERRA SEC 31, RECORDED UNDER C.C.F.

NO. 2212974, O.P.R.W.C.T.

OUT OF THE

H. & T. C. RAILROAD SURVEY SECTION 121, A-201

WALLER COUNTY, TEXAS

REASON FOR REPLAT: TO CHANGE STREET NAME OF "MYRTLE GLASS DRIVE (PVT)" TO "STINGRAY COVE DRIVE (PVT)"

MAY 2023

DATE: MAY 2022

SCALE NTS

SHEET 1A OF 1

SUNTERRA
SEC 31 PARTIAL
REPLAT NO 1

OWNER/DEVELOPER:
Astro Sunterra LP,
a Delaware Limited Partnership
2450 FONDREN ROAD, SUITE 210
HOUSTON, TEXAS 77063
(713) 783-6702
Sobryant@landtejas.com

ENGINEER/PLANNER/SURVEYOR:



QUIDDITY

Quiddity Engineering, LLC
Texas Board of Professional Engineers and Land Surveyors
Registration Nos. E-23290 & L-10044-120
1229 Corporate Drive, Suite 1200, Houston, TX 77031-2811

Cjarnik@quiddity.com

A METES & BOUNDS description of an 0.63 acre strip of land in the H. & T. C. Railroad Company Survey Section 121, Abstract 201, Waller County, Texas, being over, through and across Sunterra Sec 31, according to map or plat thereof recorded under County Clerk's File Number 2212974, Official Public Records, Waller County, Texas, with all bearings based upon the Texas Coordinate System of 1983, South Central Zone, based upon GPS observations.

Beginning 5/8 inch iron rod with cap marked "Quiddity" found for the south corner and Place of Beginning of the herein described tract, same being the west corner of Lot 22, Block 1 of said Sunterra Sec 31, and the north corner of Lot 23, Block 1 of said Sunterra Sec 31, being in the east right-of-way line of Myrtle Glass Drive (width varies this location);

Thence establishing the southwest line of the herein described tract, crossing said Myrtle Glass Drive, to points at the following courses and distances:

North 53 degrees 44 minutes 06 seconds West, 50.00 feet;

North 47 degrees 05 minutes 17 seconds West, 35.00 feet to a point for the west corner of the herein described tract, being in the east line of Lot 22, Block 2 and the west right-of-way line of said Myrtle Glass Drive, and being in a non-tangent curve to the left;

Thence along the northwest line of the herein described tract, being the west right-of-way line of said Myrtle Glass Drive (50-foot wide), the easterly lines of Lots 22 through 13, Block 2, and the easterly line of Restricted Reserve "D" of said Sunterra Sec 31, to points at the following courses and distances:

Thence with said non-tangent curve to the left, having a central angle of 45 degrees 00 minutes 12 seconds, an arc length of 19.64 feet, a radius of 25.00 feet, and a chord bearing North 20 degrees 24 minutes 37 seconds East, 19.14 feet to a 1/4 inch iron rod with cap marked "Quiddity" found at the end of said curve;

North 02 degrees 05 minutes 29 seconds West, 286.25 feet to a 1/4 inch iron rod with cap marked "Quiddity" found at the beginning of a curve to the right;

Thence with said curve to the right, having a central angle of 46 degrees 58 minutes 49 seconds, an arc length of 122.99 feet, a radius of 150.00 feet, and a chord bearing North 21 degrees 23 minutes 55 seconds East, 119.58 feet to a 1/4 inch iron rod with cap marked "Quiddity" found at the end of said curve;

North 44 degrees 53 minutes 20 seconds East, 66.50 feet to a 1/4 inch iron rod with cap marked "Quiddity" found at the beginning of a curve to the left;

Thence with said curve to the left, having a central angle of 88 degrees 17 minutes 22 seconds, an arc length of 38.52 feet, a radius of 25.00 feet, and a chord bearing North 00 degrees 44 minutes 39 seconds East, 34.82 feet to a 1/4 inch iron rod with cap marked "Quiddity" found for the north corner of the herein described tract, same being an angle point in the easterly line of said Restricted Reserve "D", being in a non-tangent curve to the left;

Thence with said non-tangent curve to the left establishing the northeast line of the herein described tract, crossing said Myrtle Glass Drive, having a central angle of 03 degrees 25 minutes 16 seconds, an arc length of 98.52 feet, a radius of 1,650.00 feet, and a chord bearing South 45 degrees 06 minutes 40 seconds East, 98.51 feet to a 1/4 inch iron rod with cap marked "Quiddity" found for the east corner of the herein described tract, same being the north corner of Lot 14, Block 1 of said Sunterra Sec 31, and being in a non-tangent curve to the left;

Thence along the southeast line of the herein described tract, same being easterly right-of-way line of said Myrtle Glass Drive, and the westerly lines of Lots 14 through 22, Block 1, to points at the following courses and distances:

Thence with said non-tangent curve to the left, having a central angle of 88 degrees 17 minutes 22 seconds, an arc length of 38.52 feet, a radius of 25.00 feet, and a chord bearing South 89 degrees 02 minutes 01 second West, 34.82 feet to a 1/4 inch iron rod with cap marked "Quiddity" found at the end of said curve;


South 44 degrees 53 minutes 20 seconds West, 66.50 feet to a 1/4 inch iron rod with cap marked "Quiddity" found at the beginning of a curve to the left;

Thence with said curve to the left, having a central angle of 46 degrees 58 minutes 49 seconds, an arc length of 82.00 feet, a radius of 100.00 feet, and a chord bearing South 21 degrees 23 minutes 55 seconds West, 79.72 feet to a 1/4 inch iron rod with cap marked "Quiddity" found at the end of said curve;

South 02 degrees 05 minutes 29 seconds East, 280.61 feet to a 1/4 inch iron rod with cap marked "Quiddity" found at the beginning of a curve to the left;

Thence with said curve to the left, having a central angle of 39 degrees 51 minutes 14 seconds, an arc length of 17.39 feet, a radius of 25.00 feet, and a chord bearing South 22 degrees 01 minute 06 seconds East, 17.04 feet to a 1/4 inch iron rod with cap marked "Quiddity" found at the beginning of a reverse curve to the right;

Thence with said reverse curve to the right, having a central angle of 78 degrees 12 minutes 37 seconds, an arc length of 68.25 feet, a radius of 50.00 feet, and a chord bearing South 02 degrees 50 minutes 25 seconds East, 63.07 feet to the Place of Beginning and containing 0.63 acre of land, more or less.


DATE: MAY 2022	SUNTERRA SEC 31 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@andtejas.com	<div>ENGINEER/PLANNER/SURVEYOR:</div> <div> QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration No. 123790 & 10946120 12279 Corporate Drive, Suite 100 - Humble, TX 77063 • 281.342.2233</div> <div>CJamnik@quiddity.com</div>
SCALE NTS			
SHEET 1B OF 1			

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General Notes:

- AE "Aerial Easement"
- BL "Building Line"
- C.C.F. "County Clerk's File"
- GBL "Garage Building Line"
- No "Number"
- O.P.R.W.C.T. . . . "Official Public Records,
Waller County, Texas"
- O.P.R.R.P.H.C.T. . "Official Public Records of Real
Property, Harris County, Texas"
- PAE/PUE. "Permanent Access Easement/
Public Utility Easement"
- Pvt "Private"
- ROW "Right-of-Way"
- SSE "Sanitary Sewer Easement"
- Sq Ft "Square Feet"
- UE "Utility Easement"
- Vol → Pg "Volume and Page"
- WLE "Waterline Easement"
- "Set 3/4-inch Iron With Cap Stamped
"Quiddity" as Per Certification"
- ① "Block Number"
- ↖ ↗ "Street Name Break"

- 1. This subdivision is proposed for single-family residential, detention, and other related uses.
- 2. The radius on all block corners is 25 feet, unless otherwise noted.
- 3. All easements are centered on lot lines unless otherwise shown. All 14 foot utility easements shown extend 7 feet on each side of a common lot line unless otherwise indicated.
- 4. With respect to recorded instruments within this plat, surveyor relied on City Planning Letter Issued by Charter Title Company, GF No. 1076601800196A, Dated March 6, 2023.
- 5. All coordinates shown are grid based on the Texas Coordinate System of 1983, South Central Zone, and may be converted to surface by applying the combined scale factor of 0.99989805999.
- 6. All bearings are based on the Texas Coordinate System of 1983, South Central Zone, and the project coordinates were determined with GPS observations. All of the distances shown are in U.S. survey feet.
- 7. A minimum of ten (10) feet shall be provided between sides of residential dwellings.
- 8. New development within the subdivision plat shall obtain a storm water quality permit before the issuance of any development permits.
- 9. Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lota lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public utilities may put sold wooden posts and paneled wooden fences back up, but generally will not replace with new fencing.
- 10. Structures built on lots in the designated flood plain shall be elevated to two (2) feet or more above the 500-year floodplain elevation, in the 100-year floodplain. Within the 500-year, these structures must be elevated to one (1) foot above the 500-year floodplain level. No development permits will be issued in a Flood Hazard Area below the base flood elevation (B.F.E.) Contact the County Engineer's office for specific information.No structure in this subdivision shall be occupied until connected to a public sewer system.
- 11. No structure in this subdivision shall be occupied until connected to an individual water supply or a state - approved community water system.
- 12. This tract lies within zone "A" and Unshaded Zone X of the Flood Insurance Rate Map, Community No. 480640, Map Number 48473C0375E, Panel 0375, suffix "E" dated February 18, 2009 and revised under LOMR 19-06-1115P-48640 dated April 27, 2020 for Waller County, Texas and incorporated areas. Unshaded Zone "X" is defined as areas determined to be outside the 0.2% annual chance floodplain. Zone "A" is defined as Special Flood Hazard areas subject to inundation by the 1% annual chance flood, with no defined Base Flood Elevations.
- 13. Unless otherwise indicated, the building line (B.L.), whether one or more, shown on this subdivision plat are established to evidence compliance with the applicable provisions of Chapter 42, Code of Ordinances, City of Houston, Texas, in effect at the time this plat was approved, which may be amended from time to time.
- 14. Single Family Residential shall mean the use of a lot with one building designed for and containing no more than two separate units with facilities for living, sleeping cooking and eating therein. A lot upon which is located a free-standing building containing one dwelling unit and a detached secondary dwelling unit of no more than 900 square feet also shall be considered single family residential. A building that contains one dwelling unit on one lot that is connected by a party wall to another building containing one dwelling unit on an adjacent lot shall be single family residential.
- 15. Each lot shall provide a minimum of two off-street parking spaces per dwelling unit on each lot. In those instances where a secondary unit is provided only one additional space shall be provided.
- 16. Right-of-way easements for widening streets or improving drainage shall be maintained by the landowner until all street or drainage improvements are actually constructed on the property. The county has the right at any time to take possession of any street widening easement for construction, improvement or maintenance.
- 17. The building of all streets, bridges or culverts is the responsibility of the owners in accordance with the plans prescribed by the Commissioners Court. The Commissioners Court assumes no obligation to build or maintain any of the streets shown on the plat or constructing any of the bridges or drainage improvements. Upon completion of all obligations by the developer and written approval from the Commissioners Court, the County will assume full responsibility for maintenance of the public streets. The county will assume no responsibility for the drainage ways or easements in the subdivision, other than those draining or protecting the streets. The county assumes no responsibility for the accuracy of representations by other parties on the plat. Flood plain data, in particular, may change depending on subsequent development. The owners of land covered by this plat must install at their own expense all traffic control devices and signage that may be required before the streets in the subdivision have finally been accepted for maintenance by the county. The property subdivided herein is further restricted in its use as specified under the terms and conditions of restrictions filed separately. A copy of said restrictions will be furnished by aforesaid Astro Sunterra, L.P., a Delaware Limited Partnership, to the purchaser of each and every lot in the subdivision prior to culmination of each sale include certification that the subdivider has complied with the requirements of section 232.032 and that:
 - (a)the water quality and connections to the lots meet, or will meet, the minimum state standards;
 - (b)sewer connections to the lots or septic tanks meet, or will meet, the minimum requirements of state standards;
 - (c)electrical connections provided to the lot meet, or will meet, the minimum state standards; and
 - (d)gas connections, if available, provided to the lot meet, or will meet, the minimum state standards.
- 19. Project site is within City of Houston ETJ.
- 20. All pipeline easements within the platted area are shown hereon.
- 21. This subdivision contains one or more permanent access easements that have not been dedicated to or accepted by the City of Houston or any other local governmental agency as public right-of-way. The City of Houston has no obligation, nor does any other local governmental agency have any obligation, to maintain or improve any permanent access easement within the subdivision, which obligation shall be the sole responsibility of the owners of the property in this subdivision.
- 22. All lots shall provide adequate wastewater collection services.
- 23. Elevations shown hereon are based on TSARP Monument 190105, being located along Pitts Road, approximately 1,485 feet north of the intersection of Pitts Road and Clay Road. Benchmark is west of Pitts Road and north of Cane Island Branch, on the north high bank of Cane Island Branch between the end of a guardrail and an existing fence running north-south. Elevation = 156.48' (NAVD88, 2001 Adjustment).
- 24. TBM "7520" being a set cotton picker spindle. Located on the west edge of asphalt in Schilpf Road, being +/- 2,490' North of the Intersection of Schilpf Road and Clay Road, and +/- 2,786' South of the Intersection of Schilpf Road and Stockdick School Road. Elevation = 164.00 (NAVD88, 2001 Adjustment).
- 25. Tract is subject to Grant of Easement and Surface Use Agreement recorded under C.C.F. NOS. 1910725, O.P.R.W.C.T.
- 26. Tract is subject to Detention Facilities Maintenance Agreement Recorded under C.C.F. NOS. 2009285, 2200987, 2200988, 2200989, 2200990, and 2202918, O.P.R.W.C.T.
- 27. Elevations shown hereon are based on TSARP Monument 190105, being located along Pitts Road, approximately 1,485 feet north of the intersection of Pitts Road and Clay Road. Benchmark is west of Pitts Road and north of Cane Island Branch, on the north high bank of Cane Island Branch between the end of a guardrail and an existing fence running north-south. Elevation = 156.48' (NAVD88, 2001 Adjustment).

DATE: MAY 2022	SUNTERRA SEC 31 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sabryant@landtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. # 23290 & 10045100 1229 Corporate Drive, Suite 100, Fulshear, TX 77401-2811</small> Cjamnik@quiddity.com
SCALE NTS			
SHEET 1C OF 1			

K:\18537\18537-0090-00 Sunterra Section 31 WSDRP V2 Design Phase\Planning\Replat\PR Sunterra Sec 31.dwg Nov 29, 2023 7:55am CJK

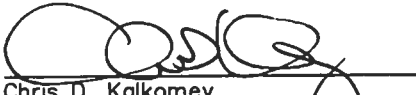
Certificate of Surveyor
This is to certify that I, Chris D. Kalkomey, a Registered Professional Land Surveyor of the State of Texas, have platted the above subdivision from an actual survey on the ground; and that all block corners, lot corners and permanent referenced monuments have been set, that permanent control points will be set at completion of construction and that this plat correctly represents that survey made by me.

A portion of this subdivision lies within the boundaries of any municipality's corporate city limits, or area of extra territorial jurisdiction.

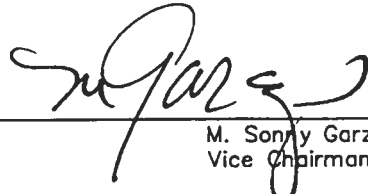
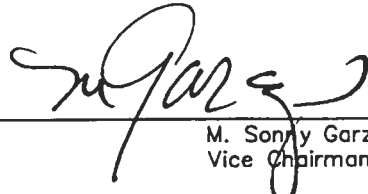
A portion of this subdivision lies within the boundaries of the 1% annual chance (100 year) flood plain as delineated on Waller County Community Panel #480640 dated 2/18/2009, and revised in LOMR 19-06-1115P dated 4/27/2020.


A portion of this subdivision lies within the boundaries of the 0.2% annual chance (500 year) flood plain as delineated on Waller County Community Panel #480640 dated 2/18/2009, and revised in LOMR 19-06-1115P dated 4/27/2020.




Chris D. Kalkomey
Registered Professional Land Surveyor
Texas Registration No. 5869

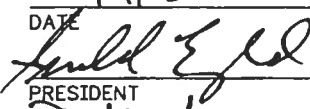
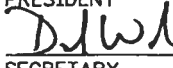

This is to certify that the Planning Commission of the City of Houston, Texas, has approved this plat and subdivision of Sunterra Sec 29 Partial Replat No 1 in conformance with the laws of the State of Texas and the ordinances of the City of Houston, as shown hereon, and authorized the recording of this plat this 14th day of June 2023.

By:  or 
Martha L. Stein or M. Sonny Garza
Chair Vice Chairman

By: 
Margaret Wallace Brown, AICP, CNUA
Secretary


BROOKSHIRE- KATY DRAINAGE DISTRICT
APPROVED BY THE BOARD OF SUPERVISORS ON



7.11.2022
DATE

PRESIDENT

SECRETARY

DISTRICT ENGINEER

THE ABOVE HAVE SIGNED THESE PLANS AND/OR PLAT BASED ON THE RECOMMENDATION OF THE DISTRICT'S ENGINEER WHO HAS REVIEWED ALL SHEETS PROVIDED AND FOUND THEM TO BE IN GENERAL COMPLIANCE WITH THE DISTRICT'S 'RULES, REGULATIONS, AND GUIDELINES'. THIS APPROVAL IS ONLY VALID FOR THREE HUNDRED SIXTY-FIVE (365) CALENDAR DAYS. AFTER THAT TIME RE-APPROVAL IS REQUIRED. PLEASE NOTE, THIS DOES NOT NECESSARILY MEAN THAT ALL THE CALCULATIONS PROVIDED IN THESE PLANS AND/OR PLATS HAVE BEEN COMPLETELY CHECKED AND VERIFIED. PLANS SUBMITTED HAVE BEEN PREPARED, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE ENGINEERING IN THE STATE OF TEXAS AND PLAT HAS BEEN SIGNED AND SEALED BY A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE OF TEXAS, WHICH CONVEYS THE ENGINEER'S AND/OR SURVEYOR'S RESPONSIBILITY AND ACCOUNTABILITY.

BROOKSHIRE- KATY DRAINAGE DISTRICT Permit No. 2022-26 REVISED

DATE: MAY 2022	SUNTERRA SEC 31 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@landtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration No. 1-21790 & 10046100 12279 Corporate Drive, Suite 100 - Houston, TX 77042-2811 Cjamnlk@quiddity.com</small>
SCALE NTS			
SHEET 10 OF 1			

K:\18537\18537-0090-00 Sunterra Section 31 WSDP\Design Phase\Planning\Replat\Plat Sunterra Sec 31.dwg May 01, 2023 - 11:55am EKO

STATE OF TEXAS §
COUNTY OF WALLER §

We, Astro Sunterra, L.P., a Delaware Limited Partnership, acting by and through Melanie Ohi, Authorized Signer, owner hereinafter referred to as Owners of the 0.64 acre tract described in the above and foregoing map of Sunterra Sec 31 Partial Replat No 1, do hereby make and establish said subdivision and development plan of said property according to all lines, dedications, restrictions, and notations on said maps or plat and hereby dedicate to the use of the public forever, all streets (except those streets designated as private streets, or permanent access easements), alleys, parks, water courses, drains, easements and public places shown thereon for the purposes and considerations therein expressed; and do hereby bind ourselves, our heirs, successors and assigns to warrant and forever defend the title on the land so dedicated.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional eleven feet, six inches (11' 6") for ten feet (10' 0") perimeter ground easements or seven feet, six inches (7' 6") for fourteen feet (14' 0") perimeter ground easements or five feet, six inches (5' 6") for sixteen feet (16' 0") perimeter ground easements, from a plane sixteen feet (16' 0") above the ground level upward, located adjacent to and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals twenty one feet, six inches (21' 6") in width.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional ten feet (10' 0") for ten feet (10' 0") back-to-back ground easements, or eight feet (8' 0") for fourteen feet (14' 0") back-to-back ground easements or seven feet (7' 0") for sixteen feet (16' 0") back-to-back ground easements, from a plane sixteen feet (16' 0") above ground level upward, located adjacent to both sides and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals thirty feet (30' 0") in width.

FURTHER, we do hereby certify that we are the owners of all property immediately adjacent to and adjoining the boundaries of the above and foregoing subdivision, Sunterra where public utility easements are to be established outside the boundaries of the above and foregoing subdivision and to hereby make and establish and dedicated to the use of the public utilities forever all public utility easements show in said adjacent acreage.

FURTHER, all of the property subdivided in the above and foregoing plat shall be restricted in its use, which restrictions shall run with the title to the property and shall be enforceable at the option of Waller County, by Waller County, or any citizen thereof, by injunction as follows:

- 1. That drainage of septic tanks into roads, streets, alleys or public ditches, streams, ect., either directly or indirectly is strictly prohibited.
- 2. All stock animals, horses and fowl, shall be fenced in and not allowed to run at large in the subdivision.
- 3. Drainage structures under private drives shall have a new drainage opening area of sufficient size to permit the free flow of water without backwater and shall be a minimum of one and three quarters (1-1/4) square feet (15" diameter pipe) reinforced concrete pipe, unless specified by the County Road Administrator or County Engineer. Culverts and bridges must be used for all driveway and/or walks, although dip-style driveways are encouraged where appropriate.
- 4. Property owners will obtain Development Permits/Permit Exemptions from the County Flood Plain Administrator for all development.
- 5. There are no underground pipelines within the confines of the subdivision except as shown on the plat.
- 6. There shall be no sanitary sewer systems or any water well constructed within 50 feet of any lot line that does not adjoin with a public road.

FURTHER, Owners hereby certify that this replat does not attempt to alter, amend, or remove any covenants or restrictions;

IN TESTIMONY WHEREOF, the Astro Sunterra, L.P., a Delaware Limited Partnership has caused these presents to be signed by Melanie Ohi, its Authorized Signer, thereunto authorize, this 3rd day of May, 2023.

Astro Sunterra, L.P.,
a Delaware Limited Partnership

By: Astro Sunterra GP LLC
a Delaware Limited Liability Company,
Its General Partner
By: Melanie Ohi
By: Melanie Ohi
Title: Authorized Signer

STATE OF TEXAS §
COUNTY OF WALLER §

BEFORE ME, the undersigned authority, on this day personally appeared Melanie Ohi Authorized Signer known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 3rd day of May, 2023.

Samantha Dorff
Notary Public in and for the State of Texas
Samantha Dorff
Print Name




My commission expires: 3-8-2025

DATE: MAY 2022	SUNTERRA SEC 31 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P., a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@andtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineering and Land Surveyors Registration No. 1-122701 & 12741202 12214 Corporate Drive, Suite 100 • Houston, TX 77067 • 281.342.1211</small> Cjamnik@quiddity.com
SCALE 1" = 250'			
SHEET 1E OF 1			

K:\16537\16537-0090-00 Sunterra Section 31 WSP\23\Design Phase\Planning\opd\Astro Sunterra Sec 31.dwg May 01, 2023 2:20pm CJK

Line Table		
Line	Bearing	Distance
L1	N53°44'06"W	50.00'
L2	N47°05'17"W	35.00'
L3	N02°05'29"W	286.25'
L4	N44°53'20"E	66.50'
L5	S44°53'20"W	66.50'
L6	S02°05'29"E	280.61'
L7	N44°53'20"E	90.76'
L8	N02°05'29"W	286.22'

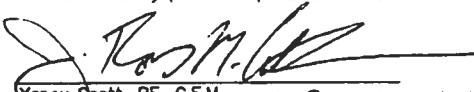
Curve Table						
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C1	25.00'	45°00'12"	19.64'	N20°24'37"E	19.14'	10.36'
C2	150.00'	46°58'49"	122.99'	N21°23'55"E	119.58'	65.19'
C3	25.00'	88°17'22"	38.52'	N00°44'39"E	34.82'	24.26'
C4	1,650.00'	3°25'16"	98.52'	S45°06'40"E	98.51'	49.28'
C5	25.00'	88°17'22"	38.52'	S89°02'01"W	34.82'	24.26'
C6	100.00'	46°58'49"	82.00'	S21°23'55"W	79.72'	43.46'
C7	25.00'	39°51'14"	17.39'	S22°01'06"E	17.04'	9.06'
C8	50.00'	78°12'37"	68.25'	S02°50'25"E	63.07'	40.64'
C9	125.00'	46°58'49"	102.49'	N21°23'55"E	99.65'	54.33'
C10	50.00'	45°01'45"	39.30'	N20°23'51"E	38.29'	20.73'

DATE: MAY 2022	SUNTERRA SEC 31 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@andtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. E-23240 & L-10648-120 1229 Corporate Drive, Suite 100 - Rosenberg, TX 77471-3813-141-2013 CJamnik@quiddity.com</small>
SCALE NTS			
SHEET 1F OF 1			

K:\1853\1853-0090-00 Sunterra Section 31 WSD&P\2 Design Phase\Planning\Replat\PH Sunterra Sec 31.dwg Nov 28, 2023 - 7:55am CJK

J. Ross McCall
I, ~~Nancy Scott~~, County Engineer of Waller County, Certify that the Plat of this subdivision complies with all existing rules and regulations of Waller County.
No construction or other development within this subdivision may begin until all Waller County permit requirements have been met.

1-4-24
Date


~~Nancy Scott, PE, C.E.M.~~ J. Ross McCall, PE
County Engineer

STATE OF §
TEXAS
COUNTY OF §
WALLER

I, Debbie Hollan, County Clerk In and for Waller County, Texas do hereby certify that the foregoing instrument with its certificate of authentication was filed for recordation in my office on _____, 2022, at _____ o'clock ____M in File No. _____ of the Plat Records of said County. Witness my hand and seal of office, at Hempstead, Texas, the day and date last above written.

Debbie Hollan
Waller County,
Texas

By: _____
Deputy

CERTIFICATE OF COMMISSIONERS COURT

APPROVED by the Commissioners' Court of Waller County, Texas, this _____ day of _____, 2022.

Carbett "Trey" J. Duhon III
County Judge


John A. Amsler
Commissioner, Precinct 1

Walter E. Smith, P.E., RPLS
Commissioner, Precinct 2

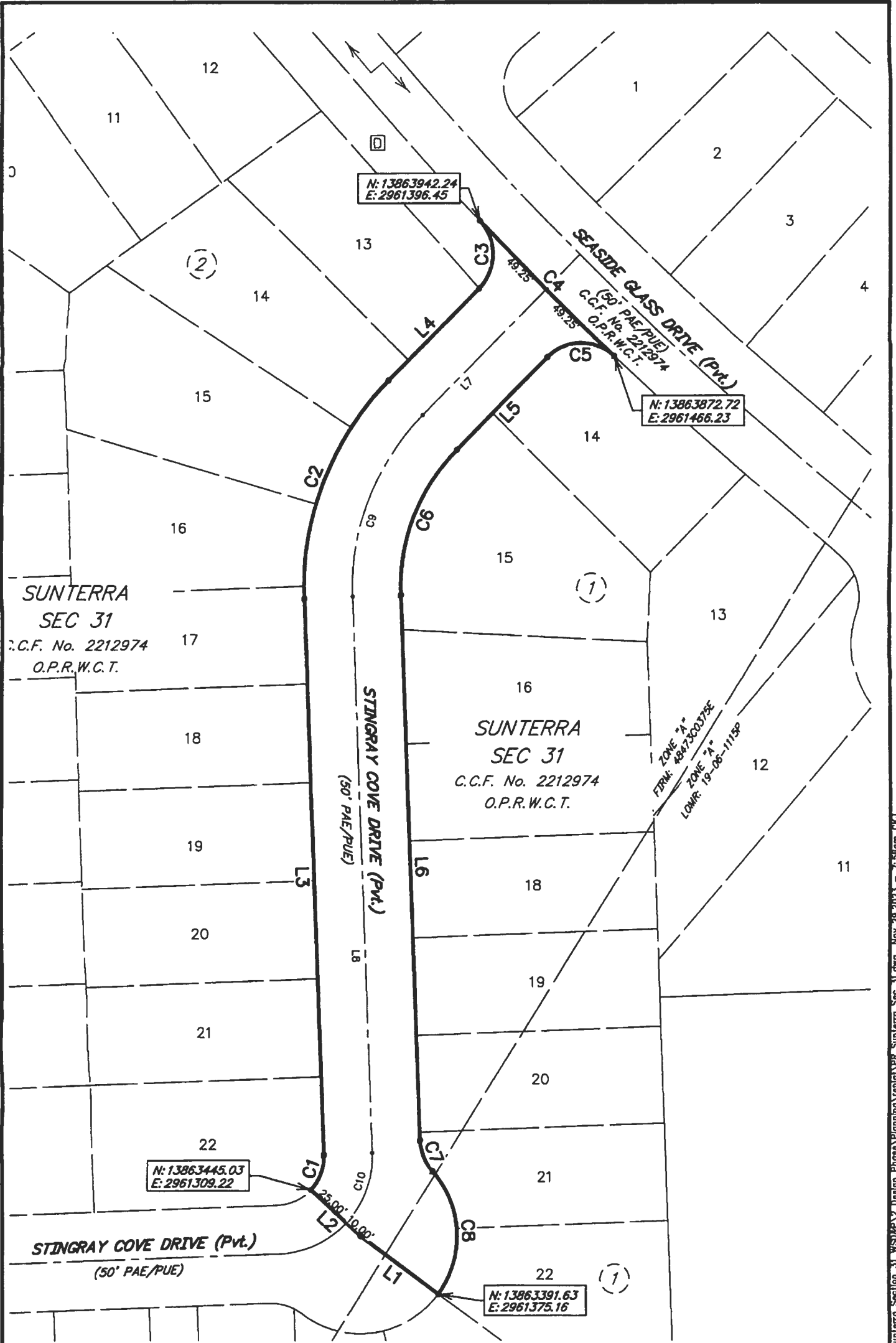
Kendric D. Jones
Commissioner, Precinct 3


Justin Beckendorff
Commissioner, Precinct 4

NOTE: Acceptance of the above plat by the Commissioners Court does not signify Waller County acceptance of the dedicated roads for integration into the County Road System. The developer is required to comply with Sections 5 and 6 of the current Waller County Subdivision and Development Regulations, in this regard.

DATE: MAY 2022	SUNTERRA SEC 31 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@andtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. E-112790 & L10046100 1229 Corporate Drive, Suite 100 Houston, TX 77071-2813 281.342.2073</small> Cjarnnik@quiddity.com
SCALE NTS			
SHEET 1G OF 1			

K:\18537\18537-0000-00 Sunterra Section 31 WS02P\2 Design Phase\Planning\replat\PR Sunterra Sec 31.dwg Nov 28, 2023 - 7:55am CLKJ

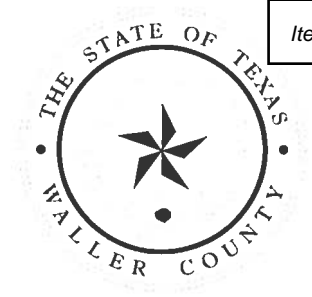


DATE: MAY 2022	SUNTERRA SEC 31 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sabryant@landtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration No. 1-21290 & 10046102 1129 Corporate Drive, Suite 100, Houston, TX 77063-2811</small> Cjamnik@quiddity.com
SCALE NTS			
SHEET 1H OF 1			

K:\B537\B537-0080-00 Sunterra Section 31 WSDP\Design Phase\Planning\Replat\YPR Sunterra Sec 31.dwg Nov 29, 2023 - 7:58am CLK

WALLER COUNTY

Yancy Scott, P.E., CFM
County Engineer



MEMORANDUM

To: Honorable Commissioners' Court

Item: Final RePlat Approval for Sunterra Shores Drive Street Dedication Section 4 & Lift Station No.1 Partial Replat No.1

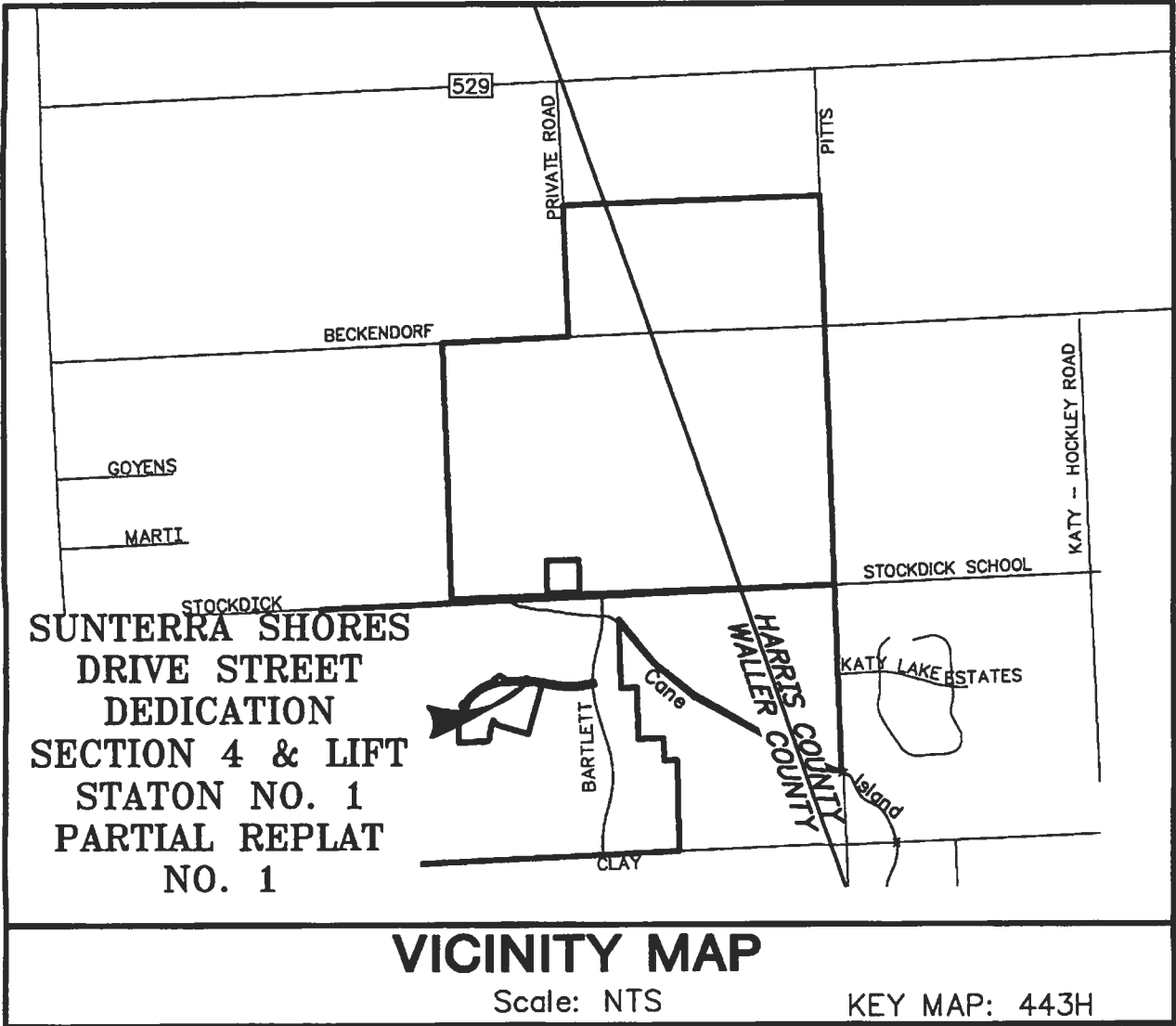
Date January 10, 2024

Background

Final RePlat of Sunterra Shores Drive Street Dedication Section 4 & Lift Station No. 1 Partial Replat No. 1 street name change Sunray Beach Drive to Malibu Glen Drive in Precinct 3.

Staff Recommendation

Approve Plat



SUNTERRA SHORES DRIVE STREET DEDICATION SECTION 4 & LIFT STATION NO. 1 PARTIAL REPLAT NO 1

A SUBDIVISION OF 0.04 ACRE OF LAND
BEING A REPLAT OF A PORTION OF RIGHT-OF-WAY OF "SUNRAY BEACH
DRIVE", SUNTERRA SHORES DRIVE STREET DEDICATION SECTION 4 &
LIFT STATION NO 1 RECORDED UNDER C.C.F. NO. 2113487, O.P.R.W.C.T.
OUT OF THE
H & T. C. RAILROAD COMPANY SURVEY SECTION 121, A-201
WALLER COUNTY, TEXAS
JANUARY 2023

REASON FOR REPLAT: TO CHANGE STREET NAME
"SUNRAY BEACH DRIVE" TO "MALIBU GLEN DRIVE"

BKDD Permit No. 2021-35 REVISED

DATE: JANUARY 2023	SUNTERRA SHORES STREET DEDICATION AND LIFT STATION NO 1 PARTIAL REPLAT NO. 1	OWNER/DEVELOPER: ASTRO SUNTERRA, LP a Delaware Limited Partnership 2450 Fondren Road, Suite 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sabryant@andtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1229 Corporate Drive Rosenberg, Texas 77471 281.942.2031</small> Cjamnik@quiddity.com
SCALE NTS			
SHEET 1A OF 1			

K:\16537\16537-0025-00 Sunterra Collector A Segment 4A\2 Design Phase\Plotting\Replat\Plot_Collector A Seg 4.dwg Dec 04, 2023 - 1:45pm CKJ

A METES & BOUNDS description of an 0.04 acre strip of land in the H. & T. C. Railroad Company Survey Section 121, Abstract 201, Waller County, Texas, being over, through and across Sunterra Shores Drive Street Dedication Section 4 & Lift Station No. 1, according to map or plat thereof recorded under County Clerk's File Number 2113487, Official Public Records, Waller County, Texas, with all bearings based upon the Texas Coordinate System of 1983, South Central Zone, based upon GPS observations.

Beginning at a 3/4 inch iron rod with cap marked "Jones|Carter" found for the middle southwest corner of said Sunterra Shores Drive Street Dedication Section 4 & Lift Station No. 1, same being the beginning of a 25-foot radius transition from Sunray Beach Drive (50-foot wide) to Sunterra Shores Drive (60-foot wide) for the southwest corner and Place of Beginning of the herein described tract, and being in a non-tangent curve to the left;

Thence along said non-tangent curve to the left, the west line of the herein described tract, and the southerly line of said Sunterra Shores Drive Street Dedication 4 & Lift Station No. 1, having a central angle of 91 degrees 53 minutes 59 seconds, an arc length of 40.10 feet, a radius of 25.00 feet, and a chord bearing North 45 degrees 27 minutes 14 seconds West, 35.94 feet to a 3/4 inch iron rod with cap marked "Jones|Carter" found for the northwest corner of the herein described tract, same being the end of said 25-foot radius transition;

Thence establishing the northerly line of the herein described tract, crossing said Sunterra Shores Drive Street Dedication 4 & Lift Station No. 1, at the following courses and distances:

North 88 degrees 35 minutes 47 seconds East, 6.33 feet to a point at the beginning of a curve to the right;

Thence with said curve to the right, having a central angle of 04 degrees 04 minutes 01 second, an arc length of 95.47 feet, a radius of 1,345.00 feet, and a chord bearing South 89 degrees 22 minutes 12 seconds East, 95.45 feet to a 3/4 inch iron rod with cap marked "Jones|Carter" found for the northeast corner of the herein described tract, same being the beginning of a 25-foot radius transition from said Sunterra Shores Drive to said Sunray Beach Drive, being in the southerly line of said Sunterra Shores Drive Street Dedication 4 & Lift Station No. 1, and being in a non-tangent curve to the left;

Thence along said non-tangent curve to the left, the east line of the herein described tract, and the southerly line of said Sunterra Shores Drive Street Dedication 4 & Lift Station No. 1, having a central angle of 92 degrees 10 minutes 49 seconds, an arc length of 40.22 feet, a radius of 25.00 feet, and a chord bearing South 46 degrees 34 minutes 24 seconds West, 36.02 feet to a 3/4 inch iron rod with cap marked "Jones|Carter" found for the southeast corner of the herein described tract, same being the end of said 25-foot radius transition;

Thence North 89 degrees 29 minutes 13 seconds West along the south line of the herein described tract, being the southerly line of said Sunterra Shores Drive Street Dedication 4 & Lift Station No. 1, crossing said Sunray Beach Drive, 50.00 feet to the Place of Beginning and containing 0.04 acre of land, more or less.

Line Table		
Line	Bearing	Distance
L1	N88°35'47"E	6.33'
L2	N89°29'13"W	50.00'
L3	S00°29'46"W	25.95'

Curve Table						
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C1	1345.00'	4°04'01"	95.47'	S89°22'12"E	95.45'	47.76'
C2	25.00'	92°10'49"	40.22'	S46°34'24"W	36.02'	25.97'
C3	25.00'	91°53'59"	40.10'	N45°27'14"W	35.94'	25.84'

DATE: JANUARY 2023

SCALE NTS

SHEET 18 OF 1

SUNTERRA
SHORES STREET
DEDICATION AND LIFT
STATION NO 1
PARTIAL REPLAT NO. 1

OWNER/DEVELOPER:
ASTRO SUNTERRA, LP
a Delaware Limited Partnership
2450 Fondren Road, Suite 210
HOUSTON, TEXAS 77063
(713) 783-6702
Sobryant@iandtejas.com

ENGINEER/PLANNER/SURVEYOR:



QUIDDITY

Quiddity Engineering, LLC
Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100
1229 Corporate Drive Rosenberg, Texas 77471 281.342.2033

Cjamnik@quiddity.com

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General Notes:

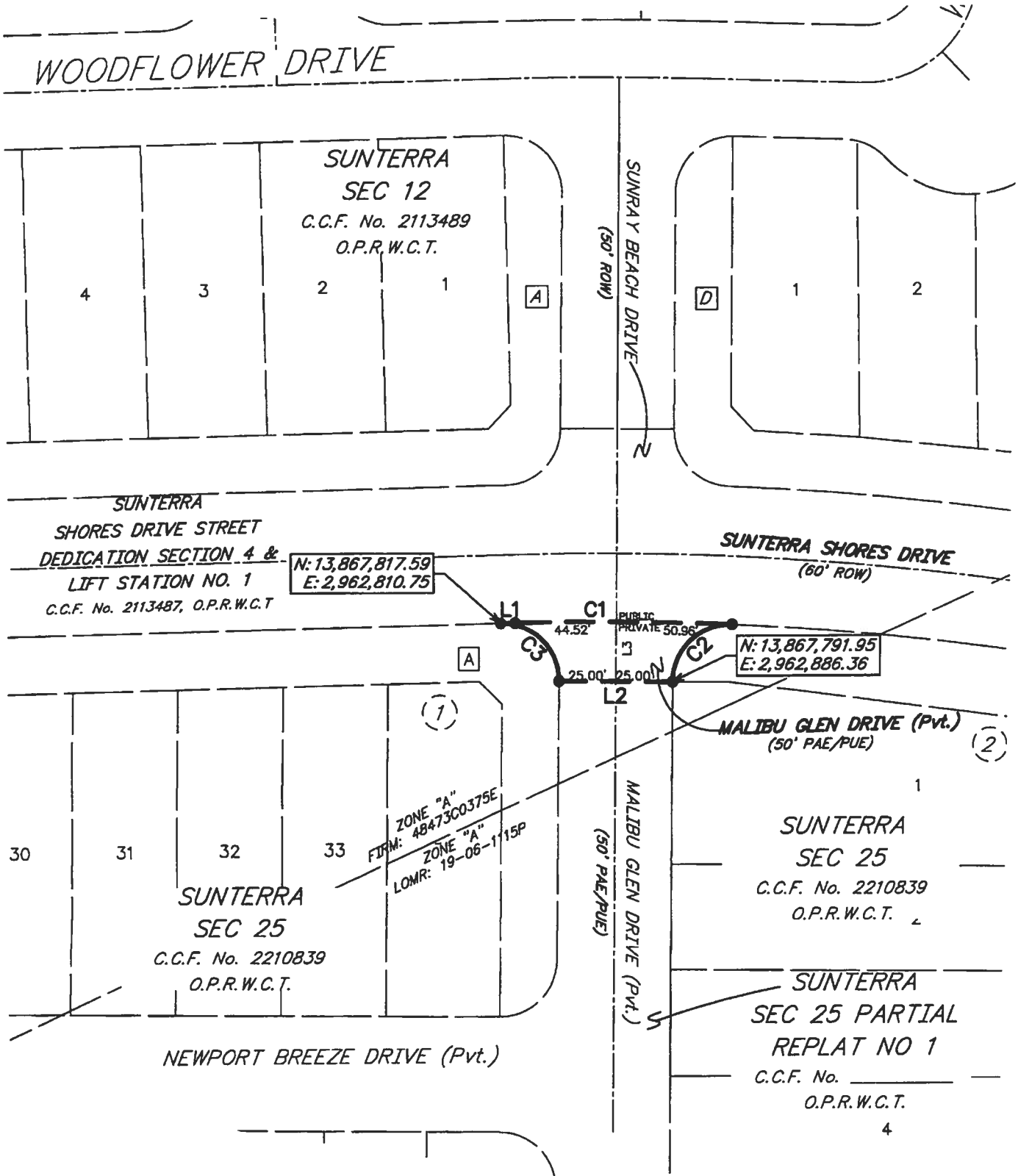
- AE "Aerial Easement"
- BL "Building Line"
- C.C.F. "County Clerk's File"
- D.R.H.C.T. . . . "Deed Records, Harris County, Texas"
- GBL "Garage Building Line"
- No "Number"
- O.P.R.W.C.T. . . . "Official Public Records, Waller County, Texas"
- O.P.R.R.P.H.C.T. . "Official Public Records of Real Property, Harris County, Texas"
- ROW "Right-of-Way"
- SSE "Sanitary Sewer Easement"
- Sq Ft "Square Feet"
- UE "Utility Easement"
- Vol → Pg → . . . "Volume and Page"
- WLE "Waterline Easement"
- "Set 3/4-Inch Iron Rod With Cap Stamped Jones/Carter" as Per Certification"
- ① "Block Number"
- ~ "Street Name Break"

- 1. One-foot reserve dedicated for buffer purposes to the public in fee as a buffer separation between the side or end of street where such streets abut adjacent property, the condition of such dedication being that when the adjacent property is subdivided or re-subdivided in a recorded plat, the one-foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and re-vest in the dedicant, his heirs, assigns or successors.
- 2. This subdivision is proposed for single-family residential, detention, and other related uses.
- 3. The radius on all block corners is 25 feet, unless otherwise noted.
- 4. All easements are centered on lot lines unless otherwise shown. All 14 foot utility easements shown extend 7 feet on each side of a common lot line unless otherwise indicated.
- 5. With respect to recorded instruments within this plat, surveyor relied on City Planning Letter issued by Charter Title Company, GF No. 1076601800196A, Dated March 13, 2022.
- 6. All coordinates shown are grid based on the Texas Coordinate System of 1983, South Central Zone, and may be converted to surface by applying by the combined scale factor of 0.99989805999.
- 7. All bearings are based on the Texas Coordinate System of 1983, South Central Zone, based upon GPS observations.
- 8. A minimum of ten (10) feet shall be provided between sides of residential dwellings.
- 9. New development within the subdivision plat shall obtain a storm water quality permit before the issuance of any development permits.
- 10. Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing.
- 11. Structures built on lots in the designated flood plain shall be elevated to two (2) feet or more above the 500-year floodplain elevation, in the 100-year floodplain. Within the 500-year, these structures must be elevated to one (1) foot above the 500-year floodplain level. No development permits will be issued in a Flood Hazard Area below the base flood elevation (B.F.E.) Contact the County Engineer's office for specific information.
- 12. No structure in this subdivision shall be occupied until connected to a public sewer system.
- 13. No structure in this subdivision shall be occupied until connected to an individual water supply or a state - approved community water system.
- 14. This tract lies within Zone "AE" with defined BFE, and Zone "X Shaded" of the Flood Insurance Rate Map, Community No. 480640, Map Number 48473C0375E, Panel 0375, suffix "E" dated February 18, 2009 and revised under LOMR 19-06-1115P dated April 27, 2020 for Waller County, Texas and incorporated areas. Zone AE; Is defined as special flood hazard areas subject to inundation by the 1% annual chance flood event (100-year flood) with Base Flood Elevations determined. Shaded Zone X; Is defined as areas of the 0.2% annual chance flood (500-year flood); areas of 1% annual chance flood (100-year flood) with average depths of less than one foot or with drainage areas less than one square mile.
- 15. Unless otherwise indicated, the building line (B.L.), whether one or more, shown on this subdivision plat are established to evidence compliance with the applicable provisions of Chapter 42, Code of Ordinances, City of Houston, Texas, in effect at the time this plat was approved, which may be amended from time to time.
- 16. Single Family Residential shall mean the use of a lot with one building designed for and containing no more than two separate units with facilities for living, sleeping cooking and eating therein. A lot upon which is located a free-standing building containing one dwelling unit and a detached secondary dwelling unit of no more than 900 square feet also shall be considered single family residential. A building that contains one dwelling unit on one lot that is connected by a party wall to another building containing one dwelling unit on an adjacent lot shall be single family residential.
- 17. Each lot shall provide a minimum of two off-street parking spaces per dwelling unit on each lot. In those instances where a secondary unit is provided only one additional space shall be provided.
- 18. Right-of-way easements for widening streets or improving drainage shall be maintained by the landowner until all street or drainage improvements are actually constructed on the property. The county has the right at any time to take possession of any street widening easement for construction, improvement or maintenance.
- 19. The building of all streets, bridges or culverts is the responsibility of the owners in accordance with the plans prescribed by the Commissioners Court. The Commissioners Court assumes no obligation to build or maintain any of the streets shown on the plat or constructing any of the bridges or drainage improvements. Upon completion of all obligations by the developer and written approval from the Commissioners Court, the County will assume full responsibility for maintenance of the public streets. The county will assume no responsibility for the drainage ways or easements in the subdivision, other than those draining or protecting the streets. The county assumes no responsibility for the accuracy of representations by other parties on the plat. Flood plain data, in particular, may change depending on subsequent development. The owners of land covered by this plat must install at their own expense all traffic control devices and signage that may be required before the streets in the subdivision have finally been accepted for maintenance by the county. The property subdivided herein is further restricted in its use as specified under the terms and conditions of restrictions filed separately. A copy of said restrictions will be furnished by aforesaid Astro Sunterra, L.P., a Delaware Limited Partnership, to the purchaser of each and every lot in the subdivision prior to culmination of each sale include certification that the subdivider has complied with the requirements of section 232.032 and that:
 - (a) the water quality and connections to the lots meet, or will meet, the minimum state standards;
 - (b) sewer connections to the lots or septic tanks meet, or will meet, the minimum requirements of state standards;
 - (c) electrical connections provided to the lot meet, or will meet, the minimum state standards; and
 - (d) gas connections, if available, provided to the lot meet, or will meet, the minimum state standards.
- 20. Project site is within City of Houston ETJ.
- 21. No pipeline or pipeline easement exist within the boundaries of this plat.
- 22. TBM "7523" being a set cotton picker spindle. Located in the South edge of asphalt of Clay Road, being +/- 6,946' East of the intersection of Clay Road and Schlupf Road, and +/- 3,601' West of the intersection of Clay Road and Pitts Road. Elevation = 159.03' (NAVD88, 2001 Adjustment).
- 23. All lots shall have adequate wastewater collection service.
- 24. Tract is subject to Declaration of Covenants, Conditions, and Restrictions recorded under C.C.F. NOS. 2100543, 2108796, 2109155, 2110496, 2112608, 2113020, and 2115251, O.P.R.W.C.T.
- 25. Tract is subject to Grant of Easement and Surface Use Agreement recorded under C.C.F. NOS. 1910726 and 2007577, O.P.R.W.C.T.
- 26. Tract is subject to Agreement for Underground Electric Service recorded under C.C.F. NO. 2202206, O.P.R.W.C.T.
- 27. Tract is subject to Detention Facilities Maintenance Agreement recorded under C.C.F. NOS. 2009285, 2200987, 2200988, 2200989, 2200990, and 2202918, O.P.R.W.C.T.

DATE: JANUARY 2023	SUNTERRA SHORES STREET DEDICATION AND LIFT STATION NO 1 PARTIAL REPLAT NO. 1	OWNER/DEVELOPER: ASTRO SUNTERRA, LP a Delaware Limited Partnership 2450 Fondren Road, Suite 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@andtejas.com	<div>ENGINEER/PLANNER/SURVEYOR:</div> <div> QUIDDITY</div> <div><small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-73290 & 10046100 1229 Corporate Drive Rosenberg, Texas 77471 281.342.2033</small></div> <div>Cjarnnik@quiddity.com</div>
SCALE NTS			
SHEET 1C OF 1			

K:\16537\16537-0025-00 Sunterra Collector A Segment 4A\2 Design Phase\Plotting\Replat\Plat_Collector A Seg 4.dwg Dec 04, 2023 - 1:45pm CKJ

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DATE: JANUARY 2023

SCALE NTS

SHEET 1D OF 1

**SUNTERRA
SHORES STREET
DEDICATION AND LIFT
STATION NO 1
PARTIAL REPLAT NO. 1**

OWNER/DEVELOPER:
ASTRO SUNTERRA, LP
a Delaware Limited Partnership
2450 Fondren Road, Suite 210
HOUSTON, TEXAS 77063
(713) 783-6702
Sobryant@landtejas.com

ENGINEER/PLANNER/SURVEYOR:

QUIDDITY
Quiddity Engineering, LLC
Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-232290 & 10066100
1229 Corporate Drive, Rosenberg, Texas 77471 281.342.2033
Cjamnik@quiddity.com

Certificate of Surveyor
This is to certify that I, Chris D. Kalkomey, a Registered Professional Land Surveyor of the State of Texas, have platted the above subdivision from an actual survey on the ground; and that all block corners, lot corners and permanent referenced monuments have been set, that permanent control points will be set at completion of construction and that this plat correctly represents that survey made by me.

A portion of this subdivision lies within the boundaries of any municipality's corporate city limits, or area of extra territorial jurisdiction.

A portion of this subdivision lies within the boundaries of the 1% annual chance (100 year) flood plain as delineated on Waller County Community Panel #480640 dated 2/18/2009. Revised under LOMR 19-06-1115P dated 4/27/2020.

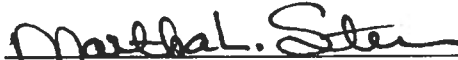
A portion of this subdivision lies within the boundaries of the 0.2% annual chance (500 year) flood plain as delineated on Waller County Community Panel #480640 dated 2/18/2009. Revised under LOMR 19-06-1115P dated 4/27/2020.



Chris D. Kalkomey
Registered Professional Land Surveyor
Texas Registration No. 5869



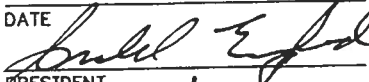

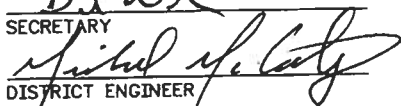
This is to certify that the Planning Commission of the City of Houston, Texas, has approved this plat and subdivision of Sunterra Shores Drive Street Dedication Section 4 and Lift Station No. 1 Partial Replat No. 1 in conformance with the laws of the State of Texas and the ordinances of the City of Houston, as shown hereon, and authorized the recording of this plat this 25 day of AUGUST, 2023.

By: 
Martha L. Stein or M. Sonny Garza
Title Chair Vice Chairman

By: 
Margaret Wallace Brown, AICP, GNU-A
Secretary



BROOKSHIRE- KATY DRAINAGE DISTRICT Permit No. ~~2021-87~~ REVISED

1-9-23
DATE

PRESIDENT

SECRETARY

DISTRICT ENGINEER

THE ABOVE HAVE SIGNED THESE PLANS AND/OR PLAT BASED ON THE RECOMMENDATION OF THE DISTRICT'S ENGINEER WHO HAS REVIEWED ALL SHEETS PROVIDED AND FOUND THEM TO BE IN GENERAL COMPLIANCE WITH THE DISTRICT'S 'RULES, REGULATIONS, AND GUIDELINES'. THIS APPROVAL IS ONLY VALID FOR THREE HUNDRED SIXTY-FIVE (365) CALENDAR DAYS. AFTER THAT TIME RE-APPROVAL IS REQUIRED. PLEASE NOTE, THIS DOES NOT NECESSARILY MEAN THAT ALL THE CALCULATIONS PROVIDED IN THESE PLANS AND/OR PLATS HAVE BEEN COMPLETELY CHECKED AND VERIFIED. PLANS SUBMITTED HAVE BEEN PREPARED, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE ENGINEERING IN THE STATE OF TEXAS AND PLAT HAS BEEN SIGNED AND SEALED BY A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE OF TEXAS, WHICH CONVEYS THE ENGINEER'S AND/OR SURVEYOR'S RESPONSIBILITY AND ACCOUNTABILITY.

DATE: JANUARY 2023	SUNTERRA SHORES STREET DEDICATION AND LIFT STATION NO 1 PARTIAL REPLAT NO. 1	OWNER/DEVELOPER: ASTRO SUNTERRA, LP a Delaware Limited Partnership 2450 Fondren Road, Suite 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@landtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. 1-23290 & 10046100 61229 Corporate Drive Rosenberg, Texas 77471 281 342 2033</small> Cjamnik@quiddity.com
SCALE NTS			
SHEET 1E OF 1			

K:\16537\16537-0025-00 Sunterra Collector A Segment 4A\2 Design Phase\Platting\Replat\Plot_Collector A Seg 4.dwg Jan 20, 2023 - 9:30am CKJ

STATE OF TEXAS §
COUNTY OF WALLER §

We, Astro Sunterra L.P., a Delaware Limited Partnership acting by and through Melanie Ohi, Authorized Signer, owner hereinafter referred to as Owners of the 0.04 acre tract described in the above and foregoing map of Sunterra Shores Drive Street Dedication Section 4 and Lift Station No. 1 Partial Replat No. 1, do hereby make and establish said subdivision and development plan of said property according to all lines, dedications, restrictions, and notations on said maps or plat and hereby dedicate to the use of the public forever, all streets (except those streets designated as private streets, or permanent access easements), alleys, parks, water courses, drains, easements and public places shown thereon for the purposes and considerations therein expressed; and do hereby bind ourselves, our heirs, successors and assigns to warrant and forever defend the title on the land so dedicated.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional eleven feet, six inches (11' 6") for ten feet (10' 0") perimeter ground easements or seven feet, six inches (7' 6") for fourteen feet (14' 0") perimeter ground easements or five feet, six inches (5' 6") for sixteen feet (16' 0") perimeter ground easements, from a plane sixteen feet (16' 0") above the ground level upward, located adjacent to and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals twenty one feet, six inches (21' 6") in width.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional ten feet (10' 0") for ten feet (10' 0") back-to-back ground easements, or eight feet (8' 0") for fourteen feet (14' 0") back-to-back ground easements or seven feet (7' 0") for sixteen feet (16' 0") back-to-back ground easements, from a plane sixteen feet (16' 0") above ground level upward, located adjacent to both sides and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals thirty feet (30' 0") in width.

FURTHER, all of the property subdivided in the above and foregoing plat shall be restricted in its use, which restrictions shall run with the title to the property and shall be enforceable at the option of Waller County, by Waller County, or any citizen thereof, by injunction as follows:

- 1. That drainage of septic tanks into roads, streets, alleys or public ditches, streams, ect., either directly or indirectly is strictly prohibited.
- 2. All stock animals, horses and fowl, shall be fenced in and not allowed to run at large in the subdivision.
- 3. Drainage structures under private drives shall have a new drainage opening area of sufficient size to permit the free flow of water without backwater and shall be a minimum of one and three quarters (1-1/4) square feet (15" diameter pipe) reinforced concrete pipe, unless specified by the County Road Administrator or County Engineer. Culverts and bridges must be used for all driveway and/or walks, although dip-style driveways are encouraged where appropriate.
- 4. Property owners will obtain Development Permits/Permit Exemptions from the County Flood Plain Administrator for all development.
- 5. There are no underground pipelines within the confines of the subdivision except as shown on the plat.
- 6. There shall be no sanitary sewer systems or any water well constructed within 50 feet of any lot line that does not adjoin with a public road.

FURTHER, Owners hereby certify that this replat does not attempt to alter, amend, or remove any covenants or restrictions.

IN TESTIMONY WHEREOF, the Astro Sunterra L.P., a Delaware Limited Partnership has caused these presents to be signed by Melanie Ohi, Authorized Signer, thereunto, this 20th day of January 2023.

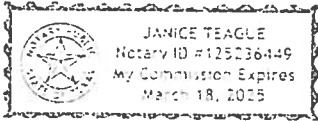
Astro Sunterra L.P.,
a Delaware Limited Partnership
By: Melanie Ohi
Melanie Ohi, Authorized Signer

STATE OF TEXAS §
COUNTY OF HARRIS §

BEFORE ME, the undersigned authority, on this day personally appeared Melanie Ohi, Authorized Signer known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 20th day of January 2023.

Janice Teague
Notary Public in and for the State of Texas
Janice Teague
Print Name
My commission expires: 03/18/2025



DATE: JANUARY 2023	SUNTERRA SHORES STREET DEDICATION AND LIFT STATION NO 1 PARTIAL REPLAT NO. 1	OWNER/DEVELOPER: ASTRO SUNTERRA, LP a Delaware Limited Partnership 2450 Fondren Road, Suite 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@andtejas.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas State of Professional Engineers and Land Surveyors Registration Nos. 7232702 & 10096109 6122th Corporate Drive, Houston, Texas 77057 282.842.7013</small> Cjamnik@quiddity.com
SCALE NTS			
SHEET 1F OF 1			

DATE: JANUARY 2023	SUNTERRA SHORES STREET DEDICATION AND LIFT STATION NO 1 PARTIAL REPLAT NO. 1	OWNER/DEVELOPER: ASTRO SUNTERRA, LP a Delaware Limited Partnership 2450 Fondren Road, Suite 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sobryant@landtejas.com	ENGINEER/PLANNER/SURVEYOR:
SCALE NTS			 QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration No. E-23290 & 10046100 1229 Corporate Drive, Rosenberg, Texas 77471 281.342.2031</small>
SHEET 1G OF 1			Cjarnnik@quiddity.com



WALLER COUNTY

Yancy Scott, P.E., CFM
County Engineer

MEMORANDUM

To: Honorable Commissioners' Court

Item: Final Plat Approval-Sunterra Section 48

Date: January 10, 2024

Background

Final Plat of Sunterra Section 48 Subdivision which consists of 10.49 acres will include 59 Lots, 3 Blocks and 4 Reserves in Precinct 3.

Staff Recommendation

Approve Plat



35

K:\16537\16537-0102-00 Sunterra Section 48 WSD&P\2 Design Phase\Planning\new Plat_Sunterra Sec 48.dwg Dec 07, 2023 - 11:29am cjs

A METES & BOUNDS description of a 10.49 acre tract of land in the H. & T. C. Railroad Company Survey, Section 129, Abstract 204, Waller County, Texas, being out of and a part of that certain called 304.68 acre tract (Exhibit 'A', Tract 3) recorded under County Clerk's File Number 2115246, Official Public Records, Waller County, Texas, the residue of that certain called 349.96 acre tract recorded under County Clerk's File Number 2203247, Official Public Records, Waller County, Texas, that certain called 39.58 acre tract recorded under County Clerk's File Number 2203289, Official Public Records, Waller County, Texas, and that certain called 20.82 acre tract recorded under County Clerk's File Number 2203295, Official Public Records, Waller County, Texas, with all bearings based upon the Texas Coordinate System of 1983, South Central Zone, based upon GPS observations.

Commencing at an angle point in the north line of a called 655.54 acre tract (Exhibit 'A', Dollins Tract) recorded under County Clerk's File Number 2115246, Official Public Records, Waller County, Texas, being the northwest corner of the J. W. McCutcheon Survey Section 130, Abstract 308, same being the northeast corner of the H. & T. C. Railroad Company Section 121, Abstract 201, same being an angle point in the south line of a non-contiguous portion of the residue of a called 1,263.584 acre tract recorded in Volume 449, Page 312, Deed Records, Waller County, Texas, being the southeast corner of said Abstract 375, same being the southwest corner of said Abstract 204, from which the northwest corner of Bartlett Road Street Dedication according to map or plat thereof recorded under County Clerk's File Number 2108104, Official Public Records, Waller County Texas, bears South 12 degrees 25 minutes 00 seconds East, 54.89 feet;

Thence North 02 degrees 20 minutes 45 seconds West, along the west line of said Abstract 204, being the east line of said Abstract 375, and crossing a called 10.00 acre tract recorded in Volume 200, Page 118, Deed Records, Waller County, Texas, said called 304.68 acre tract, and said non-contiguous portion of the residue of a called 1,263.584 acre tract, 1,560.56 feet to a point;

Thence North 87 degrees 39 minutes 15 seconds East, departing said line, crossing said non-contiguous portion of the residue of a called 1,263.584 acre tract and said called 349.96 acre tract, 100.00 feet to the southwest corner and Place of Beginning of the herein described tract;

Thence North 02 degrees 20 minutes 45 seconds West establishing the lower west line of the herein described tract, 579.68 feet to the lower northwest corner of the herein described tract, being a point in a non-tangent curve to the left;

Thence establishing the lower north line of the herein described tract, with the following courses and distances:

Thence with said non-tangent curve to the left, having a central angle of 90 degrees 00 minutes 00 seconds, an arc length of 47.12 feet, a radius of 30.00 feet, and a chord bearing South 47 degrees 20 minutes 45 seconds East, 42.43 feet;

North 87 degrees 39 minutes 15 seconds East, 97.48 feet to the beginning of a curve to the left;

Thence with said curve to the left, having a central angle of 86 degrees 01 minute 22 seconds, an arc length of 37.53 feet, a radius of 25.00 feet, and a chord bearing North 44 degrees 38 minutes 34 seconds East, 34.11 feet;

South 88 degrees 22 minutes 07 seconds East, 50.00 feet to a point in a non-tangent curve to the left;

Thence with said non-tangent curve to the left, having a central angle of 03 degrees 58 minutes 38 seconds, an arc length of 8.68 feet, a radius of 125.00 feet, and a chord bearing South 00 degrees 21 minutes 26 seconds East, 8.68 feet;

South 02 degrees 20 minutes 45 seconds East, 21.85 feet;

North 87 degrees 39 minutes 15 seconds East, 120.00 feet;

South 02 degrees 20 minutes 45 seconds East, 275.80 feet;

South 84 degrees 01 minute 17 seconds East, 102.53 feet;

North 86 degrees 18 minutes 11 seconds East, 76.32 feet;

North 74 degrees 33 minutes 18 seconds East, 153.92 feet;

North 02 degrees 20 minutes 45 seconds West, 85.43 feet to the beginning of a curve to the left;

Thence with said curve to the left, having a central angle of 90 degrees 00 minutes 00 seconds, an arc length of 39.27 feet, a radius of 25.00 feet, and a chord bearing North 47 degrees 20 minutes 45 seconds West, 35.36 feet;

North 02 degrees 20 minutes 45 seconds West, 50.00 feet to a point in a non-tangent curve to the left;

Thence with said non-tangent curve to the left, having a central angle of 90 degrees 00 minutes 00 seconds, an arc length of 39.27 feet, a radius of 25.00 feet, and a chord bearing North 42 degrees 39 minutes 15 seconds East, 35.36 feet;

North 02 degrees 20 minutes 45 seconds West, 156.40 feet to the upper northwest corner of the herein described tract;

Thence North 87 degrees 39 minutes 15 seconds East, establishing the upper north line of the herein described tract, 170.00 feet, being a point in the east line of said 20.82 acre tract, same being the west line of an adjoining called Sunterra Sec 46 recorded under County Clerk's File Number 2301020, Official Public Records, Waller County, Texas, for the northeast corner of the herein described tract;

Thence along the east line of the herein described tract, same being the east line of said called 20.82 acre tract and the west line of said called Sunterra Sec 46, with the following courses and distances:

South 02 degrees 20 minutes 45 seconds East, 317.89 feet;

South 86 degrees 43 minutes 42 seconds East, 248.23 feet;

South 05 degrees 51 minutes 26 seconds West, 98.76 feet to the beginning of a curve to the right;

Thence with said curve to the right, having a central angle of 90 degrees 00 minutes 00 seconds, an arc length of 39.27 feet, a radius of 25.00 feet, and a chord bearing South 50 degrees 51 minutes 26 seconds West, 35.36 feet;

South 05 degrees 51 minutes 26 seconds West, 50.00 feet to a point in a non-tangent curve to the right;

Thence with said non-tangent curve to the right, having a central angle of 90 degrees 00 minutes 00 seconds, an arc length of 39.27 feet, a radius of 25.00 feet, and a chord bearing South 39 degrees 08 minutes 34 seconds East, 35.36 feet;

Thence South 05 degrees 51 minutes 26 seconds West, at 98.54 feet pass the southeast corner of said called 20.82 acre tract, and continue for a total distance of 100.91 feet to the southeast corner of the herein described tract;

Thence establishing the south line of the herein described tract, crossing said called 304.68 acre tract, said called 349.96 acre tract, and said called 20.82 acre tract, with the following courses and distances:

North 82 degrees 12 minutes 15 seconds West, 30.01 feet;

North 86 degrees 43 minutes 42 seconds West, 286.70 feet;

South 50 degrees 54 minutes 58 seconds West, 32.40 feet;

South 64 degrees 51 minutes 37 seconds West, 104.82 feet;

South 75 degrees 56 minutes 50 seconds West, 52.66 feet;

South 82 degrees 28 minutes 07 seconds West, 52.45 feet;

South 88 degrees 59 minutes 15 seconds West, 52.62 feet;

North 85 degrees 41 minutes 35 seconds West, 47.67 feet;

North 85 degrees 22 minutes 22 seconds West, 405.63 feet to the Place of Beginning and containing 10.49 acres of land, more or less.

DATE: JULY 2023

SCALE NTS

SHEET 18 OF 1

FINAL PLAT OF
SUNTERRA
SEC 48

OWNER/DEVELOPER:
KB Home Lone Star, Inc.
A Texas Corporation
11314 Richmond Ave.
HOUSTON, TEXAS 77082
(281) 668-3872
dgallo@kbhome.com

ENGINEER/PLANNER/SURVEYOR:



QUIDDITY
Quiddity Engineering, LLC


Texas Board of Professional Engineers and Land Surveyors
Registration Nos. E-23290 & 10046100
2322 West Grand Pkwy North, Suite 150 • Katy, TX 77401 • 832.913.4000
CJamnik@quiddity.com

General Notes:

- AE "Aerial Easement"
- BL "Building Line"
- C.C.F. "County Clerk's File"
- GBL "Garage Building Line"
- IRF "Found 5/8-Inch Iron Rod with cap stamped "Quiddity Eng. Property Corner"
- No "Number"
- O.P.R.R.P.H.C.T. "Official Public Records of Real Property, Harris County, Texas"
- O.P.R.W.C.T. "Official Public Records, Waller County, Texas"
- ROW "Right-of-Way"
- STM SE "Storm Sewer Easement"
- SSE "Sanitary Sewer Easement"
- Sq Ft "Square Feet"
- UE "Utility Easement"
- Vol _ Pg _ "Volume and Page"
- WLE "Waterline Easement"
- "Set 3/4-Inch Iron Rod With Cap Stamped "Quiddity Eng. Property Corner" as Per Certification"
- ① "Block Number"
- ↗ "Street Name Break"


- One-foot reserve dedicated for buffer purposes to the public in fee as a buffer separation between the side or end of street where such streets abut adjacent property, the condition of such dedication being that when the adjacent property is subdivided or re-subdivided in a recorded plat, the one-foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and re-vest in the dedicator, his heirs, assigns or successors.
- This subdivision is proposed for single-family residential, detention and other related uses.
- The radius on all block corners is 25 feet, unless otherwise noted.
- With respect to recorded instruments within this plat, surveyor relied on City Planning Letter issued by Charter Title Company, GF No. _____ Dated _____, 202__.
- All easements are centered on lot lines unless otherwise shown. All 14 foot utility easements shown extend 7 feet on each side of a common lot line unless otherwise indicated.
- With respect to recorded instruments within this plat, surveyor relied on City Planning Letter issued by the representative Title Company.
- All coordinates shown are grid based on the Texas Coordinate System of 1983, South Central Zone, and may be converted to surface by dividing by the combined scale factor of 1.00010195040.
- All bearings are based on the Texas Coordinate System of 1983, South Central Zone, based upon GPS observations.
- A minimum of ten (10) feet shall be provided between sides of residential dwellings.
- New development within the subdivision plat shall obtain a storm water quality permit before the issuance of any development permits.
- Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public utilities may put said wooden posts and paneled wooden fences back up, but generally will not replace with new fencing.
- Structures built on lots in the designated flood plain shall be elevated to two (2) feet or more above the 500-year floodplain elevation, in the 100-year floodplain. Within the 500-year, these structures must be elevated to one (1) foot above the 500-year floodplain level. No development permits will be issued in a Flood Hazard Area below the base flood elevation (B.F.E.) Contact the County Engineer's office for specific information.
- No structure in this subdivision shall be occupied until connected to a public sewer system.
- No structure in this subdivision shall be occupied until connected to an individual water supply or a state - approved community water system.
- This tract lies within Zone "AE" with defined BFE, Zone "A" with no defined BFE, Unshaded Zone "X" and Shaded Zone "X" of the Flood Insurance Rate Map, Community NO. 480640, Map Number 48473C0375E, Panel 0375, suffix "E" dated February 18, 2009 and revised under LQMR 19-06-1115P dated April 27, 2020 for Waller County, Texas and incorporated areas. Zone "AE"; is defined as special flood hazard areas subject to inundation by the 1% annual chance flood event (100-year flood) with Base Flood Elevations determined. Unshaded Zone "X"; is defined as areas determined to be outside the 0.2% annual chance floodplain. Shaded Zone "X"; is defined as areas of the 0.2% annual chance flood (500-year flood); areas of 1% annual chance flood (100-year flood) with average depths of less than one foot or with drainage areas less than one square mile. Zone "A" is defined as special flood hazard areas subject to inundation by the 1% annual chance flood, with no base flood elevation determined.
- Unless otherwise indicated, the building line (B.L.), whether one or more, shown on this subdivision plat are established to evidence compliance with the applicable provisions of Chapter 42, Code of Ordinances, City of Houston, Texas, in effect at the time this plat was approved, which may be amended from time to time.
- Single Family Residential shall mean the use of a lot with one building designed for and containing no more than two separate units with facilities for living, sleeping cooking and eating therein. A lot upon which is located a free-standing building containing one dwelling unit and a detached secondary dwelling unit of no more than 900 square feet also shall be considered single family residential. A building that contains one dwelling unit on one lot that is connected by a party wall to another building containing one dwelling unit on an adjacent lot shall be single family residential.
- Each lot shall provide a minimum of two off-street parking spaces per dwelling unit on each lot. In those instances where a secondary unit is provided only one additional space shall be provided.
- Right-of-way easements for widening streets or improving drainage shall be maintained by the landowner until all street or drainage improvements are actually constructed on the property. The county has the right at any time to take possession of any street widening easement for construction, improvement or maintenance.
- The building of all streets, bridges or culverts is the responsibility of the owners in accordance with the plans prescribed by the Commissioners Court. The Commissioners Court assumes no obligation to build or maintain any of the streets shown on the plat or constructing any of the bridges or drainage improvements. Upon completion of all obligations by the developer and written approval from the Commissioners Court, the County will assume full responsibility for maintenance of the public streets. The county will assume no responsibility for the drainage ways or easements in the subdivision, other than those draining or protecting the streets. The county assumes no responsibility for the accuracy of representations by other parties on the plat. Flood plain data, in particular, may change depending on subsequent development. The owners of land covered by this plat must install at their own expense all traffic control devices and signage that may be required before the streets in the subdivision have finally been accepted for maintenance by the county. The property subdivided herein is further restricted in its use as specified under the terms and conditions of restrictions filed separately. A copy of said restrictions will be furnished by aforesaid KB Home Lone Star Inc., A Texas Corporation, to the purchaser of each and every lot in the subdivision prior to culmination of each sale include certification that the subdivider has complied with the requirements of section 232.032 and that:
 - (a) the water quality and connections to the lots meet, or will meet, the minimum state standards;
 - (b) sewer connections to the lots or septic tanks meet, or will meet, the minimum requirements of state standards;
 - (c) electrical connections provided to the lot meet, or will meet, the minimum state standards; and
 - (d) gas connections, if available, provided to the lot meet, or will meet, the minimum state standards.
- Project site is within City of Houston ETJ.
- There are no pipeline easements within the platted area.
- TBM "2081855" being a cut square in the north curb of the south lane of Stockdick Road being +/- 463' East of the intersection of Stockdick Road and Bartlett Road, being +/- 119' east of a Storm Sewer Manhole, and being +/- 34' North of a Sanitary Manhole. Elevation = 163.71'
- Tract is subject to Grant of Easement and Surface Use Agreement recorded under C.C.F. No. 2011586, O.P.R.W.C.T. and C.C.F. No. RP-2020-565105, O.P.R.R.P.H.C.T.
- Tract is subject to Surface Waiver Agreement recorded under C.C.F. No. 2203245, O.P.R.W.C.T., and C.C.F. No. RP-2022-140209, O.P.R.R.P.H.C.T.
- All lots shall have adequate wastewater collection services.
- Areas identified as compensating open space shall be restricted for the use of owners of property in and residents of the subdivision. Areas identified as compensating open space shall be owned, managed and maintained under a binding agreement among the owners of the property in the subdivision.
- Tract is subject to Grant of Telecommunications Easement recorded under C.C.F. No. 2213359, O.P.R.W.C.T.
- Tract is subject to Sanitary Sewer Easement recorded under C.C.F. No. 2300313, O.P.R.W.C.T.
- Tract is Subject to Detention Facilities Maintenance Agreement recorded under C.C.F. No. 2200989, O.P.R.W.C.T.

K:\16537\16537-0102-00 Sunterra Section 48 WSD&P\2 Design Phase\Planning\new Plat Sunterra Sec 48.dwg Dec 07, 2023 - 11:29am cjs

DATE: JULY 2023	FINAL PLAT OF SUNTERRA SEC 48	OWNER/DEVELOPER: KB Home Lone Star, Inc. A Texas Corporation 11314 Richmond Ave. HOUSTON, TEXAS 77082 (281) 668-3872 dgallo@kbhome.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 2322 West Grand Pkwy North, Suite 150 • Katy, TX 77401 • 832.913.4000 Cjarnik@quiddity.com
SCALE NTS			
SHEET 1C OF 1			

Curve Table						
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C1	25.00'	90°00'00"	39.27'	S50°51'26"W	35.36'	25.00'
C2	25.00'	90°00'00"	39.27'	S39°08'34"E	35.36'	25.00'
C3	30.00'	90°00'00"	47.12'	S47°20'45"E	42.43'	30.00'
C4	25.00'	86°01'22"	37.53'	N44°38'34"E	34.11'	23.32'
C5	125.00'	3°58'38"	8.68'	S00°21'26"E	8.68'	4.34'
C6	25.00'	90°00'00"	39.27'	N47°20'45"W	35.36'	25.00'
C7	25.00'	90°00'00"	39.27'	N42°39'15"E	35.36'	25.00'
C8	150.00'	3°58'38"	10.41'	N00°21'26"W	10.41'	5.21'
C9	50.00'	81°39'56"	71.27'	N43°10'43"W	65.39'	43.21'
C10	310.00'	54°32'27"	295.09'	N68°43'06"E	284.08'	159.80'
C11	100.00'	84°22'57"	147.28'	N44°32'13"W	134.32'	90.65'
C12	300.00'	2°35'07"	13.54'	N85°26'08"W	13.54'	6.77'
C13	25.00'	81°27'55"	35.55'	N10°12'37"E	32.63'	21.53'
C14	25.00'	62°10'03"	27.13'	S78°53'06"W	25.81'	15.07'
C15	25.00'	45°09'37"	19.70'	S73°24'31"W	19.20'	10.40'
C16	50.00'	164°57'02"	143.95'	S46°41'47"E	99.14'	378.53'
C17	25.00'	38°07'30"	16.64'	N16°43'00"E	16.33'	8.64'
C18	25.00'	90°00'00"	39.27'	N47°20'45"W	35.36'	25.00'
C19	30.00'	90°00'00"	47.12'	S42°39'15"W	42.43'	30.00'

K:\16537\16537-0102-00 Sunterra Section 48 WSD&P\2 Design Phase\Planning\new Plat Sunterra Sec 48.dwg Dec 07, 2023 - 11:30am cjs

DATE: JULY 2023	FINAL PLAT OF SUNTERRA SEC 48	OWNER/DEVELOPER: KB Home Lone Star, Inc. A Texas Corporation 11314 Richmond Ave. HOUSTON, TEXAS 77082 (281) 668-3872 dgallo@kbhome.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 2322 West Grand Pkwy North, Suite 150 • Katy, TX 77401 • 832.913.4000 Cjarnik@quiddity.com</small>
SCALE NTS			
SHEET 1D OF 1			

Line Table		
Line	Bearing	Distance
L1	N87°39'15"E	170.00'
L2	S86°43'42"E	248.23'
L3	S05°51'26"W	98.76'
L4	S05°51'26"W	50.00'
L5	S05°51'26"W	100.91'
L6	N82°12'15"W	30.01'
L7	S50°54'58"W	32.40'
L8	S64°51'37"W	104.82'
L9	S75°56'50"W	52.66'
L10	S82°28'07"W	52.45'
L11	S88°59'15"W	52.62'
L12	N85°41'35"W	47.67'
L13	N87°39'15"E	97.48'
L14	S88°22'07"E	50.00'
L15	S02°20'45"E	21.85'
L16	N87°39'15"E	120.00'
L17	S84°01'17"E	102.53'
L18	N86°18'11"E	76.32'
L19	N74°33'18"E	153.92'
L20	N02°20'45"W	85.43'

Line Table		
Line	Bearing	Distance
L21	N02°20'45"W	50.00'
L22	N02°20'45"W	156.40'
L23	N87°39'15"E	177.00'
L24	N02°20'45"W	379.74'
L25	N42°13'47"E	8.42'
L26	N84°00'41"W	224.70'
L27	N86°43'42"W	195.53'
L28	S84°08'34"E	48.32'
L29	N02°20'45"W	358.68'
L30	N87°39'15"E	50.00'
L31	N02°20'45"W	120.58'
L32	S05°51'26"W	113.94'
L33	N49°33'52"E	14.46'
L34	N05°59'19"E	128.39'
L35	N05°59'19"E	128.99'
L36	N02°20'45"W	477.74'
L37	S42°39'15"W	14.14'
L38	N87°39'15"E	114.91'
L39	N02°20'45"W	121.27'

[A] RESTRICTED RESERVE "A"
Restricted to
Compensating Open Space
& Incidental Utility
Purposes Only
0.14 AC
6,197 SQ FT

[B] RESTRICTED RESERVE "B"
Restricted to
Landscape/Open Space, &
Incidental Utility
Purposes Only
0.07 AC
3,217 SQ FT

[C] RESTRICTED RESERVE "C"
Restricted to
Landscape/Open Space
& Incidental Utility
Purposes Only
0.33 AC
14,165 SQ FT

[D] RESTRICTED RESERVE "D"
Restricted to
Landscape/Open Space
& Incidental Utility
Purposes Only
0.06 AC
2,432 SQ FT

RESERVE TOTALS
0.60 AC
26,011 SQ FT

DATE: JULY 2023

SCALE NTS

SHEET 1E OF 1

FINAL PLAT OF
SUNTERRA
SEC 48

OWNER/DEVELOPER:
KB Home Lone Star, Inc.
A Texas Corporation
11314 Richmond Ave.
HOUSTON, TEXAS 77082
(281) 668-3872
dgallo@kbhome.com

ENGINEER/PLANNER/SURVEYOR:



QUIDDITY

Quiddity Engineering, LLC
Texas Board of Professional Engineers and Land Surveyors
Registration Nos. F-23290 & 10046100
2322 West Grand Pkwy North, Suite 150 • Katy, TX 77401 • 832.913.4000
Cjarnik@quiddity.com

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LOT SIZES<5000 SF--SUBURBAN AREA

BLOCK NO.	LOT NO.	LOT AREA
BLOCK 1	1	4,920
	2	4,920
	3	4,920
	4	4,920
	5	4,920
	6	4,920
	7	4,920
	8	4,920
BLOCK 3	1	4,920
	2	4,920
	3	4,920
	4	4,920
	5	4,920
	6	4,920
	7	4,920
	8	4,920
TOTAL NUMBER OF LOTS<5000 SF		16
TOTAL AREA OF LOTS <5000 SF		78,720

COMPENSATING OPEN SPACE TABLE--SUBURBAN AREA

- A. TOTAL NUMBER OF LOTS<5000 SF: 16
- B. TOTAL AREA OF LOTS <5000 SF: 78,720 SF
- C. AVERAGE LOT SIZE<5000 SF (B/A): 4,920 SF
- D. COMPENSATING OPEN SPACE REQUIRED PER LOT (BASED ON C): 100.0
- E. COMPENSATING OPEN SPACE REQUIRED (A X D): 1,600 SF
- F. TOTAL AREA OF COMPENSATING OPEN SPACE PROVIDED: 6,197 SF RESERVE A

K:\16537\16537-0102-00 Sunterra Section 48 WSD&P\2 Design Phase\Planning\new Plat_Sunterra Sec 48.dwg Dec 07, 2023 - 11:30am cjs

DATE: JULY 2023

SCALE NTS


SHEET 1F OF 1

FINAL PLAT OF
SUNTERRA
SEC 48

OWNER/DEVELOPER:

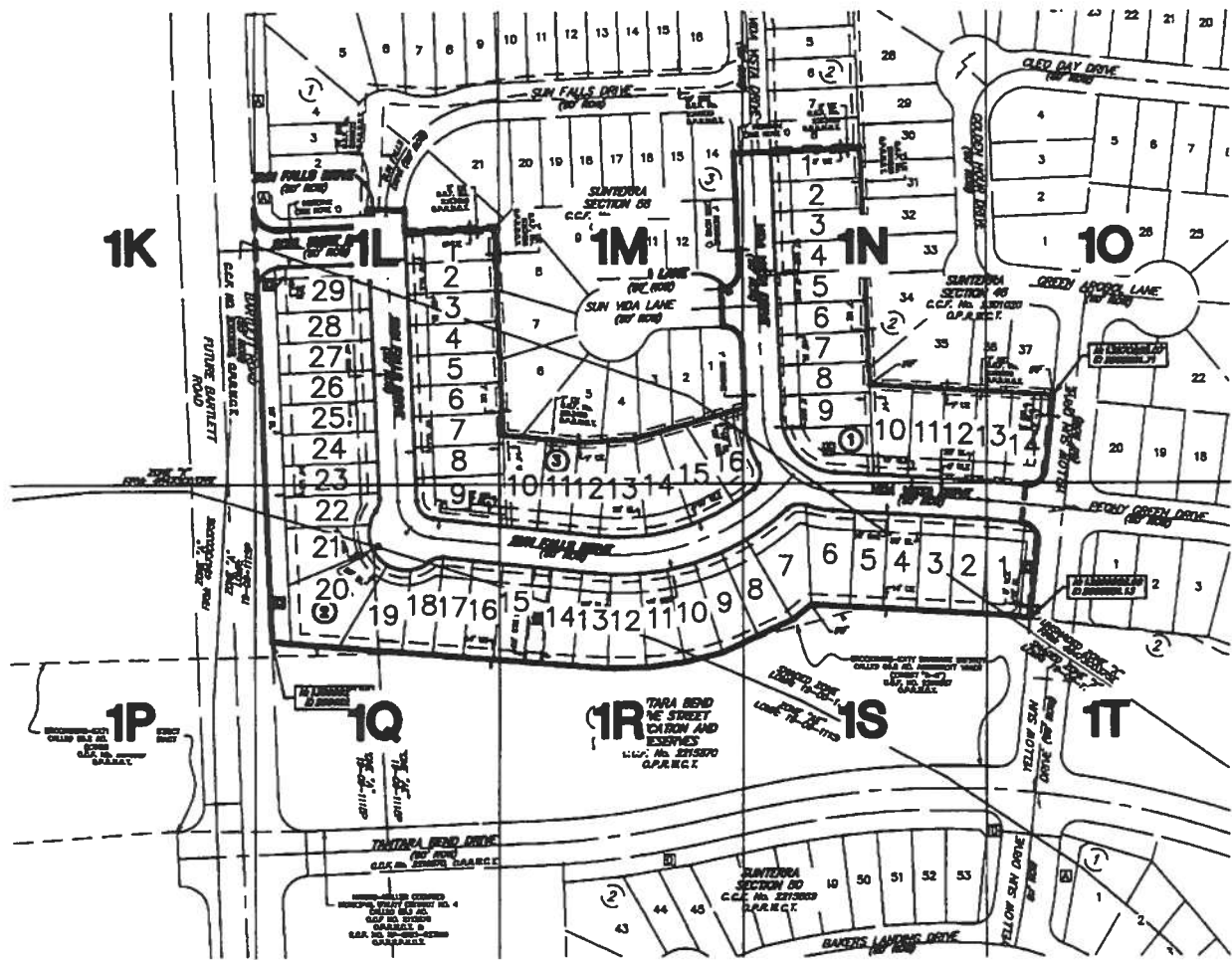
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2322 West Grand Pkwy North, Suite 150 • Katy, TX 77401 • 832.913.4000
CJamnik@quiddity.com



SCALE: 1" = 100'

DATE: JULY 2023

SCALE 1" = 250'

SHEET 1G OF 1

FINAL PLAT OF
SUNTERRA
SEC 48

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CJamnik@quiddity.com

Certificate of Surveyor

This is to certify that I, Chris D. Kalkomey, a Registered Professional Land Surveyor of the State of Texas, have platted the above subdivision from an actual survey on the ground; and that all block corners, lot corners and permanent referenced monuments have been set, that permanent control points will be set at completion of construction and that this plat correctly represents that survey made by me.

A portion of this subdivision lies within the boundaries of any municipality's corporate city limits, or area of extra territorial jurisdiction.

A portion of this subdivision lies within the boundaries of the 1% annual chance flood plain as delineated on Waller County Community Panel #480640 of LOMR 19-06-115P dated 2/27/2020.

A portion of this subdivision lies within the boundaries of the 0.2% annual chance (500 year) floodplain as delineated on Waller County Community Panel #480640 , dated 2/18/2009



[Signature]
Chris D. Kalkomey
Registered Professional Land Surveyor
Texas Registration No. 5869

BROOKSHIRE-KATY DRAINAGE DISTRICT PERMIT NO. 2022-63 REVISED

APPROVED BY THE BOARD OF SUPERVISORS ON

6.26.23
DATE
[Signature]
PRESIDENT
[Signature]
SECRETARY
[Signature]
DISTRICT ENGINEER

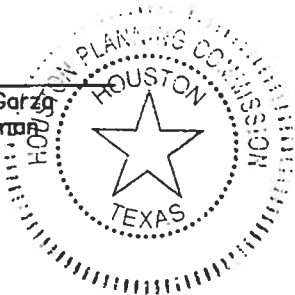
THE ABOVE HAVE SIGNED THESE PLANS AND/OR PLAT BASED ON THE RECOMMENDATION OF THE DISTRICT'S ENGINEER WHO HAS REVIEWED ALL SHEETS PROVIDED AND FOUND THEM TO BE IN GENERAL COMPLIANCE WITH THE DISTRICT'S "RULES, REGULATIONS, AND GUIDELINES". THIS APPROVAL IS ONLY VALID FOR THREE HUNDRED SIXTY-FIVE (365) CALENDAR DAYS. AFTER THAT TIME RE-APPROVAL IS REQUIRED. PLEASE NOTE, THIS DOES NOT NECESSARILY MEAN THAT ALL THE CALCULATIONS PROVIDED IN THESE PLANS AND/OR PLATS HAVE BEEN COMPLETELY CHECKED AND VERIFIED. PLANS SUBMITTED HAVE BEEN PREPARED, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE ENGINEERING IN THE STATE OF TEXAS AND PLAT HAS BEEN SIGNED AND SEALED BY A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE OF TEXAS, WHICH CONVEYS THE ENGINEER'S AND/OR SURVEYOR'S RESPONSIBILITY AND ACCOUNTABILITY.

This is to certify that the Planning Commission of the City of Houston, Texas, has approved this plat and subdivision of Sunterra Section 48 in conformance with the laws of the State of Texas and the ordinances of the City of Houston, as shown hereon, and authorized the recording of this plat this 29 day of NOVEMBER, 2023.

By: *[Signature]*
Martha L. Stein or
Chair

M. Sonny Garza
Vice Chairman

By: *[Signature]*
Margaret Wallace Brown, AICP, CNU-A
Secretary



DATE: JULY 2023

SCALE NTS

SHEET 1H OF 1

FINAL PLAT OF
SUNTERRA
SEC 48

OWNER/DEVELOPER:
KB Home Lone Star, Inc.
A Texas Corporation
11314 Richmond Ave.
HOUSTON, TEXAS 77082
(281) 668-3872
dgallo@kbhome.com

ENGINEER/PLANNER/SURVEYOR:
 JONES CARTER
Texas Board of Professional Engineers Registration No. 1-439
Texas Board of Professional Land Surveying Registration No. 120461-04
6330 West Loop South, Suite 150 - Bellaire, TX 77401 - 713 777 5337
Swinter@jonescarter.com

5

6

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional eleven feet, six inches (11' 6") for ten feet (10' 0") perimeter ground easements or seven feet, six inches (7' 6") for fourteen feet (14' 0") perimeter ground easements or five feet, six inches (5' 6") for sixteen feet (16' 0") perimeter ground easements, from a plane sixteen feet (16' 0") above the ground level upward, located adjacent to and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals twenty one feet, six inches (21' 6") in width.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional ten feet (10' 0") for ten feet (10' 0") back-to-back ground easements, or eight feet (8' 0") for fourteen feet (14' 0") back-to-back ground easements or seven feet (7' 0") for sixteen feet (16' 0") back-to-back ground easements, from a plane sixteen feet (16' 0") above ground level upward, located adjacent to both sides and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals thirty feet (30' 0") in width.

FURTHER, we do hereby certify that we are the owners of all property immediately adjacent to and adjoining the boundaries of the above and foregoing subdivision Sunterra where public utility easements are to be established outside the boundaries of the above and foregoing subdivision and to hereby make and establish and dedicated to the use of the public utilities forever all public utility easements shown in said adjacent acreage.

FURTHER, Owners do hereby declare that all parcels of land designated as lots on this plat are originally intended for the construction of single family residential dwelling units thereon (or the placement of mobile home subdivision) and shall be restricted for same under the terms and conditions of such restrictions filed separately.

FURTHER, all of the property subdivided in the above and foregoing plat shall be restricted in its use, which restrictions shall run with the title to the property and shall be enforceable at the option of Waller County, by Waller County, or any citizen thereof, by injunction as follows:

1. That drainage of septic tanks into roads, streets, alleys or public ditches, streams, ect., either directly or indirectly is strictly prohibited.
2. All stock animals, horses and fowl, shall be fenced in and not allowed to run at large in the subdivision.
3. Drainage structures under private drives shall have a net drainage opening area of sufficient size to permit the free flow of water without backwater and shall be a minimum of one and three quarters (1-1/4) square feet (15" diameter pipe) reinforced concrete pipe, unless specified by the County Road Administrator or County Engineer. Culverts and bridges must be used for all driveway and/or walks, although dip-style driveways are encouraged where appropriate.
4. Property owners will obtain Development Permits/Permit Exemptions from the County Flood Plain Administrator for all development.
5. There are no underground pipelines within the confines of the subdivision except as shown on the plat.
6. There shall be no sanitary sewer systems or any water well constructed within 50 feet of any lot line that does not adjoin with a public road.

IN TESTIMONY WHEREOF, the KB Home Lone Star, Inc., A Texas Corporation has caused these presents to be signed by Ryan Hawkins, Director of Land Development and attested by Mark Eubanks, Vice President of Finance, thereunto, this 15th day of August, 2023.

KB Home Lone Star, Inc.
A Texas Corporation

By: KB Home Lane Star, Inc.
A Texas Corporation,
Its General Partner

Ryan Hawkins
Director of Land Development

Mark Eubanks
Vice President of Finance

50

3

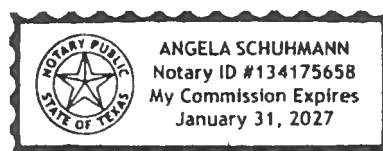
BEFORE ME, the undersigned authority, on this day personally appeared Ryan Hawkings, Director of Land Development and Mark Eubanks, Vice President of Finance are known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 15 day of August, 2023.

Notary Public in and for the State of Texas

Angela Schumann
Print Name

My commission expires:




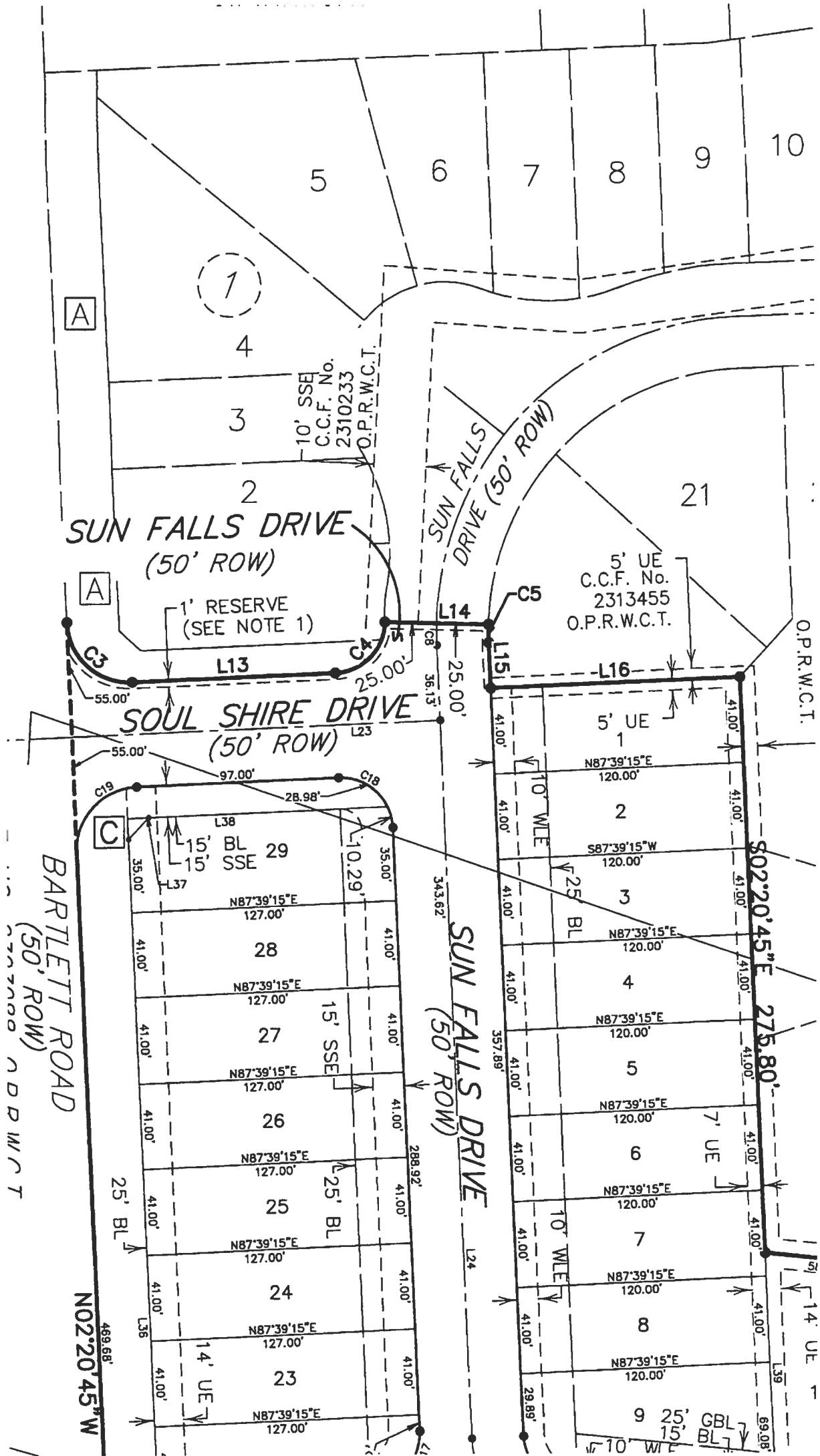
DATE: JULY 2023	<p>FINAL PLAT OF SUNTERRA SEC 48</p>	<p>OWNER/DEVELOPER: KB Home Lone Star, Inc. A Texas Corporation 11314 Richmond Ave. HOUSTON, TEXAS 77062 (281) 668-3872 dgallo@kbhome.com</p>	<p>ENGINEER/PLANNER/SURVEYOR:</p> <p> JONES CARTER</p> <p><small>Texas Board of Professional Engineers Registration No. 7439 Texas Board of Professional Land Surveyors Registration No. 226451-04 4110 West Loop South, Suite 250 • Dallas, TX 75241 • (214) 772-5337</small></p> <p>Swinter@jonescarter.com</p>
SCALE NTS			
SHEET 11 OF 1			

DATE: JULY 2023	<p align="center">FINAL PLAT OF SUNTERRA SEC 48</p>	<p>OWNER/DEVELOPER: KB Home Lone Star, Inc. A Texas Corporation 11314 Richmond Ave. HOUSTON, TEXAS 77082 (281) 668-3872 dgallo@kbhome.com</p>	<p>ENGINEER/PLANNER/SURVEYOR:</p> <div style="display: flex; align-items: center;"> <div> <p align="center">QUIDDITY</p> <p align="center">Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 2322 West Grand Pkwy North, Suite 150 • Katy, TX 77401 • 832.913.4000 Cjamnik@quiddity.com</p></div> </div>
SCALE NTS			
SHEET 1J OF 1			




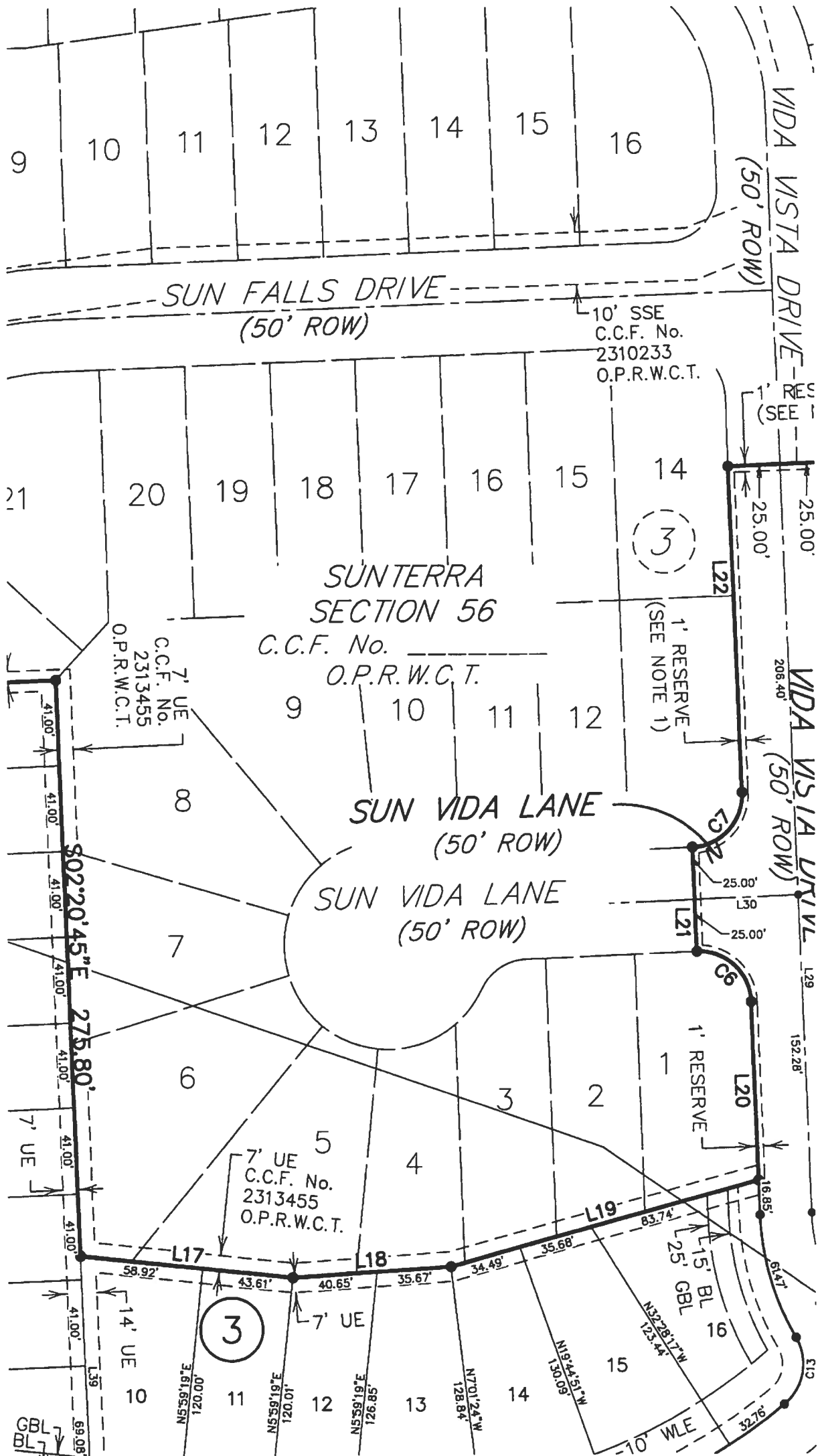
K:\16537\16537-0102-00 Sunterra Section 48 WSD&P\2 Design Phase\Planning\new Plat_Sunterra_Sec 48.dwg Dec 07, 2023 -- 12:04pm c/s

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SCALE 1"=60'			
SHEET 1K OF 1			



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SCALE 1"=60'			
SHEET 1L OF 1			



DATE: JULY 2023

SCALE 1"=80'

SHEET 1M OF 1

FINAL PLAT OF
SUNTERRA
SEC 48

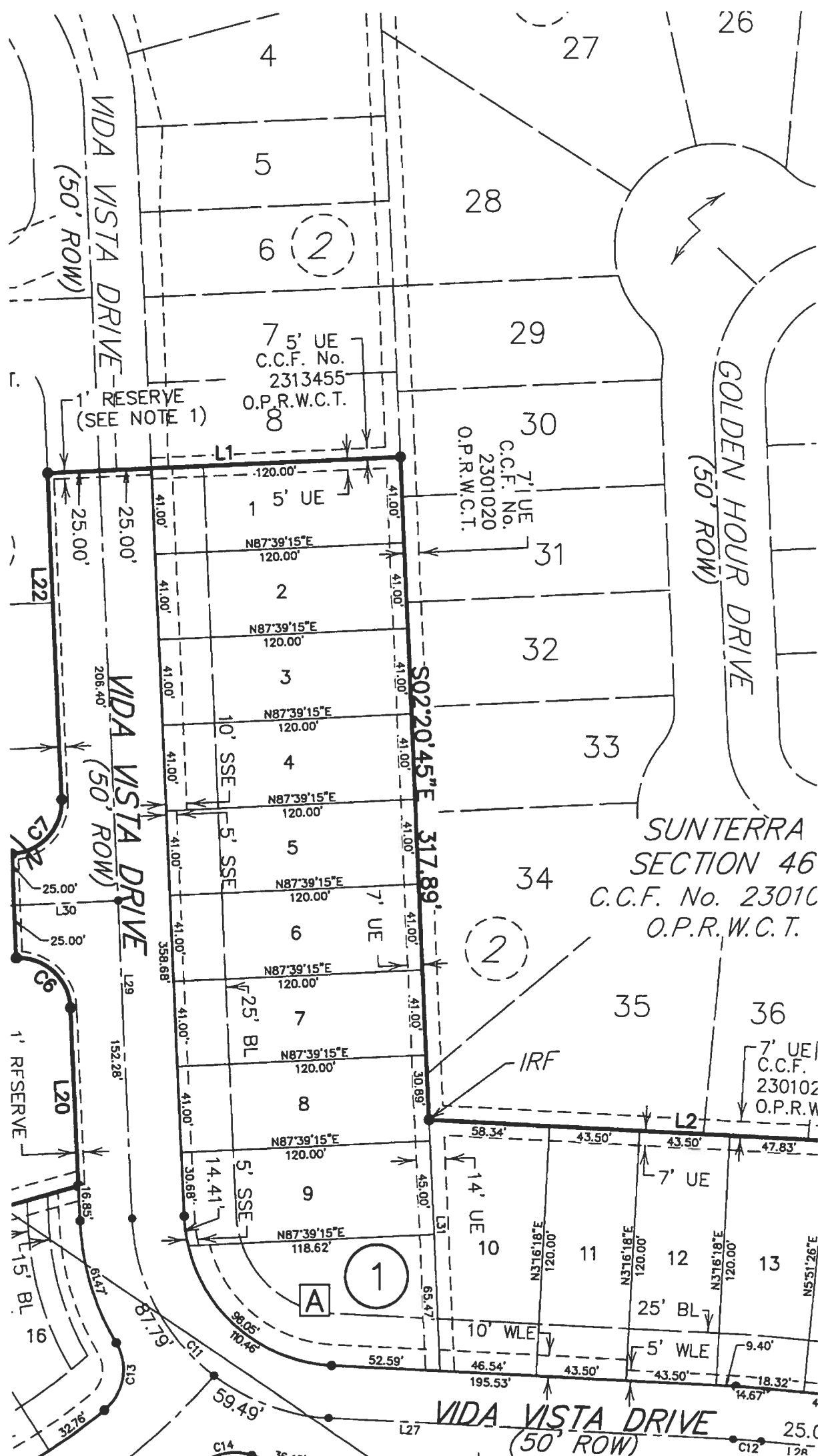
OWNER/DEVELOPER:
KB Home Lone Star, Inc.
A Texas Corporation
11314 Richmond Ave.
HOUSTON, TEXAS 77082
(281) 668-3872
dgallo@kbhome.com

ENGINEER/PLANNER/SURVEYOR:



QUIDDITY

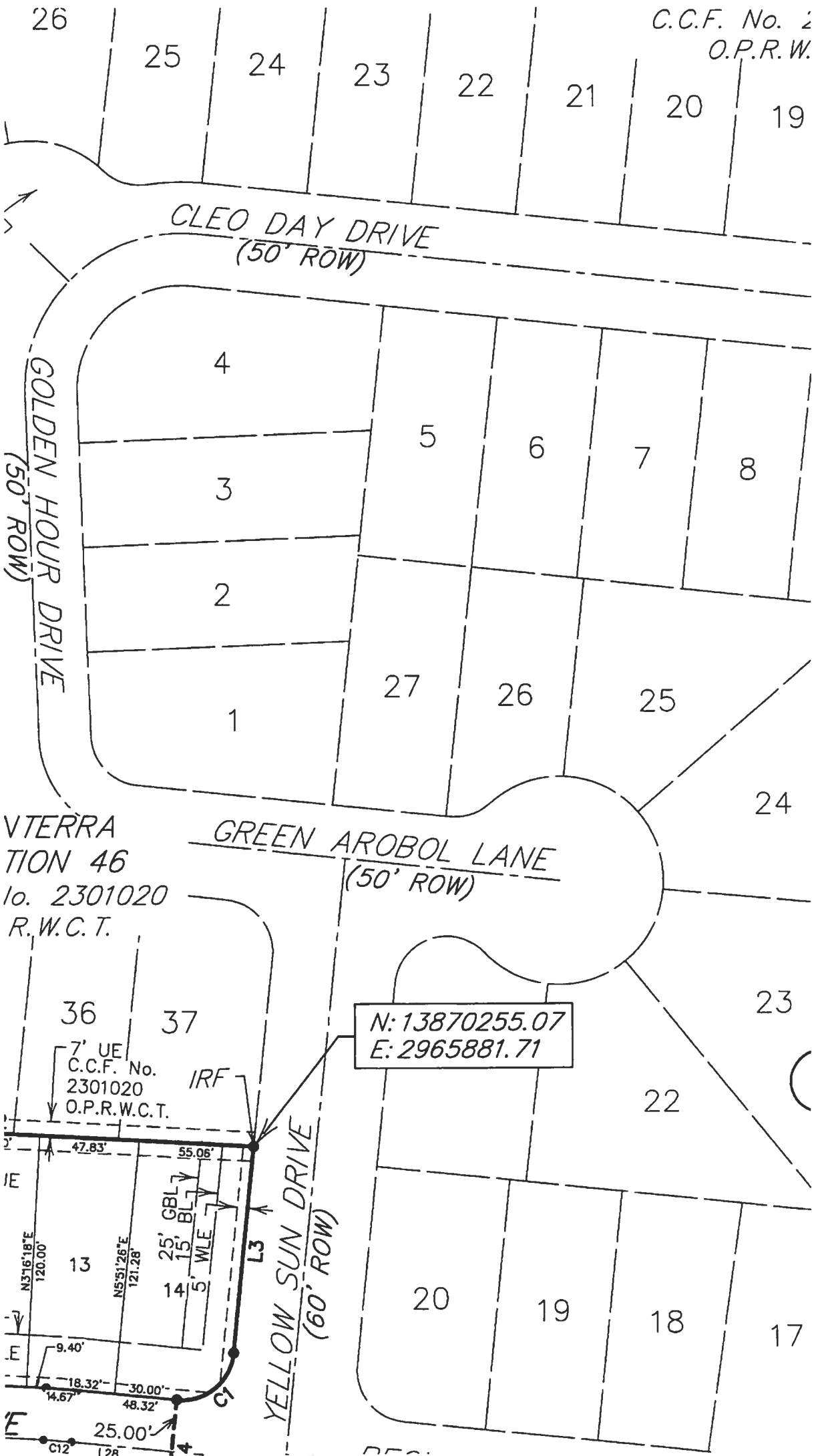
Quiddity Engineering, LLC
Texas Board of Professional Engineers and Land Surveyors
Registration Nos. F-23290 & 10046100
2322 West Grand Pkwy North, Suite 150 • Katy, TX 77401 • 832.913.4000
Cjamnik@quiddity.com



SHEET 1N OF 1

OWNER/DEVELOPER:
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dgallo@kbhome.com

Quiddity Engineering, LLC
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2322 West Grand Pkwy North, Suite 150 • Katy, TX 77401 • 832.913.4000
Cjarnik@quiddity.com



DATE: JULY 2023

SCALE 1"=60'

SHEET 10 OF 1

FINAL PLAT OF
SUNTERRA
SEC 48

OWNER/DEVELOPER:
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2322 West Grand Pkwy North, Suite 150 • Katy, TX 77401 • 832.913.4000

Cjarnik@quiddity.com

ZONE "X"
FIRM: 48473C0375E

ZONE "A"
FIRM: 48473C0375E

ZONE "A"
LOMR:
19-06-1115P

59.68'
20'45"W 579.68'

BROOKSHIRE-KATY DRAINAGE DISTRICT
CALLED 86.2 AC. AGREEMENT TRACT
(EXHIBIT "A-2")
C.C.F. NO. 2200987
O.P.R.W.C.T.

DATE: JULY 2023

SCALE 1"=60'

SHEET 1P OF 1

FINAL PLAT OF
SUNTERRA
SEC 48

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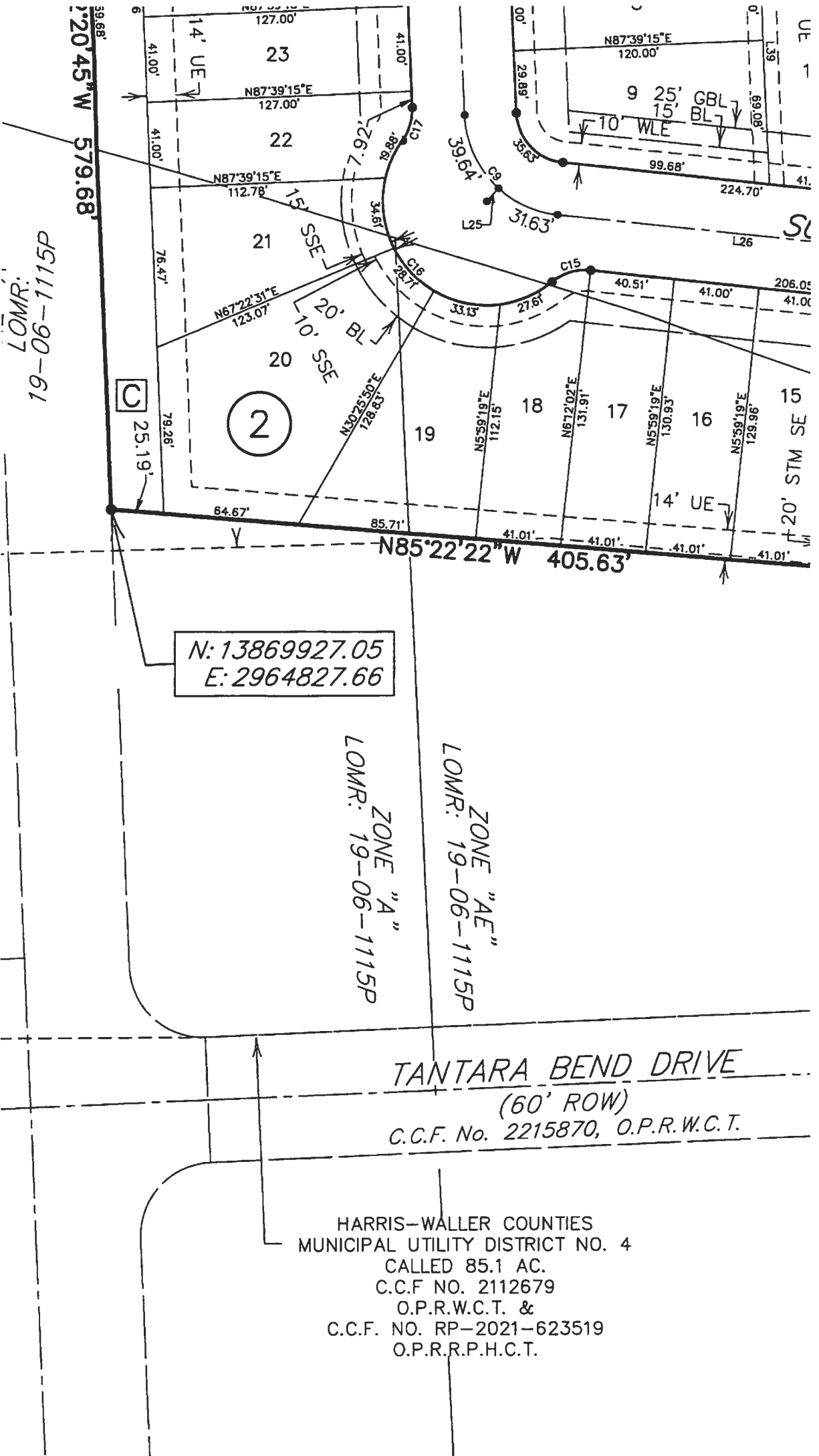
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DATE: JULY 2023

SCALE 1"=80'

SHEET 1Q OF 1

FINAL PLAT OF
SUNTERRA
SEC 48

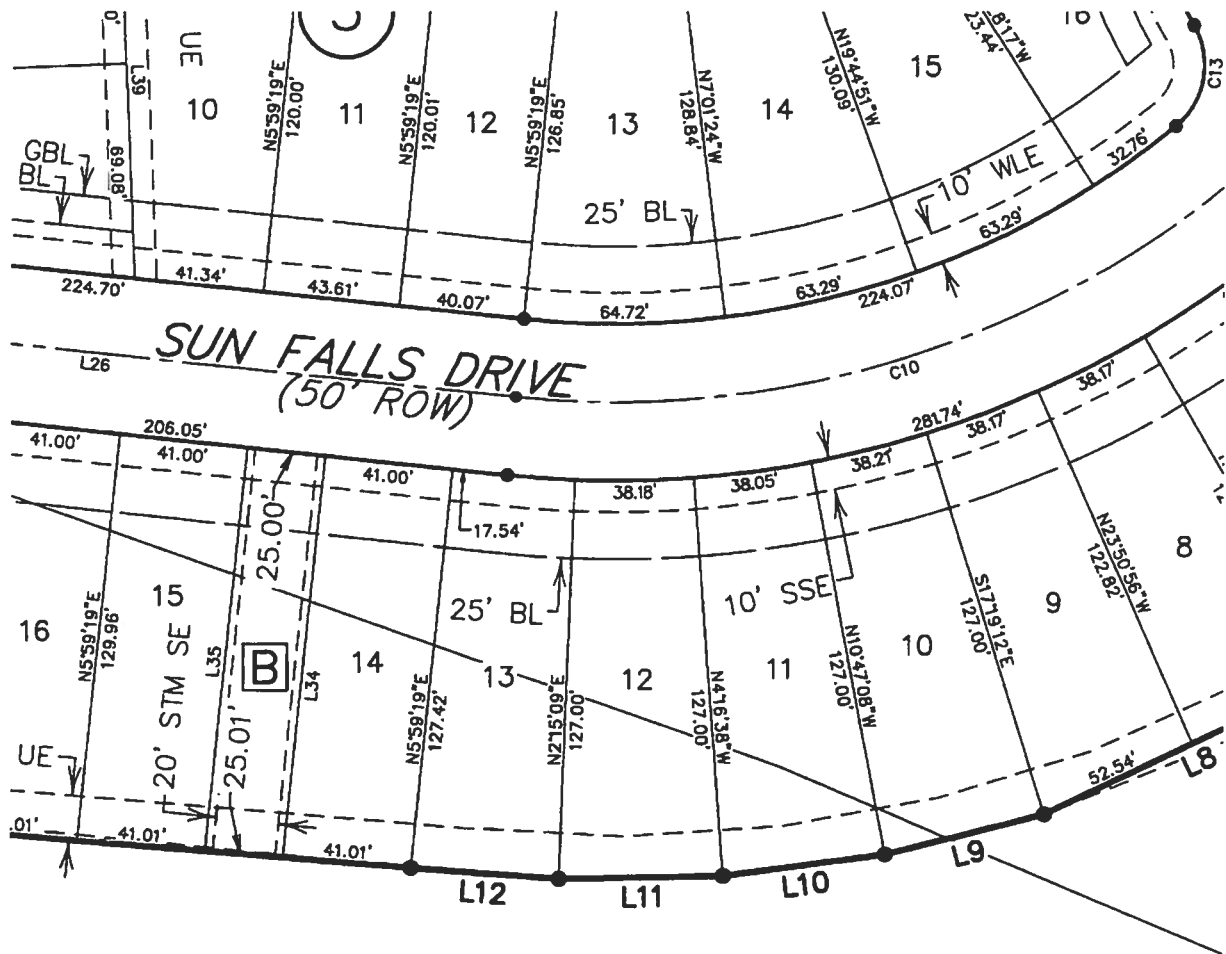
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HOUSTON, TEXAS 77082
(281) 668-3872
dgallo@kbhome.com

ENGINEER/PLANNER/SURVEYOR:



QUIDDITY

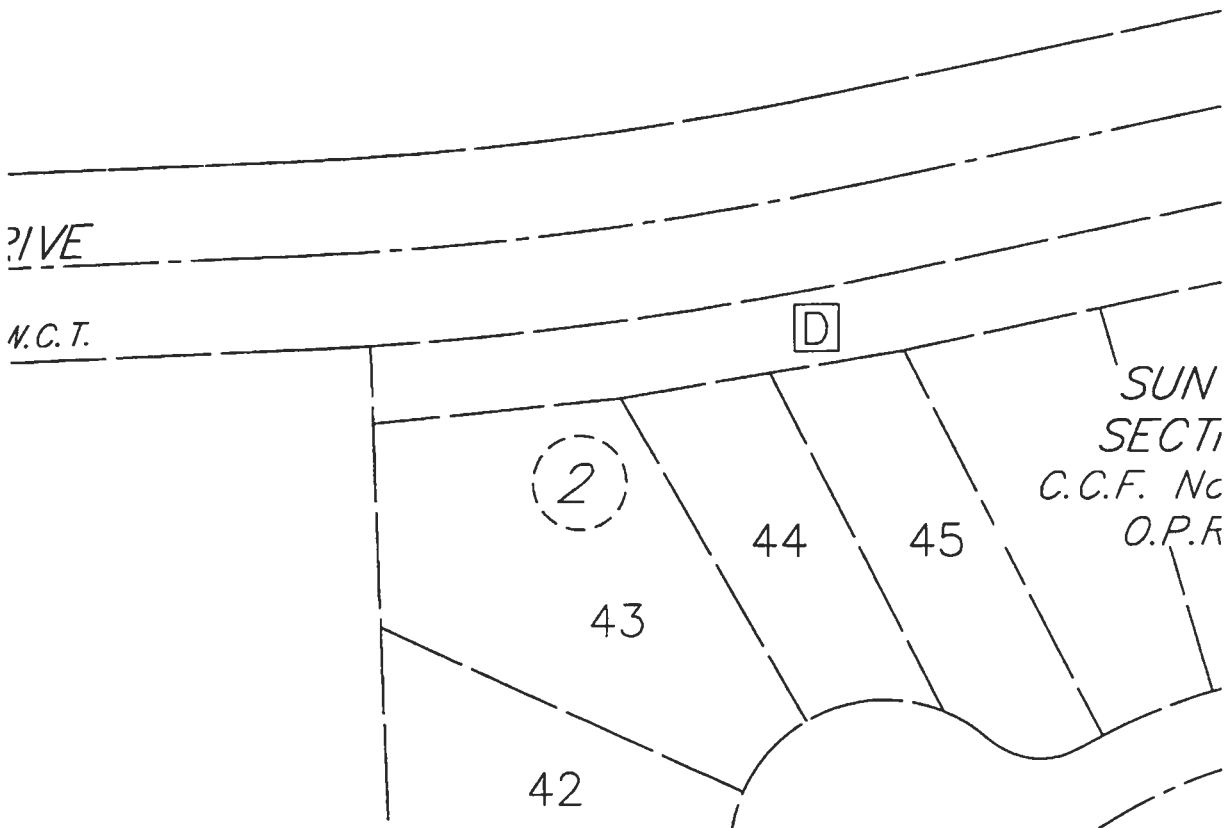
Quiddity Engineering, LLC
Texas Board of Professional Engineers and Land Surveyors
Registration Nos. F-23290 & 10046100
2322 West Grand Pkwy North, Suite 150 • Katy, TX 77401 • 832.913.4000
Cjarnik@quiddity.com



1

A

TANTARA BEND
DRIVE STREET
DEDICATION AND
RESERVES
C.C.F. No. 2215870
O.P.R.W.C.T.



2

D

SUN
SECTION
C.C.F. No.
O.P.R.

DATE: JULY 2023

SCALE 1"=80'

SHEET 1R OF 1

FINAL PLAT OF
SUNTERRA
SEC 48

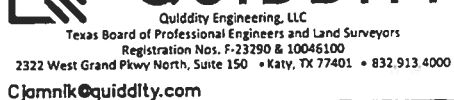
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HOUSTON, TEXAS 77082
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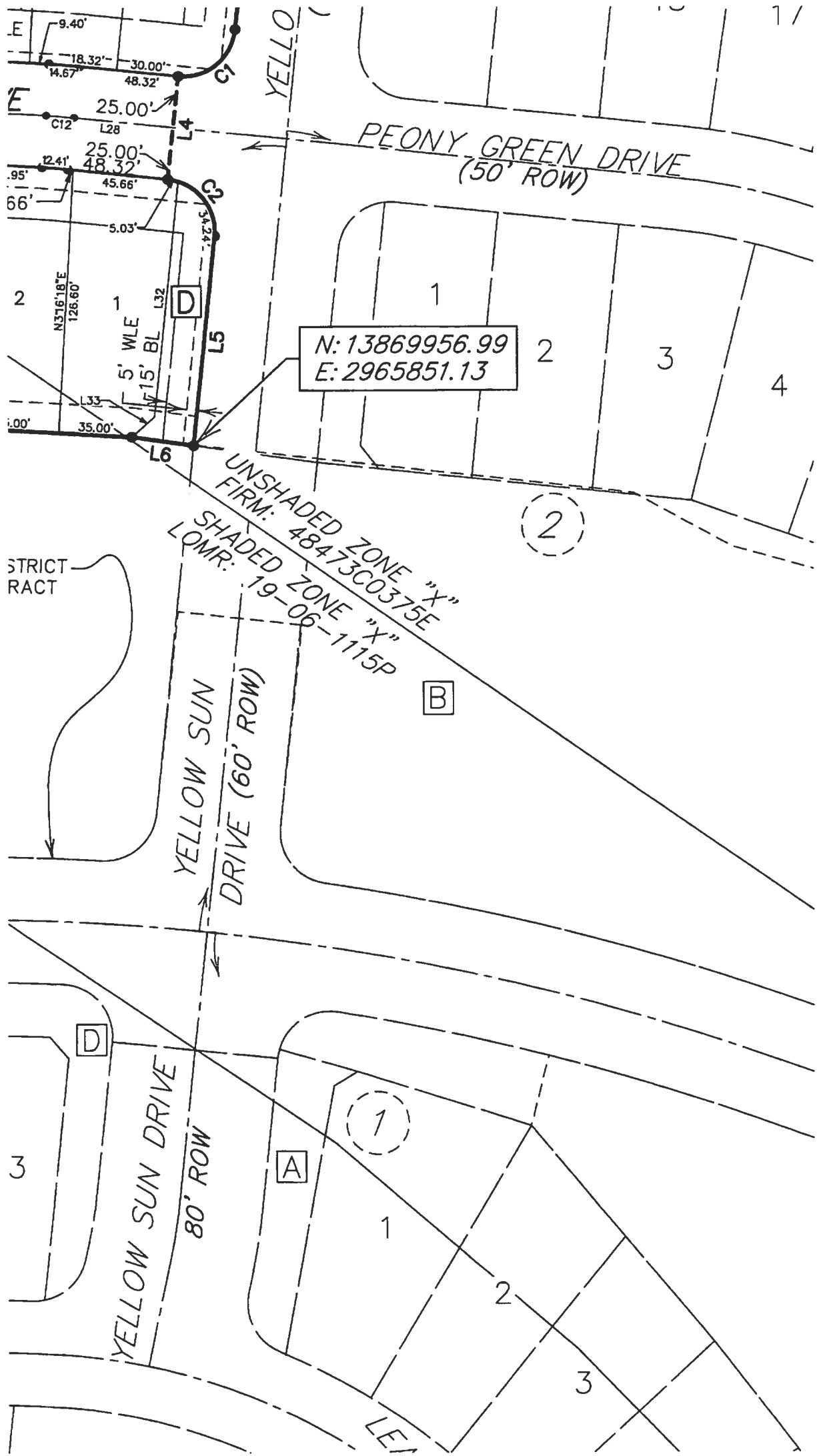
ENGINEER/PLANNER/SURVEYOR:




QUIDDITY

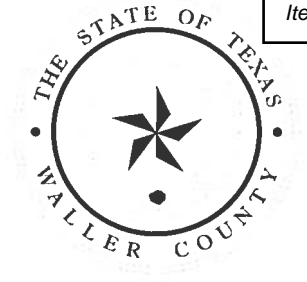
Quiddity Engineering, LLC
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CJamnik@quiddity.com





K:\16537\16537-0102-00 Sunterra Section 48 WSD&P\2 Design Phase\Planning\new Plat_Sunterra Sec 48.dwg Dec 07, 2023 - 12:09pm cjs

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SCALE 1"=80'			
SHEET 1T OF 1			



WALLER COUNTY

J. Ross McCall, P.E.
County Engineer

MEMORANDUM

To: Honorable Commissioners' Court

Item: Final Plat Approval-Bluestem Section 1

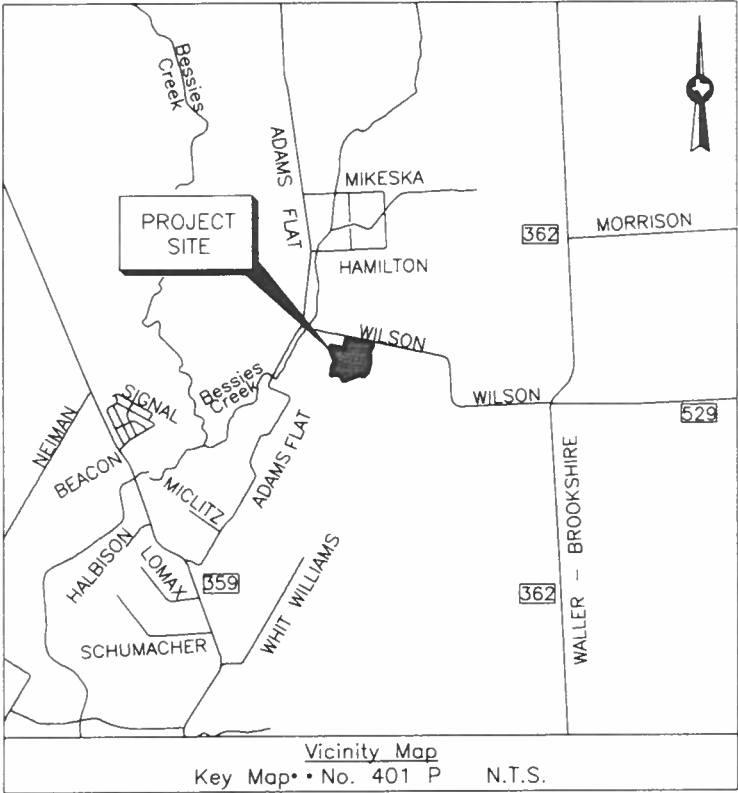
Date: January 10, 2024

Background

Final Plat of Bluestem Section 1 Subdivision which consists of 27.35 acres will include 116 Lots, 4 Blocks and 4 Reserves in Precinct 3.

Staff Recommendation

Approve Plat and accept Construction Bond




FINAL PLAT OF BLUESTEM SECTION 1

BEING A SUBDIVISION OF 27.35 ACRES OUT OF
THE WILLIAM B. ELLIS SURVEY, A-127,
WALLER COUNTY, TEXAS.

116 LOTS 4 BLOCKS 4 RESERVES

OWNER

HOU-BLUESTEM 17, LLC,
A TEXAS LIMITED LIABILITY COMPANY
13141 NORTHWEST FREEWAY,
HOUSTON, TEXAS 77040
(281) 671-9000

December, 2023	OWNER: HOU-BLUESTEM 17, LLC, A TEXAS LIMITED LIABILITY COMPANY	FINAL PLAT OF BLUESTEM SECTION 1	 ENGINEERING THE FUTURE SINCE 1936	10011 MEADOWGLEN LN HOUSTON, TEXAS 77042 713-784-4500 EHRA.TEAM TBPE No. F-726 TBPELS No. 10092300
SHEET 1 OF 19				

STATE OF TEXAS §
COUNTY OF WALLER §

We, HOU–Bluestem 17, LLC, a Texas limited liability company owner (or owners) of the property subdivided in the above map of the Bluestem Section 1, make subdivision of the property, according to the lines, streets, lots, alleys, parks, building lines and easement as shown, and dedicate to the public, the streets, alleys, parks and easements shown, forever, and waive all claims for damages occasioned by the establishment of grades, as approved for the streets and drainage easements indicated, or occasioned by the alteration of the surface, or any portion of the streets or drainage easements to conform to the grades, and bind ourselves, our heirs, successors and assigns, to warrant and defend the title to the land so dedicated.

We, the aforementioned, hereby dedicate to the public all easements and roads shown thereon. There is also dedicated for utilities, an aerial easement five (5) feet wide taken from a plane twenty (20) feet above ground, located adjacent to all utility easements and streets shown thereon.

FURTHER, all of the property subdivided in the above and foregoing plat shall be restricted in its use, which restrictions shall run with the title to the property and shall be enforceable at the option of Waller County, by Waller County, or any citizen thereof, by injunction as follows:

- 1. That drainage of septic tanks into roads, streets, alleys, or public ditches, streams, etc., either directly or indirectly is strictly prohibited.
- 2. All stock animals, horses, and fowl shall be fenced in and not allowed to run at large in the subdivision.
- 3. Drainage structures under private drives shall have a net drainage opening area of sufficient size to permit the free flow of water without backwater and shall be a minimum of one and one quarters (1–1/4) square feet (15" diameter pipe) reinforced concrete pipe, unless specified by the County Road Administrator, or County Engineer. Culverts and bridges must be used for all driveways and/or walks, although dipstyle driveways are encouraged where appropriate.
- 4. Property owners will obtain Development Permits/Permit Exemptions from the County Floodplain Administrator for all development.
- 5. The property subdivided herein is further restricted in its use as specified in the subdivision restrictions as filed separately for record at Page _____ Volume _____ of the Deed Records of Waller County, Texas. A copy of said restrictions will be furnished by the aforesaid Bluestem Development Company LLC, a Texas limited liability company, to the purchaser of each and every lot in the subdivision prior to culmination of each sale.
- 6. There are no underground pipelines within the confines of this subdivision except as shown on the above plat.
- 7. There shall be no sanitary sewer system or any water well constructed within 50 feet of any lot line that does not adjoin a public road.

WITNESS our hand in Waller County, Texas, this 13th day of December, 2023.

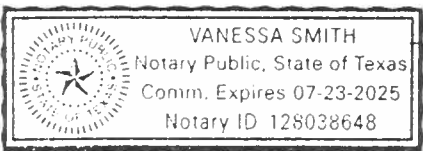
OWNER
HOU–Bluestem 17, LLC,
a Texas limited liability company

BY: *Patrick Carrigan-Smith*
Patrick Carrigan–Smith, Vice President of Land Acquisition and Development
HOU–Bluestem 17, LLC, a Texas limited liability company


STATE OF TEXAS §
COUNTY OF Harri

BEFORE ME, the undersigned authority, on this day personally appeared Patrick Carrigan–Smith, Vice President of Land Acquisition and Development of HOU–Bluestem 17, LLC, a Texas limited liability company, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed it for the purposes and considerations set forth.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 13 day of Dec., 2023




Vanessa Smith
Notary Public in and for the State of Texas
My Commission expires: 7-23-2025

December, 2023	OWNER: HOU–BLUESTEM 17, LLC, A TEXAS LIMITED LIABILITY COMPANY	FINAL PLAT OF BLUESTEM SECTION 1		10011 MEADOWGLEN LN HOUSTON, TEXAS 77042 713-784-4500 EHRA TEAM TBPE No. F-726 TBPELS No. 10092300
SHEET 2 OF 19				

I, J. Ross McCall, P.E., County Engineer of Waller County, Texas, certify that the plat of this subdivision complies with all existing rules and regulations of Waller County.

No construction or other development within this subdivision may begin until all Waller County permit requirements have been met.

1-11-24
Date


J. Ross McCall, P.E.,
County Engineer

I, Debbie Hollan, Clerk of the County Court of Waller County, Texas, do hereby certify that the within instrument with the certificate of authentication was filed for registration in my office on the _____ day of _____, 20____, A.D. at _____ o'clock _____M., in File No. _____ of the Official Public Records of Waller County for said county.

Witness my hand and seal of office, at Hempstead, the day and date last above written.

Debbie Hollan
Clerk of the County Court
Waller County, Texas

By: _____
Deputy

This is to certify that I, A. Munroe Kelsay, a Registered Professional Land Surveyor of the State of Texas, have platted the above subdivision from an actual survey on the ground; and that all block corners, lot corners and permanent referenced monuments have been set, that permanent control points will be set at completion of construction and that this plat correctly represents that survey made by me.

No Portion of this subdivision lies within the boundaries of any municipality's corporate city limits, or area of extra territorial jurisdiction.

No Portion of this subdivision lies within the boundaries of the 1% annual chance (100 year) floodplain as delineated on Waller County Community Panel No. 48473C0275E, dated February 18, 2009.

No Portion of this subdivision lies within the boundaries of the 0.2% annual chance (500 year) floodplain as delineated on Waller County Community Panel No. 48473C0275E, dated February 18, 2009.


A. Munroe Kelsay
Registered Professional Land Surveyor
Texas Registration No. 5580



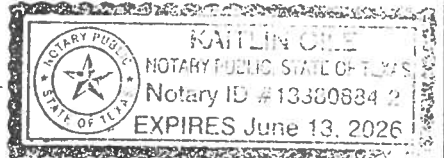
STATE OF TEXAS ☒
COUNTY OF Harris

BEFORE ME, the undersigned authority, on this day personally appeared A. Munroe Kelsay, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 13th day of December, 2023.



Kathleen Gile
Notary Public in and for the State of Texas
My Commission expires: 6/13/26



APPROVED by Commissioners Court of Waller County, Texas, this _____ day of _____, 20____ A.D.

Corbett "Trey" J. Duhon III
County Judge

John A. Amsler
Commissioner, Precinct 1

Walter E. Smith, P.E., R.P.L.S.
Commissioner, Precinct 2


Kendric D. Jones
Commissioner, Precinct 3

Justin Beckendorff
Commissioner, Precinct 4

NOTE: Acceptance of the above plat by the Commissioners Court does not signify Waller County acceptance of the dedicated roads for integration into the County Road System. The developer is required to comply with Sections 5 and 6 of the then current Waller County Subdivision and Development Regulations, in this regard.

December, 2023	OWNER: HOU-BLUESTEM 17, LLC, A TEXAS LIMITED LIABILITY COMPANY	FINAL PLAT OF BLUESTEM SECTION 1		10011 MEADOWGLEN LN HOUSTON, TEXAS 77042 713-784-4500 EHRA TEAM TBPE No. F-726 TBPELS No. 10092300
SHEET 3 OF 19				

NOTES:

- (1) B.L. indicates Building Line
C.I.P. indicates Capped Iron Pipe
FT. indicates Foot
N.T.S. indicates Not To Scale
O.P.R.W.C. indicates Official Public Records Of Waller County
P.O.B. indicates Point Of Beginning
P.O.C. indicates Point Of Commencing
PG. indicates Page
P.U.E. indicates Public Utility Easement
R= indicates Radius
R.O.W. indicates Right-Of-Way
SQ.FT. indicates Square Feet
U.E. indicates Utility Easement
VOL. indicates Volume
W.C.C.F. NO. indicates Waller County Clerk's File Number
W.C.D.R. indicates Waller County Deed Records
 indicates Street Name Change

- (2) All side lot lines are either perpendicular or radial to street frontage unless otherwise noted.
- (3) All easements extend equidistant from either side of the property and lot lines unless otherwise noted.
- (4) All bearings are Lambert grid bearings and all coordinates refer to the Texas State Plane Coordinate System, South Central Zone (#4204), as defined by article 21.071 of the Natural Resources Code of the State of Texas, 1983 Datum (2001 adjustment). Scale factor = 0.999906628611.
- (5) Bearings shown hereon refer to the Texas State Plane Coordinate System of 1983, South Central Zone, as determined by GPS measurements.
- (6) All lot corners, reserves and block corners are set 5/8" iron rods with cap stamped "E.H.R.A. 713-784-4500" unless otherwise noted.
- (7) One-foot reserve dedicated to the public in fee as a buffer separation between the side or end of streets where such streets abut adjacent property, the condition of such dedication being that when the adjacent property is subdivided or re-subdivided in a recorded subdivision plat, the one-foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the dedicator, his heirs, assigns, or successors.
- (8) There are no pipeline or pipeline easements within the boundaries of this plat.
- (9) Right-of-way easements for widening streets or improving drainage shall be maintained by the landowner until all street or drainage improvements are actually constructed on the property. The County has the right at any time to take possession of any street widening easement for construction, improvement or maintenance.
- (10) According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) for Waller County, Texas, Map No. 48473C0275E and Map No. 48473C0350E, dated February 18, 2009, the subject property appears to be within Unshaded Zone "X"; defined as areas outside the 0.2% annual chance floodplain. This flood statement does not imply that the property or structures thereon will be free from flooding or flood damage. On rare occasions floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of Edminster, Hinshaw, Russ and Associates, Inc.
- (11) The property subdivided in the foregoing plat lies in Waller County, Waller County M.U.D. No. 41 and Royal Independent School District.
- (12) A subdivision variance has been approved to allow a minimum lot width of 40' by Waller County Commissioners Court on July 28, 2021.
- (13) A subdivision variance has been approved to allow a minimum right-of-way width of 60' to 50' by Waller County Commissioners Court on July 28, 2021.
- (14) A subdivision variance has been approved to allow a cul-de-sac right-of-way radius of 50' with a corresponding 42' pavement radius by Waller County Commissioners Court on July 28, 2021.
- (15) A subdivision variance has been approved to allow a minimum centerline radius of 300 feet with a minimum tangent of 50 feet between the reverse curves by Waller County Commissioners Court on March 2, 2022.

December, 2023

OWNER:
HOU-BLUESTEM 17, LLC,
A TEXAS LIMITED
LIABILITY COMPANY

FINAL PLAT OF
BLUESTEM
SECTION 1

SHEET 4 OF 19



10011 MEADOWGLEN LN
HOUSTON, TEXAS 77042
713-784-4500
EHRA TEAM
TBPE No. F-726
TBPELS No. 10092300

OWNER'S RESPONSIBILITIES:

- (1) No structure in this subdivision shall be occupied until connected to a public sewer system which has been approved and permitted by Waller County Environmental Department.
- (2) No structure in this subdivision shall be occupied until connected to an individual water supply or a state-approved community water system.
- (3) In a subdivision that is not served by fire hydrants as part of a centralized water system certified by the Texas Commission on Environmental Quality as meeting minimum standards for water utility service, the Commissioners Court may require a limited fire suppression system that requires a developer to construct:
 - (a) For a subdivision of fewer than 50 houses, 2,500 gallons of storage; or
 - (b) For a subdivision of 50 or more houses, 2,500 gallons of storage with a centralized water system or 5,000 gallons of storage.
- (4) Structures built on lots in the designated Floodplain shall be elevated to two (2) feet or more above the 500-year floodplain elevation, in the 100-year floodplain. Within the 500-year, these structures must be elevated to one (1) foot above the 500-year floodplain elevation. No development permits will be issued in a Flood Hazard Area below the base flood elevation (B.F.E.). Contact the County Engineer's Office for specific information.
- (5) The building of all streets, bridges or culverts is the responsibility of the owners in accordance with the plans prescribed by Commissioners Court. Commissioners Court assumes no obligation to build or maintain any of the streets shown on the plat or constructing any of the bridges or drainage improvements. Upon completion of all obligations by the Developer and written approval from the Commissioners Court, the County will assume full responsibility for maintenance of the streets. The County will assume no responsibility for the drainage ways or easements in the subdivision, other than those draining or protecting the streets.
- (6) The County assumes no responsibility for the accuracy of representations by other parties on the plat. Floodplain data, in particular, may change depending on subsequent development.
- (7) The owners of land covered by this plat must install at their own expense all traffic control devices and signage that may be required before the streets in the subdivision have finally been accepted for maintenance by the County.
- (8) The property subdivided herein is further restricted in its use as specified under the terms and conditions of restrictions filed separately. A copy of said restrictions will be furnished by aforesaid (Corporation Name), to the purchaser of each and every lot in the subdivision prior to culmination of each sale.
- (9) Include certification that the subdivider has complied with the requirements of Section 232.032 and that:
 - (A) the water quality and connections to the lots meet, or will meet, the minimum state standards;
 - (B) sewer connections to the lots or septic tanks meet, or will meet, the minimum requirements of state standards;
 - (C) electrical connections provided to the lot meet, or will meet, the minimum state standards; and
 - (D) gas connections, if available, provided to the lot meet, or will meet, the minimum state standards.

SAN BERNARD ELECTRIC COOPERATIVE, INC.

THERE IS HEREBY GRANTED TO SAN BERNARD ELECTRIC COOPERATIVE, INC. WHOSE ADDRESS IS P.O. BOX 1208, BELLVILLE, TEXAS 77418, AND TO ITS SUCCESSORS, ASSIGNS AND LESSEES, AN UNOBSTRUCTED UTILITY EASEMENT FOR ELECTRIC, COMMUNICATION, AND OTHER UTILITIES AS MAY BECOME AVAILABLE, CONSISTING OF ALL NECESSARY OR DESIRABLE EQUIPMENT ACROSS, ALONG, UPON, OVER, ABOVE, AND UNDER LANDS WITHIN THE BOUNDARIES OF THE SUBDIVISION AS DESCRIBED BELOW.

- 1. There is a fifteen feet (15') wide unobstructed utility easement along all property lines adjacent to all existing publicly dedicated roads bordering the subdivision and public roads within the subdivision dedicated by this plat (unless otherwise noted).
- 2. There is a twenty feet (20') wide unobstructed utility easement for guy, being ten feet (10') on each side of the centerline of the guy and protruding five feet (5') past the point of where the anchor enters the earth.
- 3. San Bernard Electric Cooperative, Inc. is granted the right to build and maintain utilities on, across, along, upon, over, above and under all publicly dedicated road right-of-ways in this subdivision, in order to provide electric and other services to lots as it becomes necessary.
- 4. San Bernard Electric Cooperative, Inc. shall have the right to remove, cut down, and chemically treat with herbicides, all trees, shrubbery and vegetation within said easement and the right to remove, cut, and trim, from time to time, all dead, weak leaning, or dangerous trees adjacent to and outside of said easement that are tall enough to strike the conductor and/or equipment in falling. San Bernard Electric Cooperative, Inc. will not be responsible for removing debris from vegetation growing outside their easements when cutting down weak and leaning trees and brush outside the easement.
- 5. San Bernard Electric Cooperative, Inc. shall have the right to use and keep all of said easement area granted hereby free and clear of any and all obstructions, except fences that do not exceed eight feet (8') in height and do not interfere with the operation and replacement of San Bernard Electric Cooperative's facilities. San Bernard Electric Cooperative, Inc. shall have the right of ingress and egress to and from said right-of-way for the purpose of reclearing vegetation, constructing, reconstructing, rephasing, respanning, operating, inspecting, repairing, maintaining, replacing, adding, and removing said conductors, poles and equipment. Access for construction, maintenance, inspection, and surveying of facilities may be done with, but not limited to vehicles, ATV, aerial drone, pedestrian, and other methods.
- 6. The grantor, his successors, assigns, agents or licensees shall not have the right to cause or permit any obstacles, except fences not to exceed eight feet (8') in height, to be placed or constructed within said easement area without the express written consent of the cooperative. Fences shall not be placed or constructed in any way that would prevent San Bernard Electric Cooperative, Inc. from exercising any rights and privileges expressed herein.
- 7. All above descriptions are further described and locations indicated on plat drawing.

December, 2023	OWNER: HOU-BLUESTEM 17, LLC, A TEXAS LIMITED LIABILITY COMPANY	FINAL PLAT OF BLUESTEM SECTION 1		10011 MEADOWGLEN LN HOUSTON, TEXAS 77042 713-784-4500 EHRA TEAM TBPE No. F-726 TBPELS No. 10092300
SHEET 5 OF 19				

FIELD NOTES of a 27.35 acre tract of land situated in the William B. Ellis Survey Abstract No. 127, Waller County, Texas; said 27.35 acre tract of land being that same called 27.35 acre tract of land as conveyed to HOU-Bluestem 17, LLC and recorded under Waller County Clerk's File No. (W.C.C.F. No.) 2304055; said 27.35 acre tract of land being more particularly described by metes and bounds as follows:

NOTE: All bearings are Lambert grid bearings and all coordinates refer to the Texas State Plane Coordinate System, South Central Zone (#4204), as defined by article 21.071 of the Natural Resources Code of the State of Texas, 1983 Datum (2001 adjustment). All distance are actual distances. Scale factor = 0.999906628611.

COMMENCING at 1/2-inch capped iron pipe stamped •Kalkomey• found at the Northeast corner a called 10.00 acre tract of land as conveyed to Brent and Julie Watts and recorded in W.C.C.F. No. 1701713 and in the Southerly right-of-way line of Wilson Road (width varies) as recorded in Volume 184, Page 589 of the Waller County Deed Records, from which a fence corner found at the Southeast corner of said 10.00 acre tract bears S 12°22'30" W, a distance of 434.93 feet.

THENCE S 77°42'41" E, along the South line of said Wilson Road a distance of 416.58 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for the POINT OF BEGINNING and the Northwest corner of the herein described tract.

1) THENCE S 77°42'41" E, along the North line of this tract of land and the South right-of-way line of said Wilson Road a distance of 807.93 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for the beginning of a curve to the right.

THENCE Along the Easterly line of this tract of land the following courses and distances:

2) Along said curve to the right having a radius of 25.00 feet, a central angle of 90°14'40", an arc length of 39.38 feet and a chord bearing South 32°35'21" East, a distance of 35.43 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for the point of tangency.

3) S 12°32'00" W, a distance of 90.00 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for the beginning of a curve to the right.

4) Along said curve to the right having a radius of 25.00 feet, a central angle of 89°45'20", an arc length of 39.16 feet and a chord bearing South 57°24'39" West, a distance of 35.28 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for corner.

5) S 12°17'19" W a distance of 50.00 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for corner.

6) N 77°42'41" W a distance of 24.44 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for corner.

7) S 07°42'46" W a distance of 115.23 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for corner.

8) S 03°11'05" E a distance of 217.49 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for corner.

9) S 02°43'49" W a distance of 67.95 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for corner.

10) S 10°09'35" W a distance of 215.21 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for corner.

11) S 18°03'21" W a distance of 102.49 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for corner.

12) S 43°28'28" W a distance of 151.92 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for corner.

13) N 33°34'52" W a distance of 7.62 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for corner.

14) S 56°25'08" W a distance of 50.00 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for the Southeast corner of this tract of land.

THENCE Along the Southerly line of this tract of land the following courses and distances:

15) N 33°34'52" W a distance of 89.76 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for corner.


16) S 68°13'51" W a distance of 591.09 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for corner.

17) N 31°15'00" W a distance of 47.19 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for corner.

18) N 17°23'26" W a distance of 49.75 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for corner.

19) N 27°08'40" W a distance of 44.46 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for corner.

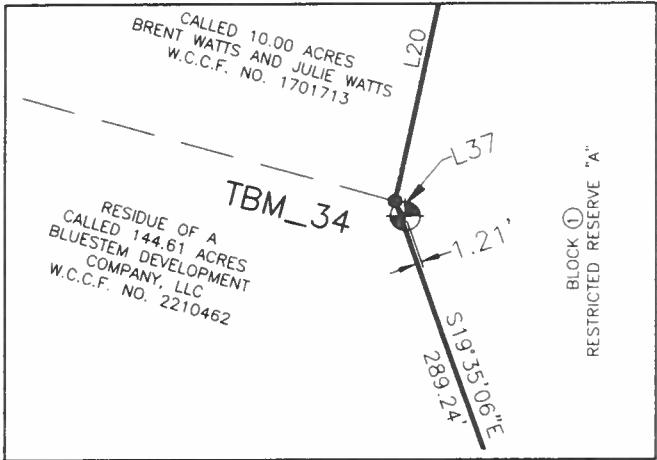
20) N 41°13'54" W a distance of 44.70 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500' set for corner.

December, 2023	OWNER: HOU-BLUESTEM 17, LLC, A TEXAS LIMITED LIABILITY COMPANY	FINAL PLAT OF BLUESTEM SECTION 1		10011 MEADOWGLEN LN HOUSTON, TEXAS 77042 713-784-4500 EHRA TEAM TBPE No. F-726 TBPELS No. 10092300
SHEET 6 OF 19				

FIELD NOTES CONTINUED:

- 21) N 59°02'47" W a distance of 97.44 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500 set for corner.
- 22) N 83°42'10" W a distance of 93.52 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500 set for corner.
- 23) S 72°41'16" W a distance of 111.51 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500 set for the Southwest corner of this tract of land.
- THENCE Along the Westerly line of this tract of land the following courses and distances:
- 24) N 04°51'19" E, a distance of 280.83 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500 set for corner.
- 25) N 33°46'34" E a distance of 200.91 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500 set for corner.
- 26) N 35°21'53" W a distance of 114.17 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500 set for corner.
- 27) N 19°35'06" W a distance of 289.24 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500 set for the Southeast corner of said 10.00 acre tract of land.
- 28) N 12°22'30" E a distance of 82.02 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500 set for corner.
- 29) S 77°42'41" E a distance of 417.11 feet to a 5/8-inch capped iron rod stamped 'E.H.R.A. 713-784-4500 set for corner.
- 30) N 12°17'19" East a distance of 352.91 feet to the PLACE OF BEGINNING; containing within said boundaries a calculated area of 27.35 acres (1,191,549 sq.ft.) of land.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 12°32'00" W	90.00'
L2	S 12°17'19" W	50.00'
L3	N 77°42'41" W	24.44'
L4	S 02°43'39" W	67.95'
L5	S 18°03'21" W	102.49'
L6	N 33°34'52" W	7.62'
L7	S 56°25'08" W	50.00'
L8	N 33°34'52" W	89.76'
L9	N 31°15'00" W	47.19'
L10	N 17°23'26" W	49.75'
L11	N 27°08'40" W	44.46'
L12	N 41°13'54" W	44.70'
L13	N 59°02'47" W	97.44'
L14	N 83°42'10" W	93.52'
L15	N 35°21'53" W	114.17'
L16	N 12°22'30" E	82.02'
L17	N 85°05'25" W	51.38'
L18	N 27°17'31" W	67.65'
L19	N 24°19'37" W	64.06'
L20	N 12°32'00" E	205.00'
L21	S 45°08'26" W	113.93'
L22	S 29°28'45" W	111.44'
L23	N 60°58'12" E	35.29'
L24	N 12°17'19" E	42.33'
L25	S 65°23'01" E	9.99'
L26	S 12°17'19" W	25.00'
L27	N 17°23'26" W	11.38'
L28	N 33°34'52" W	104.71'
L29	N 25°38'06" W	60.48'
L30	N 12°59'41" E	9.62'
L31	S 32°42'41" E	7.57'
L32	S 45°51'56" W	108.72'
L33	S 45°51'56" W	83.03'
L34	N 00°13'41" W	51.59'
L35	S 77°42'41" E	64.79'
L36	S 33°34'52" E	52.79'
L37	S 33°33'46" E	4.99'



TEMPORARY BENCHMARK (TBM) 34
A 5/8" BLUE CAPPED IRON ROD
STAMPED "E.H.R.A. 713-784-4500"
ELEV.=157.64'
PROJECT BENCHMARK: NGS NO. AW2192
ELEV. 203.756'

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	25.00'	39.38'	90°14'40"	S 32°35'21" E	35.43'
C2	25.00'	39.16'	89°45'20"	S 57°24'39" W	35.28'
C3	475.00'	120.18'	14°29'48"	N 04°03'49" E	119.86'
C4	25.00'	39.70'	90°58'36"	N 56°48'01" E	35.66'
C5	50.00'	78.54'	90°00'00"	S 57°17'19" W	70.71'
C6	500.00'	286.69'	32°51'07"	S 28°42'53" W	282.78'
C7	500.00'	136.67'	15°39'41"	S 37°18'35" W	136.25'
C8	50.00'	78.54'	90°00'00"	S 15°31'15" E	70.71'
C9	300.00'	121.88'	23°16'39"	S 48°52'56" E	121.04'
C10	50.00'	71.37'	81°47'12"	S 78°08'12" E	65.47'
C11	400.00'	81.26'	11°38'22"	N 66°47'23" E	81.12'
C12	310.00'	410.09'	75°47'39"	N 34°42'44" E	380.83'
C13	500.00'	135.03'	15°28'24"	N 04°33'07" E	134.62'
C14	300.00'	64.55'	12°19'40"	S 71°32'51" E	64.42'
C15	300.00'	225.83'	43°07'49"	N 38°57'21" W	220.53'
C16	500.00'	136.67'	15°39'41"	N 52°41'25" W	136.25'
C17	500.00'	69.34'	7°56'46"	N 29°36'29" W	69.29'
C18	525.00'	72.81'	7°56'46"	N 29°36'29" W	72.75'
C19	25.00'	35.67'	81°45'21"	N 66°30'46" W	32.72'
C20	375.00'	76.18'	11°38'22"	S 66°47'23" W	76.05'
C21	25.00'	9.18'	21°02'22"	S 50°27'01" W	9.13'
C22	50.00'	109.90'	125°56'08"	N 77°06'06" W	89.08'
C23	25.00'	10.44'	23°56'09"	N 26°06'07" W	10.37'
C24	275.00'	107.76'	22°27'04"	N 49°17'43" W	107.07'
C25	25.00'	13.29'	30°27'58"	N 75°45'14" W	13.14'
C26	50.00'	131.71'	150°55'56"	N 15°31'15" W	96.80'
C27	25.00'	13.29'	30°27'58"	N 44°42'44" E	13.14'
C28	525.00'	115.91'	12°38'58"	N 35°48'14" E	115.67'
C29	25.00'	37.96'	86°59'17"	N 01°21'56" W	34.41'
C30	25.00'	21.03'	48°11'23"	N 68°57'16" W	20.41'
C31	50.00'	241.19'	276°22'46"	N 45°08'26" E	66.67'
C32	25.00'	21.03'	48°11'23"	S 20°45'53" E	20.41'
C33	25.00'	39.27'	90°00'00"	S 89°51'34" E	35.36'
C34	475.00'	272.35'	32°51'07"	N 28°42'53" E	268.64'
C35	25.00'	9.18'	21°02'22"	N 01°46'08" E	9.13'
C36	50.00'	115.26'	132°04'44"	N 57°17'19" E	91.38'
C37	25.00'	9.18'	21°02'22"	S 67°11'30" E	9.13'
C38	425.00'	86.34'	11°38'22"	S 66°47'23" W	86.19'
C39	25.00'	35.69'	81°47'12"	N 78°08'12" W	32.73'
C40	325.00'	132.04'	23°16'39"	N 48°52'56" W	131.13'
C41	25.00'	39.27'	90°00'00"	N 15°31'15" W	35.36'
C42	475.00'	99.72'	12°01'44"	N 35°29'37" E	99.54'
C43	25.00'	39.92'	91°28'58"	N 87°14'57" E	35.81'
C44	525.00'	123.81'	13°30'41"	S 53°45'55" E	123.52'
C45	275.00'	164.36'	34°14'37"	S 43°23'57" E	161.92'
C46	25.00'	43.15'	98°53'12"	S 23°09'58" W	37.99'
C47	525.00'	134.46'	14°40'27"	S 04°09'09" W	134.09'
C48	285.00'	377.01'	75°47'39"	S 34°42'44" W	350.12'
C49	25.00'	36.51'	83°39'54"	N 65°33'30" W	33.35'
C50	325.00'	208.71'	36°47'42"	N 42°07'24" W	205.15'
C51	475.00'	109.01'	13°08'55"	N 53°56'48" W	108.77'
C52	25.00'	40.37'	92°30'46"	N 01°06'57" W	36.12'
C53	525.00'	142.24'	15°31'25"	N 37°22'43" E	141.81'
C54	25.00'	34.37'	78°46'49"	N 69°00'25" E	31.73'
C55	325.00'	34.65'	6°06'31"	S 74°39'25" E	34.63'
C56	25.00'	30.77'	70°31'44"	S 42°26'49" E	28.87'
C57	50.00'	218.63'	250°31'44"	N 47°33'11" E	81.65'
C58	275.00'	17.80'	3°42'30"	N 75°51'26" W	17.80'
C59	25.00'	40.63'	93°06'29"	N 27°26'56" W	36.30'
C60	525.00'	62.46'	6°48'59"	N 15°41'49" E	62.42'
C61	25.00'	39.27'	90°00'00"	N 57°17'19" E	35.36'
C62	25.00'	38.92'	89°12'03"	S 33°06'39" E	35.11'
C63	475.00'	65.88'	7°56'46"	N 29°36'29" W	65.82'
C64	25.00'	35.79'	82°00'59"	N 15°22'24" E	32.81'
C65	335.00'	348.28'	59°34'00"	N 26°35'53" E	332.80'

RESERVE TABLE		
RESERVE	RESTRICTED TO	AREA
A	LANDSCAPE, OPEN SPACE AND UTILITY USES	0.4765 ACRE/20,758 SQ. FT.
B	LANDSCAPE, OPEN SPACE, RECREATION AND UTILITY USES	0.3080 ACRE/13,418 SQ. FT.
C	LANDSCAPE, OPEN SPACE AND UTILITY USES	0.0583 ACRE/2,540 SQ. FT.
D	LANDSCAPE, OPEN SPACE, RECREATION AND UTILITY USES	0.6084 ACRE/26,502 SQ. FT.
		TOTAL ACREAGE=1.4512 ACRES

December, 2023

OWNER:
HOU-BLUESTEM 17, LLC,
A TEXAS LIMITED
LIABILITY COMPANY

FINAL PLAT OF
BLUESTEM
SECTION 1



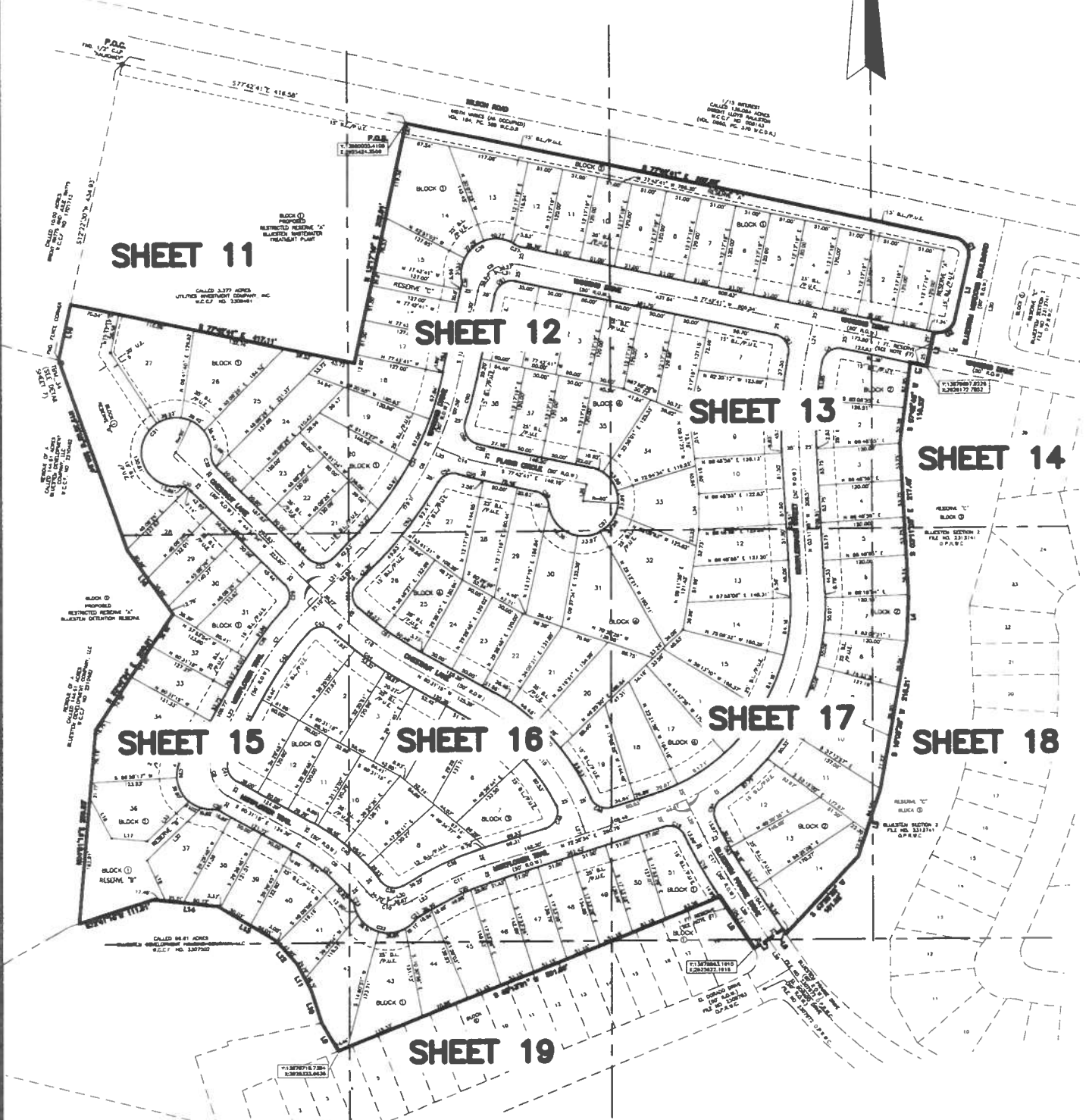
10011 MEADOWGLEN LN
HOUSTON, TEXAS 77042
713-784-4500
EHRA.TEAM
TBPE No. F-726
TBPELS No. 10092300

ADDRESS TABLE			
BLOCK	LOT	STREET	NUMBER
1	1	WAXWING DRIVE	3081
	2		3077
	3		3073
	4		3069
	5		3065
	6		3061
	7		3057
	8		3053
	9		3049
	10		3045
	11		3041
	12		3037
	13		3033
	14		3029
	15		3025
	16		3017
	17		3013
	18		3009
	19		3005
	20		3001
	21	CHESTNUT LANE	3028
	22		3032
	23		3036
	24		3040
	25		3044
	26		3048
	27		3052
	28		3041
	29		3037
	30		3033
	31		3029
	32	MISTFLOWER TRAIL	3081
	33		3077
	34		3073
	35		3069
	36		3065
	37		3057
	38		3053
	39		3049
	40		3045
	41		3041
	42		3037
	43		3033
	44		3029
	45		3025
	46		3021
	47		3017
	48		3013
	49		3009
	50		3005
	51		3001
2	1	BRISTLEGRASS STREET	3044
	2		3040
	3		3036
	4		3032
	5		3028
	6		3024
	7		3020
	8		3016
	9		3012
	10		3008
	11		3004
	12	BLUESTEM PRAIRIE DRIVE	3000
	13		3004
	14		3008

3	1	CHESTNUT LANE	3025
	2		3021
	3		3017
	4		3013
	5		3009
	6		3005
	7		3001
	8	MISTLEFLOWER TRAIL	3036
	9		3040
	10		3044
	11		3048
	12		3052
	13		3056
4	1	WAXWING DRIVE	3036
	2		3040
	3		3044
	4		3048
	5		3052
	6		3056
	7	BRISTLEGRASS STREET	3041
	8		3037
	9		3033
	10		3029
	11		3025
	12		3021
	13		3017
	14		3013
	15		3009
	16		3005
	17		3001
	18	MISTFLOWER TRAIL	3000
	19	CHESTNUT LANE	3004
	20		3000
	21		3004
	22		3008
	23		3012
	24		3016
	25		3020
	26		3024
	27	PLAINS CIRCLE	3000
	28		3004
	29		3008
	30		3012
	31		3016
	32		3025
	33		3021
	34		3017
	35		3013
	36		3009
	37		3005
	38		3001
	RES. "A"	WAXWING DRIVE	3083
	RES. "B"	MISTFLOWER TRAIL	3061
	RES. "C"	WAXWING DRIVE	3021
	RES. "D"	CHESTNUT LANE	3045



NOT TO SCALE



December, 2023

SHEET 10 OF 19

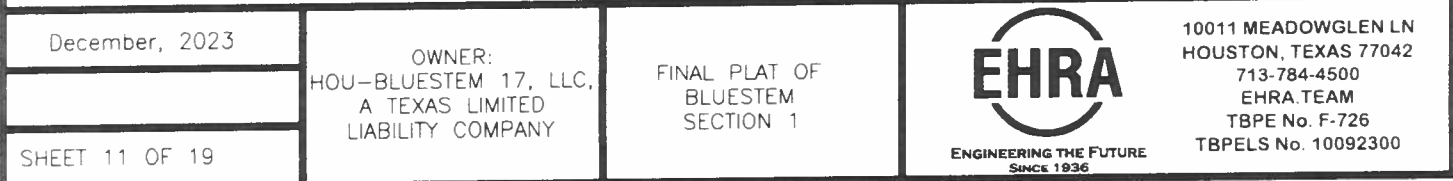
OWNER:
HOU-BLUESTEM 17, LLC,
A TEXAS LIMITED
LIABILITY COMPANY

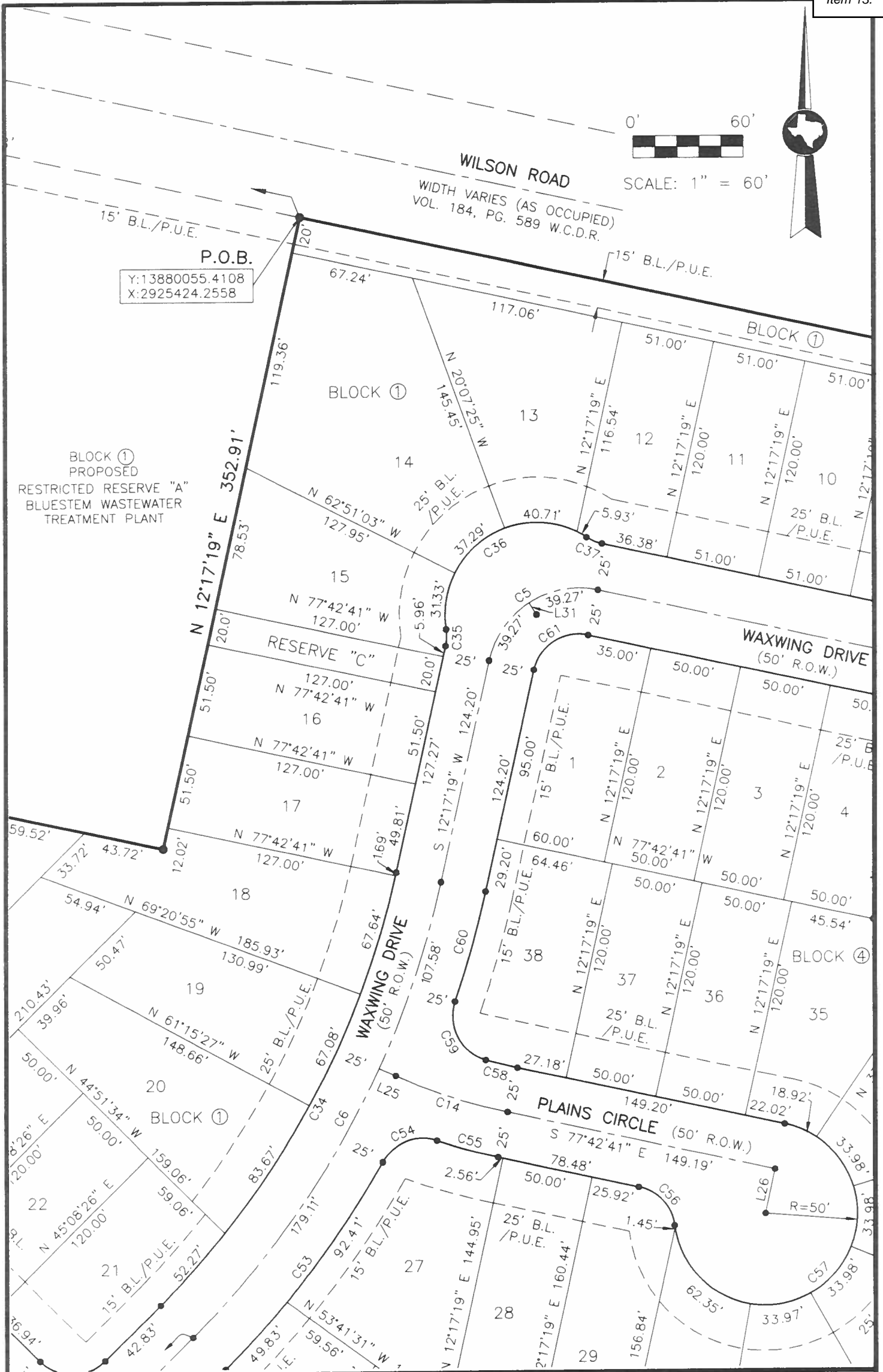
FINAL PLAT OF
BLUESTEM
SECTION 1



ENGINEERING THE FUTURE
SINCE 1936

10011 MEADOWGLEN LN
HOUSTON, TEXAS 77042
713-784-4500
EHRA.TEAM
TBPE No. F-726
TBPELS No. 10092300





December, 2023

SHEET 12 OF 19

OWNER:
HOU-BLUESTEM 17, LLC,
A TEXAS LIMITED
LIABILITY COMPANY

FINAL PLAT OF
BLUESTEM
SECTION 1



ENGINEERING THE FUTURE
SINCE 1936

10011 MEADOWGLEN LN
HOUSTON, TEXAS 77042
713-784-4500
EHRA TEAM
TBPE No. F-726
TBPELS No. 10092300

1/15 INTEREST
CALLED 135.064 ACRES
DWIGHT LLOYD RAULSTON
W.C.C.F. NO. 005143
(VOL. 0660, PG. 570 W.C.D.R.)



SCALE: 1" = 60'



WILSON ROAD

WIDTH VARIES (AS OCCUPIED)
VOL. 184, PG. 589 W.C.D.R.

S 77°42'41" E 807.93'

RESERVE "A"

BLOCK ①

BLOCK ①

WAXWING DRIVE
(50' R.O.W.)

WAXWING DRIVE
(50' R.O.W.)

BRISTLEGRASS STREET (50' R.O.W.)

BLOCK ②

BLOCK ④

BLOCK ④

December, 2023

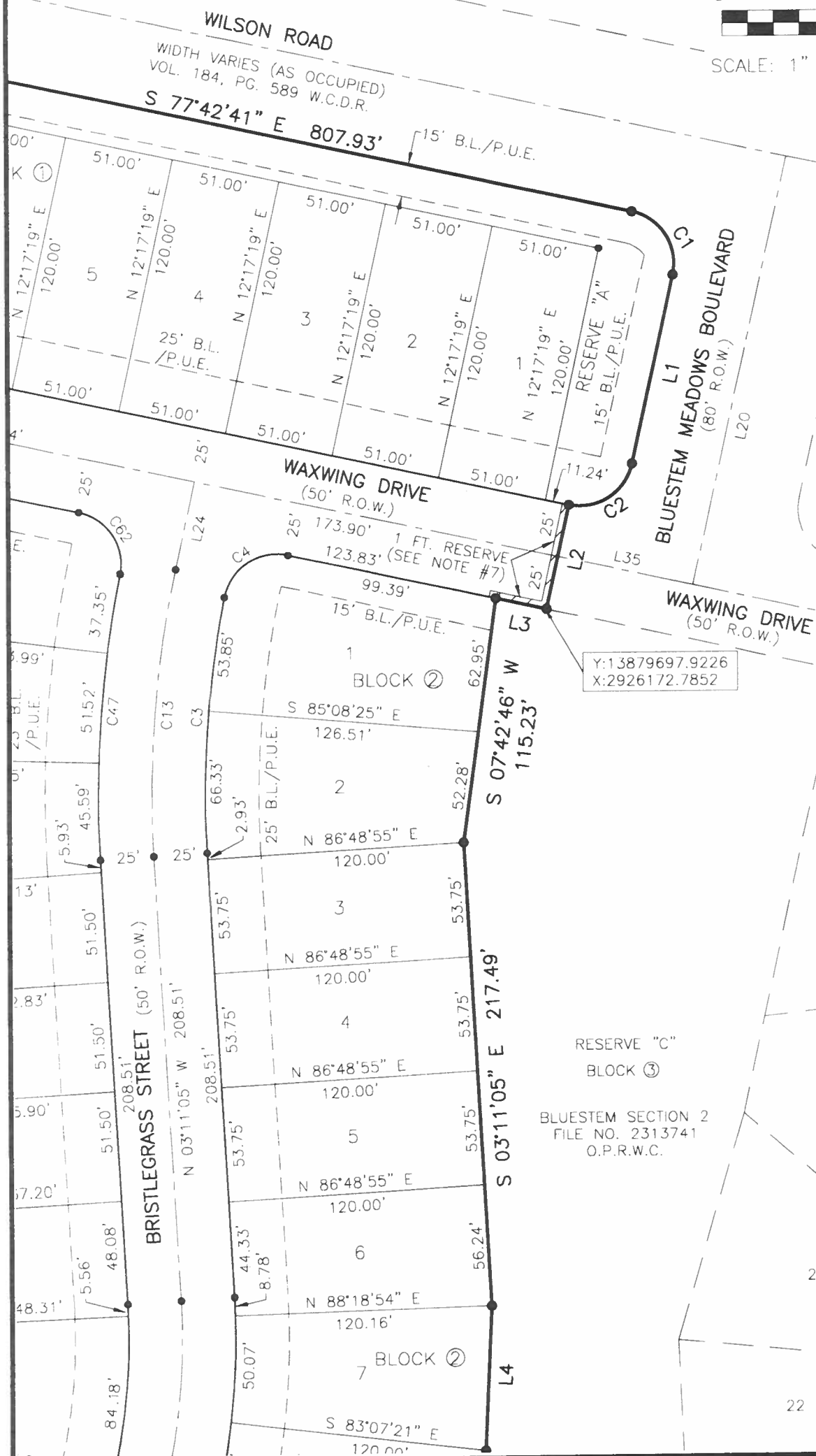
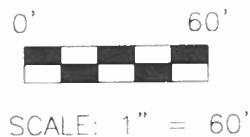
SHEET 13 OF 19

OWNER:
HOU-BLUESTEM 17, LLC,
A TEXAS LIMITED
LIABILITY COMPANY

FINAL PLAT OF
BLUESTEM
SECTION 1



10011 MEADOWGLEN LN
HOUSTON, TEXAS 77042
713-784-4500
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TBPELS No. 10092300



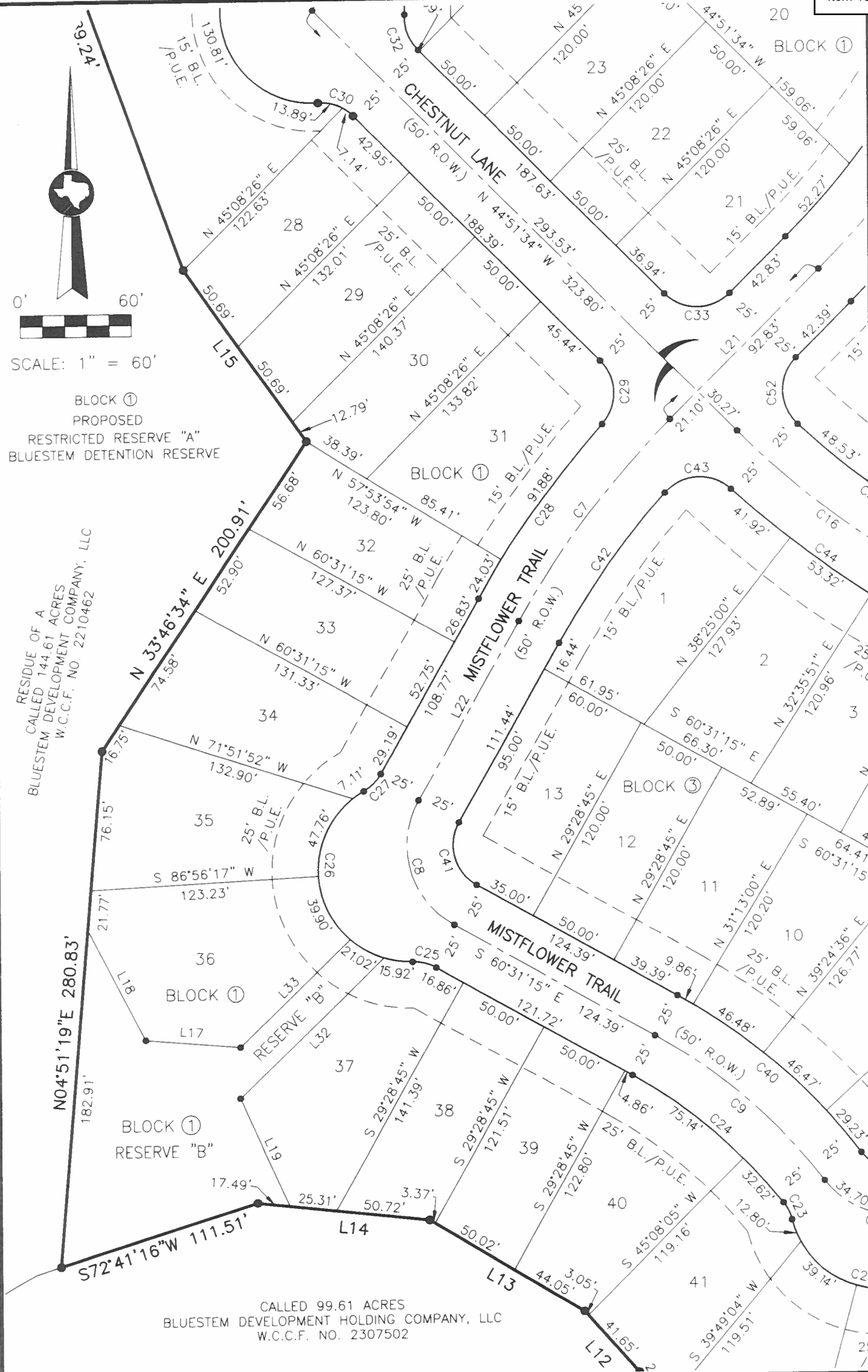
SHEET 14 OF 19

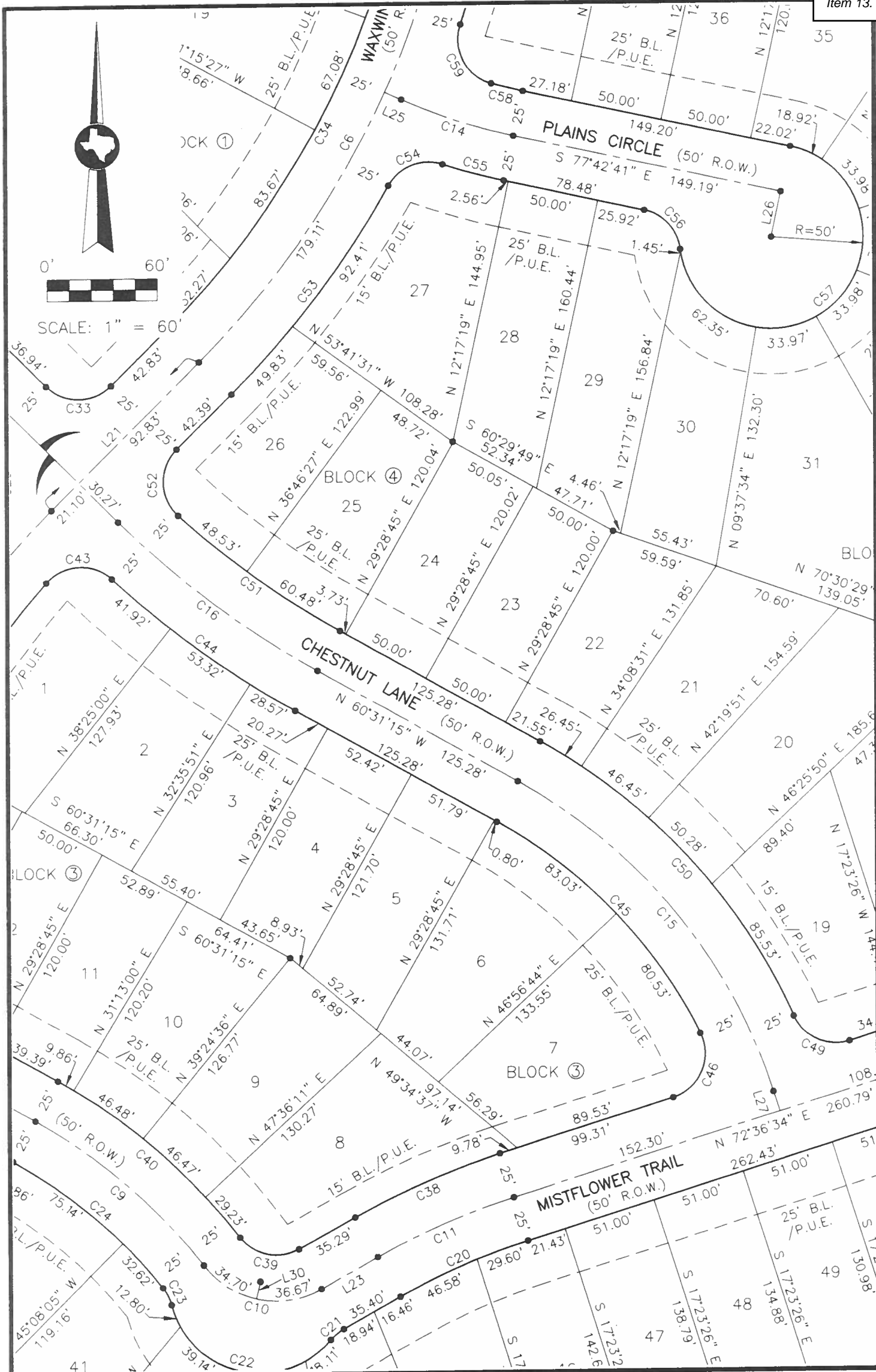
FINAL PLAT OF
BLUESTEM
SECTION 1



ENGINEERING THE FUTURE
SINCE 1936

10011 MEADOWGLEN LN
HOUSTON, TEXAS 77042
713-784-4500
EHRA.TEAM
TBPE No. F-726
TBPELS No. 10092300





December, 2023

SHEET 16 OF 19

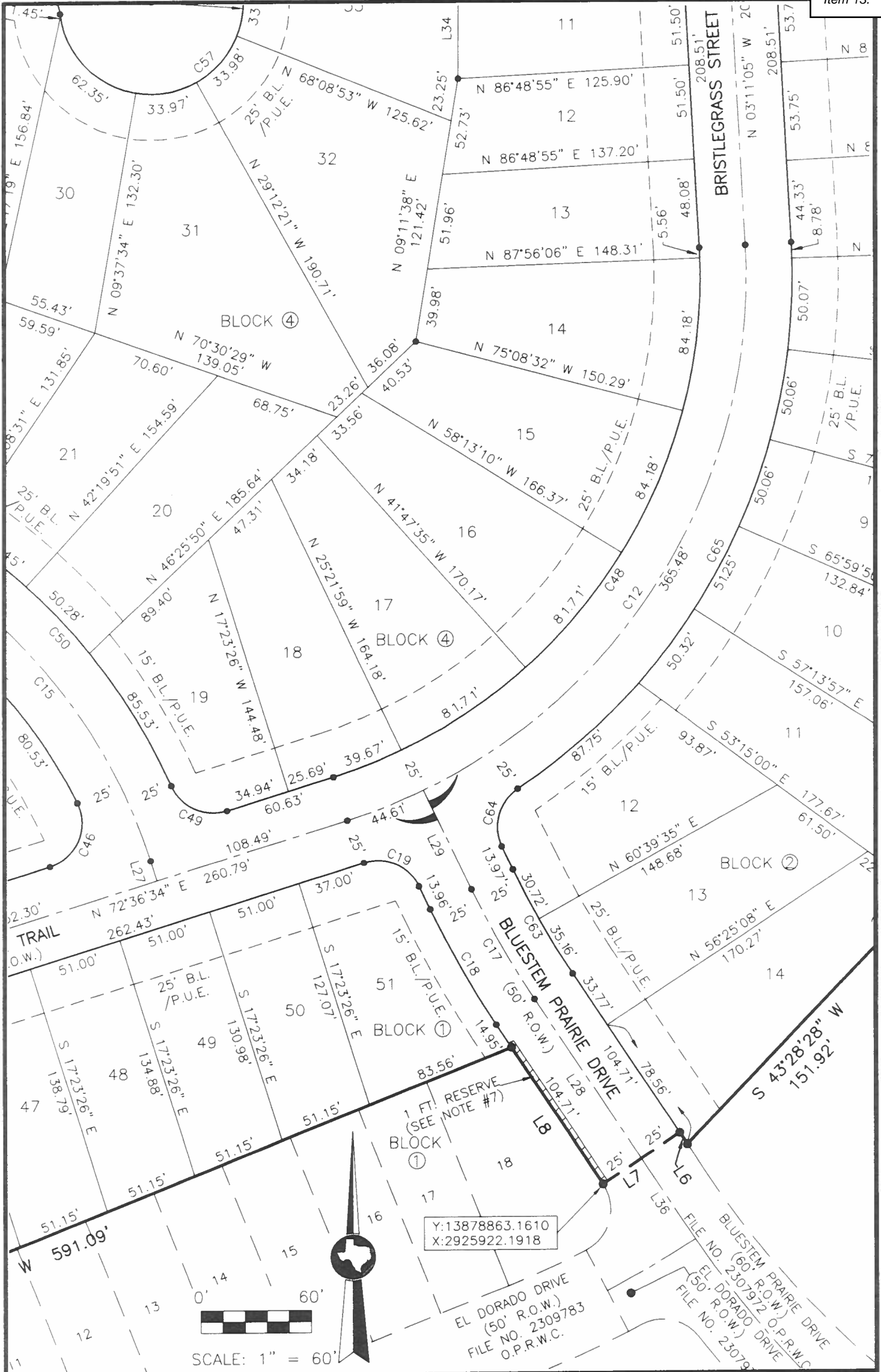
OWNER:
HOU-BLUESTEM 17, LLC,
A TEXAS LIMITED
LIABILITY COMPANY

FINAL PLAT OF
BLUESTEM
SECTION 1

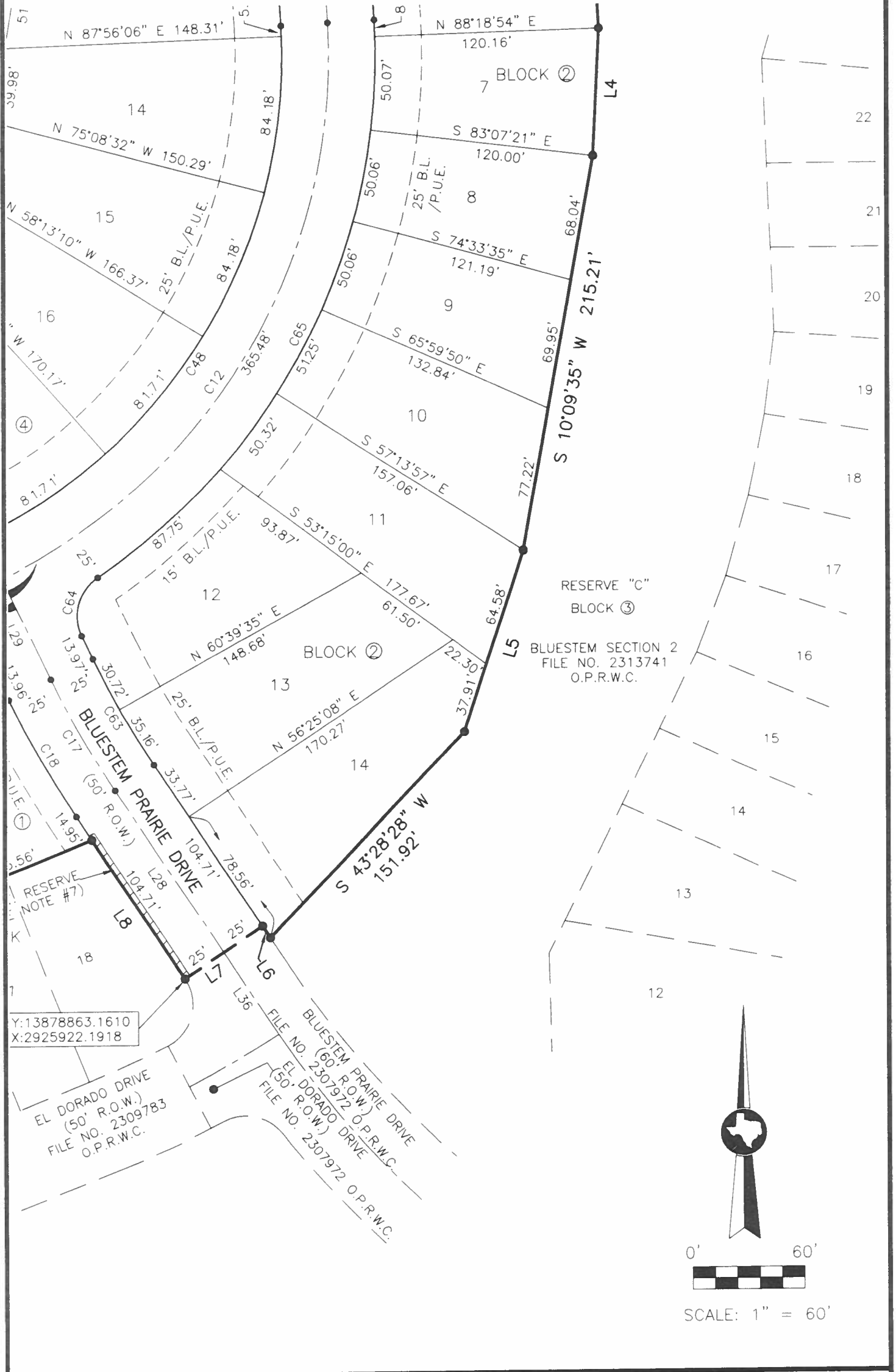


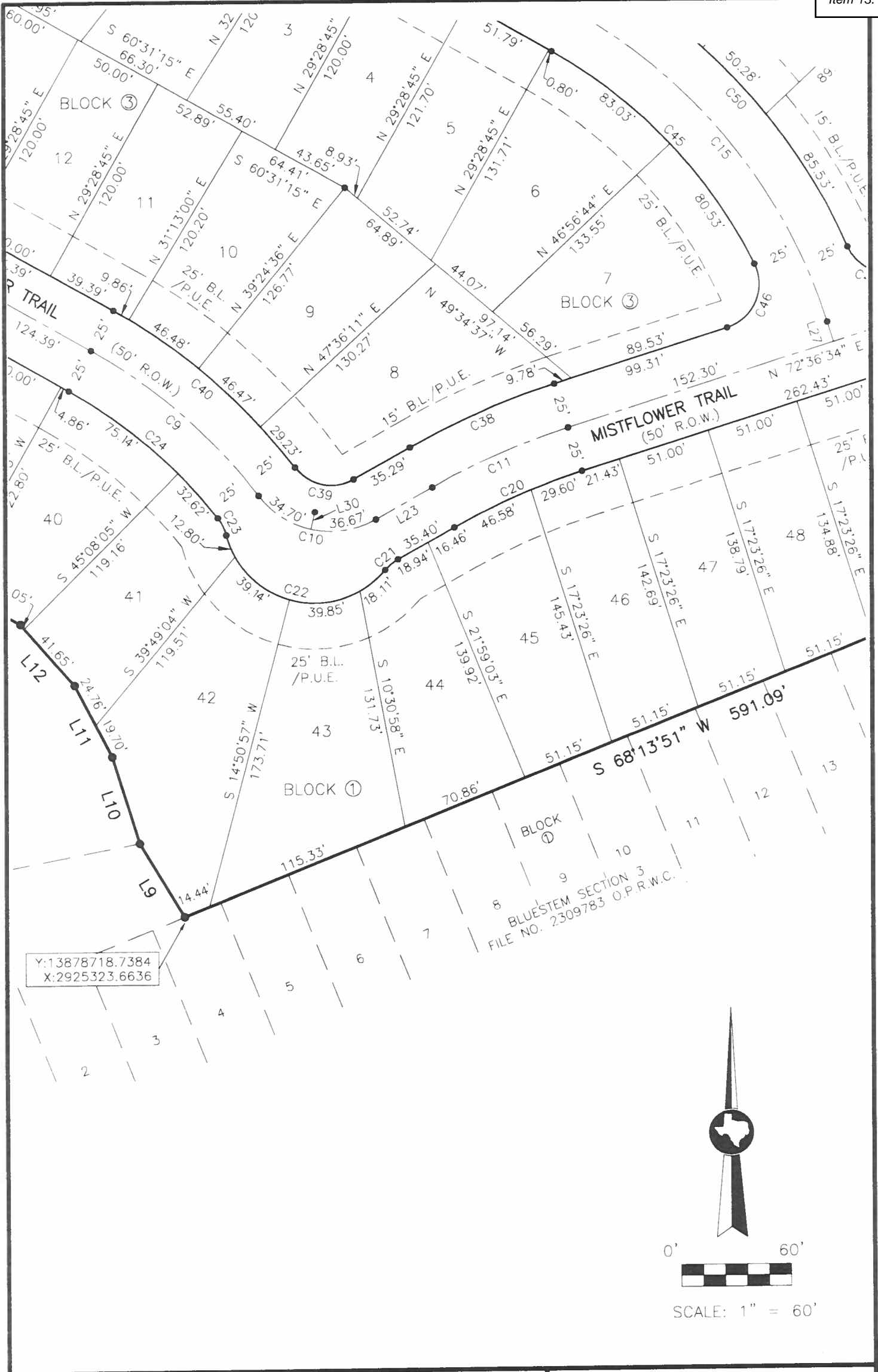
ENGINEERING THE FUTURE
SINCE 1936

10011 MEADOWGLEN LN
HOUSTON, TEXAS 77042
713-784-4500
EHRA TEAM
TBPE No. F-726
TBPELS No. 10092300



December, 2023	OWNER: HOU-BLUESTEM 17, LLC, A TEXAS LIMITED LIABILITY COMPANY	FINAL PLAT OF BLUESTEM SECTION 1	 ENGINEERING THE FUTURE SINCE 1936	10011 MEADOWGLEN LN HOUSTON, TEXAS 77042 713-784-4500 EHRA TEAM TBPE No. F-726 TBPELS No. 10092300
SHEET 17 OF 19				





December, 2023

OWNER:
HOU-BLUESTEM 17, LLC,
A TEXAS LIMITED
LIABILITY COMPANY

FINAL PLAT OF
BLUESTEM
SECTION 1

SHEET 19 OF 19



10011 MEADOWGLEN LN
HOUSTON, TEXAS 77042
713-784-4500
EHRA.TEAM
TBPE No. F-726
TBPELS No. 10092300



WALLER COUNTY

Yancy Scott, P.E., CFM
County Engineer

MEMORANDUM

To: Honorable Commissioners' Court

Item: Final RePlat Approval for Sunterra Section 25 Partial Replat No.1

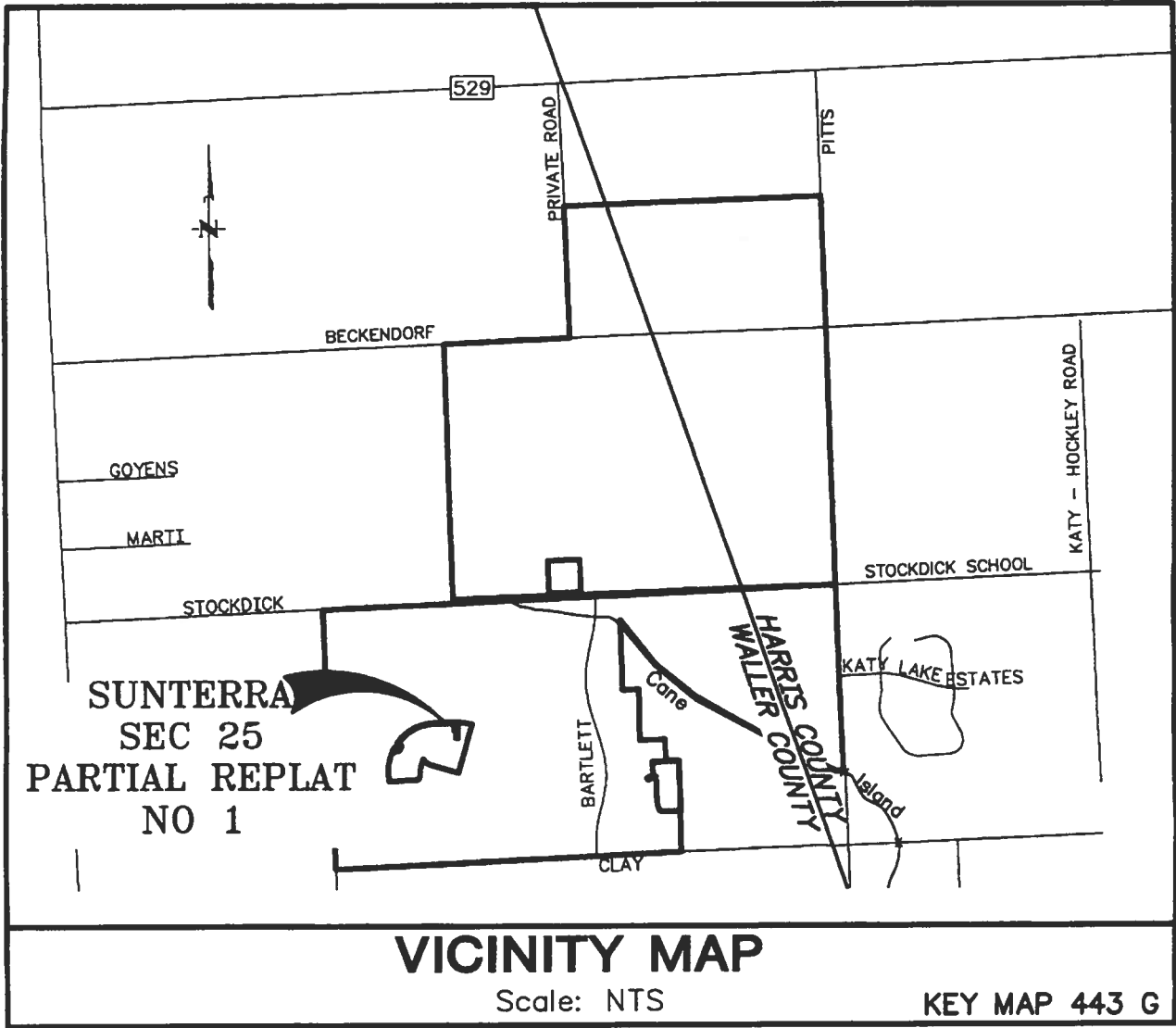
Date January 10, 2024

Background

Final RePlat of Sunterra Section 25 Partial Replat No.1 to change street name to Sunray Beach Drive (PVT), to Malibu Glen Drive (PVT), reconfigure entry on Sunlight Meadows Way (PVT) and to reconfigure reserve A Block 1 and Reserve E Block 3 in Precinct 3.

Staff Recommendation

Approve Plat



SUNTERRA
SEC 25
PARTIAL
REPLAT NO 1

A SUBDIVISION OF 159 ACRE OF LAND
 BEING A REPLAT OF THE RIGHT-OF-WAY OF SUNRAY BEACH DRIVE (PVT), SUNLIGHT MEADOWS WAY (PVT), A PORTION OF RESERVE "A" BLOCK 1 AND RESERVE "E BLOCK 3",
 SUNTERRA SEC 25, RECORDED UNDER C.C.F. NO. 2210839 OUT OF THE
 H & T. C. RAILROAD COMPANY SURVEY SECTION 121, A-201
 WALLER COUNTY, TEXAS
 REASON FOR REPLAT: TO CHANGE STREET NAME
 "SUNRAY BEACH DRIVE (PVT)" TO "MALIBU GLEN DRIVE (PVT)", RECONFIGURE ENTRY ON
 "SUNLIGHT MEADOWS WAY (PVT) AND TO RECONGIFURE RESERVE "A" BLOCK 1 AND
 RESERVE "E" BLOCK 3.
 APRIL 2023
 0 LOTS 2 RESERVES 2 BLOCKS

DATE: APRIL 2023	SUNTERRA SECTION 25 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: BC Sunterra LLC. a Delaware Limited Partnership 336 James Tecord Road SW HUNTSVILLE, AL 35826 (713) 783-8702 Levi@BuiltToInvest.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration No. # 12150 & 10064300 1229 Corporate Drive, Suite 100 Rosenberg, TX 77479-2813 281.342.2033</small> CJamnlk@quiddity.com
SCALE NTS			
SHEET 1A OF 1			

K:\1853\18537-0053-00 Sunterra Section 25 WS08P\Y Design Phase\Planning\Replat\Map\Sunterra Sec 25 PR NO. 1.dwg Nov 29, 2023 -- 8:30am CJD

A METES & BOUNDS description of a 1.59 acre tract of land in the H. & T. C. Railroad Company Survey Section 121, Abstract 201, Waller County, Texas, being out of and a part of Sunterra Sec 25, according to map or plat thereof recorded under County Clerk's File Number 2210839, Official Public Records, Waller County, Texas, with all bearings based upon the Texas Coordinate System of 1983, South Central Zone, based upon GPS observations.

Beginning at a ¾ inch iron rod with cap marked "Quiddity" found for the northeast corner and Place of Beginning of the herein described tract, same being an angle point in the north line of said Sunterra Sec 25, the northwest corner of the adjoining Block 2, Lot 1, and the west corner of Restricted Reserve "B", being in the east right-of-way line of Sunray Beach Drive (50-foot wide);

Thence South 00 degrees 29 minutes 46 seconds West establishing the east line of the described tract, being the east right-of-way line of said Sunray Beach Drive, being the west line of said adjoining Block 2, Lot 1, the west line of Block 2, Lots 2 through 5, crossing Rivera Shores Drive (50-foot wide), 302.51 feet to a point for the upper southeast corner of the herein described tract;

Thence North 89 degrees 30 minutes 14 seconds West establishing the upper south line of the herein described tract, crossing said Sunray Beach Drive, 50.00 feet to a point for the upper southwest corner of the herein described tract, being in the west right-of-way line of said Sunray Beach Drive, and the east line of Block 4, Lot 5;

Thence establishing an interior line of the herein described tract, along the west right-of-way line of Sunray Beach Drive, an interior line of Restricted Reserve "A", the east line of said Block 4, Lot 5, and the east line of Block 1, Lot 34, to points at the following courses and distances:

North 00 degrees 29 minutes 46 seconds East, 181.26 feet to a point in a non-tangent curve to the right;

Thence with said non-tangent curve to the right, having a central angle of 90 degrees 00 minutes 00 seconds, an arc length of 39.27 feet, a radius of 25.00 feet, and a chord bearing South 45 degrees 29 minutes 46 seconds West, 35.36 feet;

North 00 degrees 29 minutes 46 seconds East, 136.26 feet;

North 45 degrees 27 minutes 13 seconds West, 13.91 feet to a point for reentry corner to the herein described tract;

Thence establishing an interior line of the herein described tract, along the southerly and interior lines of said Restricted Reserve "A", the northerly line of Block 1, Lots 13 through 33, the westerly line of Block 1, Lots 12 and 13, the northerly lines of Block 3, Lot 40 and 41, crossing said Restricted Reserve "A", Sunlight Meadows Drive (60-foot wide), and Restricted Reserve "E", to points at the following courses and distances:

South 88 degrees 35 minutes 47 seconds West, 366.26 feet;

South 87 degrees 08 minutes 51 seconds West, 52.48 feet;

South 83 degrees 58 minutes 07 seconds West, 52.48 feet;

South 80 degrees 47 minutes 09 seconds West, 52.48 feet;

South 77 degrees 36 minutes 12 seconds West, 52.48 feet;

South 74 degrees 25 minutes 16 seconds West, 52.48 feet;

South 71 degrees 14 minutes 20 seconds West, 52.47 feet;

South 68 degrees 03 minutes 26 seconds West, 52.46 feet;

South 64 degrees 52 minutes 35 seconds West, 52.45 feet;

South 61 degrees 41 minutes 46 seconds West, 52.44 feet;

South 58 degrees 31 minutes 00 seconds West, 52.42 feet;

South 55 degrees 20 minutes 17 seconds West, 52.41 feet;

South 54 degrees 08 minutes 55 seconds West, 46.50 feet;

South 47 degrees 23 minutes 48 seconds West, 78.90 feet;

South 42 degrees 20 minutes 58 seconds West, 127.02 feet;

South 07 degrees 43 minutes 28 seconds East, 79.26 feet;

South 58 degrees 48 minutes 59 seconds East, 35.25 feet;

South 31 degrees 11 minutes 01 second West, 105.00 feet;

North 58 degrees 48 minutes 59 seconds West, 28.52 feet;

South 59 degrees 04 minutes 38 seconds West, 107.34 feet;

North 67 degrees 29 minutes 36 seconds West, 28.10 feet to a point for the west corner of the herein described tract, being in the easterly line of the adjoining Sunterra Shores Drive Street Dedication Section 3 & Reserves, according to map or plat thereof recorded under County Clerk's File Number 2207645, Official Public Records, Waller County, Texas, the easterly right-of-way line of the adjoining Sunterra Shores Drive (60-foot wide), and the westerly line of said Restricted Reserve "E", and being in a non-tangent curve to the right;

Thence establishing the westerly and northerly lines of the herein described tract, being the easterly and upper south lines of said adjoining Sunterra Shores Drive, the southerly line of Sunterra Shores Drive Street Dedication Sec 4 and Lift Station No. 1, according to map or plat thereof recorded under County Clerk's File Number 2113487, Official Public Records, Waller County, Texas, and the northerly and westerly lines of said Restricted Reserve "A", crossing said Sunlight Meadows Drive and said Sunray Beach Drive, to points at the following courses and distances:

Thence with said non-tangent curve to the right, having a central angle of 05 degrees 30 minutes 30 seconds, an arc length of 93.26 feet, a radius of 970.00 feet, and a chord bearing North 25 degrees 15 minutes 39 seconds East, 93.22 feet to the beginning of a compound curve to the right;

Thence with said compound curve to the right, having a central angle of 93 degrees 10 minutes 07 seconds, an arc length of 40.65 feet, a radius of 25.00 feet, and a chord bearing North 74 degrees 35 minutes 58 seconds East, 36.32 feet;

North 31 degrees 24 minutes 04 seconds East, 60.00 feet to a point in a non-tangent curve to the right;

Thence with said non-tangent curve to the right, having a central angle of 93 degrees 17 minutes 14 seconds, an arc length of 40.70 feet, a radius of 25.00 feet, and a chord bearing North 11 degrees 57 minutes 19 seconds West, 36.35 feet to the beginning of a compound curve to the right;

Thence with said compound curve to the right, having a central angle of 53 degrees 54 minutes 30 seconds, an arc length of 912.65 feet, a radius of 970.00 feet, and a chord bearing North 61 degrees 38 minutes 32 seconds East, 879.36 feet;

North 88 degrees 35 minutes 47 seconds East, 378.66 feet to the beginning of a curve to the right;

Thence with said curve to the right, having a central angle of 91 degrees 53 minutes 59 seconds, an arc length of 40.10 feet, a radius of 25.00 feet, and a chord bearing South 45 degrees 27 minutes 14 seconds East, 35.94 feet;

South 89 degrees 29 minutes 13 seconds East, 50.00 feet to the Place of Beginning and containing 1.59 acres of land, more or less.

DATE: APRIL 2023	SUNTERRA SECTION 25 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: BC Sunterra L.L.C. a Delaware Limited Partnership 336 James Tecord Road SW HUNTSVILLE, AL 35826 (713) 783-6702 Levi@BuiltToInvest.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration No. F-232790 & 100461000 1225 Corporate Drive, Suite 100 Rosenberg, TX 77471-2813 281.342.2033</small> Cjamnik@quiddity.com
SCALE NTS			
SHEET 18 OF 1			

K:\18537\18537-0053-00 Sunterra Section 25 WSD&P.dwg Design Phase\Planning\Map\Plat_Suntterra Sec 25 PR NO. 1.dwg Nov 28, 2023 - 8:30am CKJ

General Notes:

- AE "Aerial Easement"
- BL "Building Line"
- C.C.F. "County Clerk's File"
- FND. "Found 5/8" Iron Rod with Cap stamped "Jones|Carter""
- GBL "Garage Building Line"
- No "Number"
- O.P.R.W.C.T. "Official Public Records, Waller County, Texas"
- O.P.R.R.P.H.C.T. "Official Public Records of Real Property, Harris County, Texas"
- PAE/PUE. "Permanent Access Easement/Public Utility Easement"
- Pvt "Private"
- ROW "Right-of-Way"
- SSE "Sanitary Sewer Easement"
- STM SE "Storm Sewer Easement"
- Sq Ft "Square Feet"
- UE "Utility Easement"
- Vol — Pg — "Volume and Page"
- WLE "Waterline Easement"
- "Set 3/4-inch Iron Rod With Cap Stamped "Quiddity" as Per Certification"
- ① "Block Number"
- ↗ "Street Name Break"

- 1. This subdivision is proposed for single-family residential, detention, and other related uses.
- 2. The radius on all block corners is 25 feet, unless otherwise noted.
- 3. All easements are centered on lot lines unless otherwise shown. All 14 foot utility easements shown extend 7 feet on each side of a common lot line unless otherwise indicated.
- 4. With respect to recorded instruments within this plat, surveyor relied on City Planning Letter issued by Charter Title Company, CF No. 1076601800196A, Dated January 12, 2023.
- 5. All coordinates shown are grid based on the Texas Coordinate System of 1983, South Central Zone, and may be converted to surface by applying by the combined scale factor of 0.99989805999.
- 6. All bearings are based on the Texas Coordinate System of 1983, South Central Zone, and the project coordinates were determined with GPS observations. All of the distances shown are in U.S. survey feet.
- 7. A minimum of ten (10) feet shall be provided between sides of residential dwellings.
- 8. New development within the subdivision plat shall obtain a storm water quality permit before the issuance of any development permits.
- 9. Structures built on lots in the designated flood plain shall be elevated to two (2) feet or more above the 500-year floodplain. Within the 500-year, these structures must be elevated to one (1) foot above the 500-year floodplain elevation. No development permits will be issued in a Flood Hazard Area below the base flood elevation (B.F.E.). Contact the County Engineer's Office for specific information.
- 10. No structure in this subdivision shall be occupied until connected to a public sewer system.
- 11. No structure in this subdivision shall be occupied until connected to an individual water supply or a state - approved community water system.
- 12. This tract lies within Zone "A" with no defined BFE, Shaded Zone "X", and Unshaded Zone "X" of the Flood Insurance Rate Map, Community No. 480640, Map Number 48473C0375E, Panel 0375, suffix "E" dated February 18, 2009 and revised under LOMR 19-06-1115P-48640 dated April 27, 2020 for Waller County, Texas and incorporated areas. Shaded Zone "X"; is defined as areas of the 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than one foot or with drainage areas less than one square mile. Unshaded Zone "X"; is defined as areas determined to be outside the 0.2% annual chance floodplain. Zone "A" is defined as special Flood Hazard areas subject to inundation by the 1% annual chance flood, with no Base Flood Elevation determined.
- 13. Unless otherwise indicated, the building line (B.L.), whether one or more, shown on this subdivision plat are established to evidence compliance with the applicable provisions of Chapter 42, Code of Ordinances, City of Houston, Texas, in effect at the time this plat was approved, which may be amended from time to time.
- 14. Right-of-way easements for widening streets or improving drainage shall be maintained by the landowner until all street or drainage improvements are actually constructed on the property. The county has the right at any time to take possession of any street widening easement for construction, improvement or maintenance.
- 15. Right-of-way easements for widening streets or improving drainage shall be maintained by the landowner until all street or drainage improvements are actually constructed on the property. The county has the right at any time to take possession of any street widening easement for construction, improvement or maintenance.
- 16. The building of all streets, bridges or culverts is the responsibility of the owners in accordance with the plans prescribed by the Commissioners Court. The Commissioners Court assumes no obligation to build or maintain any of the streets shown on the plat or constructing any of the bridges or drainage improvements. Upon completion of all obligations by the developer and written approval from the Commissioners Court, the County will assume full responsibility for maintenance of the public streets. The county will assume no responsibility for the drainage ways or easements in the subdivision, other than those draining or protecting the streets. The county assumes no responsibility for the accuracy of representations by other parties on the plat. Flood plain data, in particular, may change depending on subsequent development. The owners of land covered by this plat must install at their own expense all traffic control devices and signage that may be required before the streets in the subdivision have finally been accepted for maintenance by the county. The property subdivided herein is further restricted in its use as specified under the terms and conditions of restrictions filed separately. A copy of said restrictions will be furnished by aforesaid BC Sunterra, LLC, a Texas Limited Liability Company, to the purchaser of each and every lot in the subdivision prior to culmination of each sale include certification that the subdivider has complied with the requirements of section 232.032 and that:
 - (a) the water quality and connections to the lots meet, or will meet, the minimum state standards;
 - (b) sewer connections to the lots or septic tanks meet, or will meet, the minimum requirements of state standards;
 - (c) electrical connections provided to the lot meet, or will meet, the minimum state standards; and
 - (d) gas connections, if available, provided to the lot meet, or will meet, the minimum state standards.
- 21. Project site is within City of Houston ETJ.
- 22. All pipelines within the platted area are shown hereon.
- 23. This subdivision contains one or more permanent access easements that have not been dedicated to or accepted by the City of Houston or any other local governmental agency as public right-of-way. The City of Houston has no obligation, nor does any other local governmental agency have any obligation, to maintain or improve any permanent access easement within the subdivision, which obligation shall be the sole responsibility of the owners of the property in this subdivision.
- 24. Elevations shown hereon are based on TSARP Monument 190105, being located along Pitts Road, approximately 1,485 feet north of the intersection of Pitts Road and Clay Road. Benchmark is west of Pitts Road and north of Cone Island Branch, on the north high bank of Cone Island Branch between the end of a guardrail and an existing fence running north-south. Elevation = 156.48' (NAVD88, 2001 Adjustment).
- 25. TBM "7520" being a set cotton picker spindle. Located on the west edge of asphalt in Schlipf Road, being +/- 2,490' North of the intersection of Schlipf Road and Clay Road, and +/- 2,786' South of the intersection of Schlipf Road and Stockdick School Road. Elevation = 164.00 (NAVD88, 2001 Adjustment).
- 26. Tract is subject to Declaration of Covenants, Conditions, and Restrictions recorded under C.C.F. NOS. 2100543, 2108796, 2109155, 2110496, 2112068, 2113020, and 2115251, O.P.R.W.C.T.
- 27. Tract is subject to Grant of Easement and Surface Use Agreement recorded under C.C.F. NOS. 1910725, 1910726, and 2007577, O.P.R.W.C.T.
- 28. Tract is subject to Detention Facilities Maintenance Agreement Recorded under C.C.F. NOS. 2009285, 2200987, 2200988, 2200989, 2200990, and 2202918, O.P.R.W.C.T.
- 29. Tract is subject to Short Form Blanket Easement for certain utilities granted to CenterPoint Energy Houston Electric, LLC, et al, in instrument recorded under Clerk's File No. 2301446, Official Public Records of Waller County, Texas

DATE: APRIL 2023	SUNTERRA SECTION 25 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: BC Sunterra LLC. a Delaware Limited Partnership 336 James Tecard Road SW HUNTSVILLE, AL 35826 (713) 783-8702 Levi@BuItToInvest.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration No. 133790 & 10046120 1129 Corporate Drive, Suite 100 Rosenberg, TX 77471-1281 281.342.2033</small> Cjamnik@quiddity.com
SCALE NTS			
SHEET 1C OF 1			

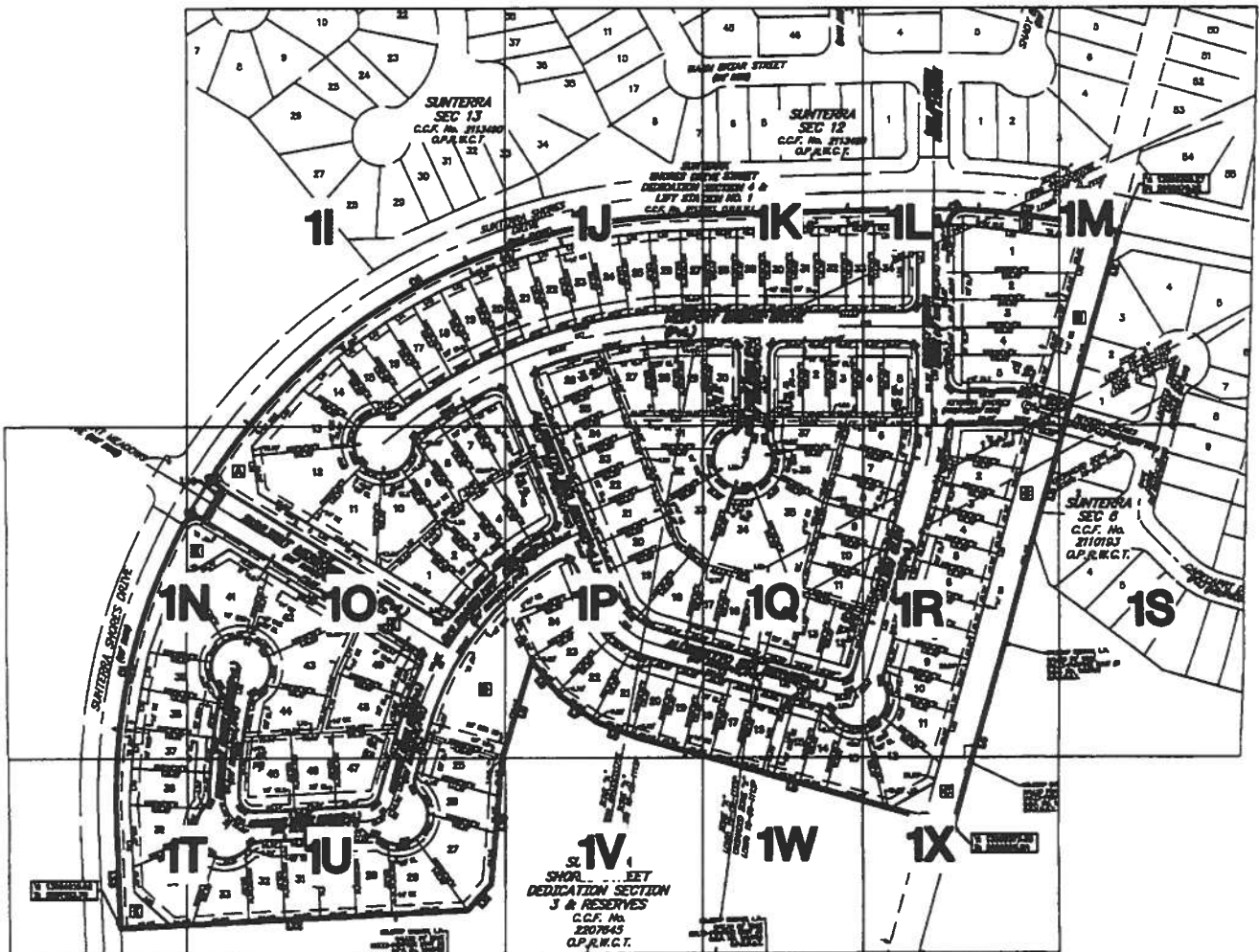
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[A] RESTRICTED RESERVE "A"
Restricted to Landscape, Open Space
and Incidental Utilities Purposes Only
0.93 AC
40,575 SQ FT

[B] RESTRICTED RESERVE "B"
Restricted to Landscape, Open Space
and Incidental Utilities Purposes Only
0.17 AC
7,545 SQ FT

DATE: APRIL 2023	SUNTERRA SECTION 25 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: BC Sunterra LLC. a Delaware Limited Partnership 336 James Tecord Road SW HUNTSVILLE, AL 35826 (713) 783-6702 Levi@BuiltToInvest.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. E-212790 & L2046120 1729 Corporate Drive, Suite 100 Houston, TX 77071-1281 361.263.1</small> Cjarnnik@quiddity.com
SCALE NTS			
SHEET 1D OF 1			

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SCALE: 1" = 300'

DATE: APRIL 2023	SUNTERRA SECTION 25 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: BC Sunterra LLC, a Delaware Limited Partnership 336 James Tecord Road SW HUNTSVILLE, AL 35826 (713) 783-8702 Levi@BuiltToInvest.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. 0-033780 & 12066120 1219 Corporate Drive, Suite 100 Rosenberg, TX 77471-2913 281.342.2033</small> Cjarnik@quiddity.com
SCALE 1" = 300'			
SHEET 1E OF 1			

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Certificate of Surveyor

This is to certify that I, Chris D. Kalkomey, a Registered Professional Land Surveyor of the State of Texas, have platted the above subdivision from an actual survey on the ground; and that all block corners, lot corners and permanent referenced monuments have been set, that permanent control points will be set at completion of construction and that this plat correctly represents that survey made by me.

A portion of this subdivision lies within the boundaries of any municipality's corporate city limits, or area of extra territorial jurisdiction.

A portion of this subdivision lies within the boundaries of the 1% annual chance (100 year) flood plain as delineated on Waller County Community Panel #480640 dated 2/18/2009, and revised in LOMR 19-06-1115P dated 4/27/2020.




Chris D. Kalkomey
Registered Professional Land Surveyor
Texas Registration No. 5869

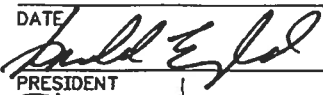


This is to certify that the Planning Commission of the City of Houston, Texas, has approved this plat and subdivision of Sunterra Section 25 in conformance with the laws of the State of Texas and the ordinances of the City of Houston, as shown hereon, and authorized the recording of this plat this 30 day of AUGUST, 2023..

By: 
Martha L. Stein or M. Sonny Garza
Title Chair Vice Chairman

By: 
Margaret Wallace Brown AICP, CNC-A
Secretary



BROOKSHIRE- KATY DRAINAGE DISTRICT Permit No. 2021-87 REVISED

4-24-23
DATE

PRESIDENT

SECRETARY

DISTRICT ENGINEER

THE ABOVE HAVE SIGNED THESE PLANS AND/OR PLAT BASED ON THE RECOMMENDATION OF THE DISTRICT'S ENGINEER WHO HAS REVIEWED ALL SHEETS PROVIDED AND FOUND THEM TO BE IN GENERAL COMPLIANCE WITH THE DISTRICT'S "RULES, REGULATIONS, AND GUIDELINES". THIS APPROVAL IS ONLY VALID FOR THREE HUNDRED SIXTY-FIVE (365) CALENDAR DAYS. AFTER THAT TIME RE-APPROVAL IS REQUIRED. PLEASE NOTE, THIS DOES NOT NECESSARILY MEAN THAT ALL THE CALCULATIONS PROVIDED IN THESE PLANS AND/OR PLATS HAVE BEEN COMPLETELY CHECKED AND VERIFIED. PLANS SUBMITTED HAVE BEEN PREPARED, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE ENGINEERING IN THE STATE OF TEXAS AND PLAT HAS BEEN SIGNED AND SEALED BY A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE OF TEXAS, WHICH CONVEYS THE ENGINEER'S AND/OR SURVEYOR'S RESPONSIBILITY AND ACCOUNTABILITY.

DATE: MAY 2022	SUNTERRA SECTION 25 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: Astro Sunterra L.P. a Delaware Limited Partnership 2450 FONDREN ROAD, SUITE 210 HOUSTON, TEXAS 77063 (713) 783-6702 Sabryant@landtejas.com	OWNER/DEVELOPER: BC Sunterra L.L.C. a Delaware Limited Partnership 336 James Tecard Road SW HUNTSVILLE, AL 35826 (713) 783-6702 Levi@BuiltToInvest.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration No. 23290 & 10046100 1229 Corporate Drive, Suite 100 Houston, TX 77071-2813 281 342 2033 CJamnik@quiddity.com
SCALE NTS				
SHEET 1F OF 1				

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STATE OF TEXAS §
COUNTY OF WALLER §

We, BC SUNTERRA, L.L.C., a Texas Limited Liability Company, acting by and through Levi Mixon, an authorized officer, owner hereinafter referred to as Owners of the 1.59 acre tract described in the above and foregoing map of Sunterra Section 25 Partial Replat No 1, do hereby make and establish said subdivision and development plan of said property according to all lines, dedications, restrictions, and notations on said maps or plat and hereby dedicate to the use of the public forever, all streets (except those streets designated as private streets, or permanent access easements), alleys, parks, water courses, drains, easements and public places shown thereon for the purposes and considerations therein expressed; and do hereby bind ourselves, our heirs, successors and assigns to warrant and forever defend the title on the land so dedicated.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional eleven feet, six inches (11' 6") for ten feet (10' 0") perimeter ground easements or seven feet, six inches (7' 6") for fourteen feet (14' 0") perimeter ground easements or five feet, six inches (5' 6") for sixteen feet (16' 0") perimeter ground easements, from a plane sixteen feet (16' 0") above the ground level upward, located adjacent to and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals twenty one feet, six inches (21' 6") in width.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional ten feet (10' 0") for ten feet (10' 0") back-to-back ground easements, or eight feet (8' 0") for fourteen feet (14' 0") back-to-back ground easements or seven feet (7' 0") for sixteen feet (16' 0") back-to-back ground easements, from a plane sixteen feet (16' 0") above ground level upward, located adjacent to both sides and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals thirty feet (30' 0") in width.

FURTHER, all of the property subdivided in the above and foregoing plat shall be restricted in its use, which restrictions shall run with the title to the property and shall be enforceable at the option of Waller County, by Waller County, or any citizen thereof, by injunction as follows:

- 1. That drainage of septic tanks into roads, streets, alleys or public ditches, streams, ect., either directly or indirectly is strictly prohibited.
- 2. All stock animals, horses and fowl, shall be fenced in and not allowed to run at large in the subdivision.
- 3. Drainage structures under private drives shall have a new drainage opening area of sufficient size to permit the free flow of water without backwater and shall be a minimum of one and three quarters (1-1/4) square feet (15" diameter pipe) reinforced concrete pipe, unless specified by the County Road Administrator or County Engineer. Culverts and bridges must be used for all driveway and/or walks, although dip-style driveways are encouraged where appropriate.
- 4. Property owners will obtain Development Permits/Permit Exemptions from the County Flood Plain Administrator for all development.
- 5. There are no underground pipelines within the confines of the subdivision except as shown on the plat.
- 6. There shall be no sanitary sewer systems or any water well constructed within 50 feet of any lot line that does not adjoin with a public road.

FURTHER, Owners hereby certify that this replat does not attempt to alter, amend, or remove any covenants or restrictions; we further certify that no portion of the preceding plat was limited by deed restriction to residential use for not more than two (2) residential units per lot. IN TESTIMONY WHEREOF, the BC SUNTERRA, L.L.C., a Texas Limited Liability Company has caused these presents to be signed by Levi Mixon, its Authorized Officer, thereunto, this 6th day of June 2023.

BC SUNTERRA, L.L.C.,
a Texas Limited Liability Company

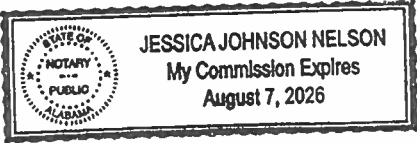
By: Levi Mixon
Levi Mixon, Authorized Officer

Alabama
STATE OF TEXAS §
Jefferson
COUNTY OF WALLER §

BEFORE ME, the undersigned authority, on this day personally appeared Levi Mixon, Authorized Officer, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 6th day of June 2023.

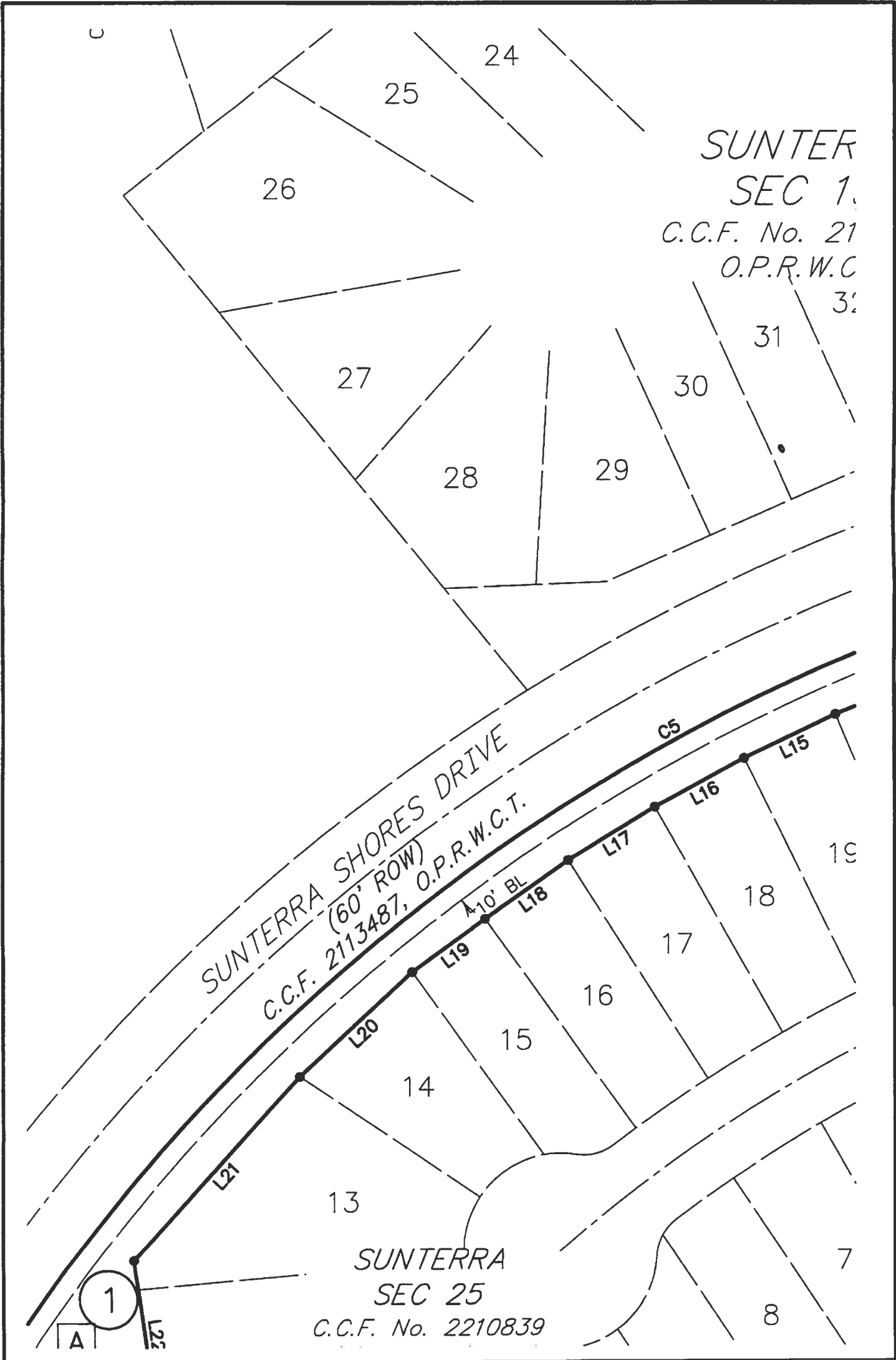
Jessica Johnson Nelson
Notary Public in and for the State of ~~Texas~~ Alabama
Jessica Johnson Nelson
Print Name



My commission expires: August 7, 2026

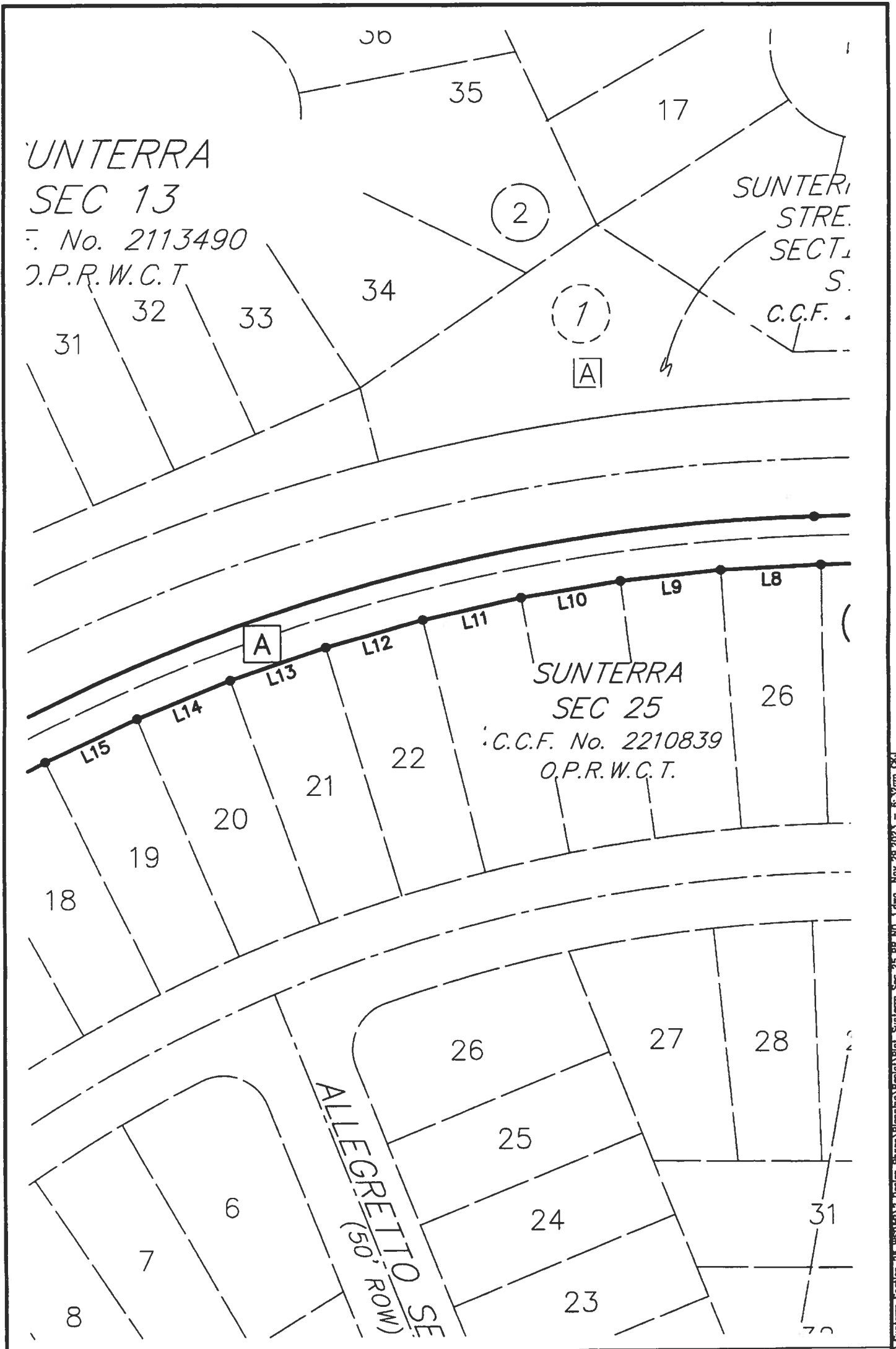
DATE: APRIL 2023	SUNTERRA SECTION 25 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: BC Sunterra L.L.C. a Delaware Limited Partnership 336 James Tecord Road SW HUNTSVILLE, AL 35826 (713) 783-6702 Levi@BuiltToInvest.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. E-23270 & L2045120 1229 Corporate Drive, Suite 123 • Huntsville, TN 37419 • 252.342.2013</small> Cjannik@quiddity.com
SCALE NTS			
SHEET 1G OF 1			

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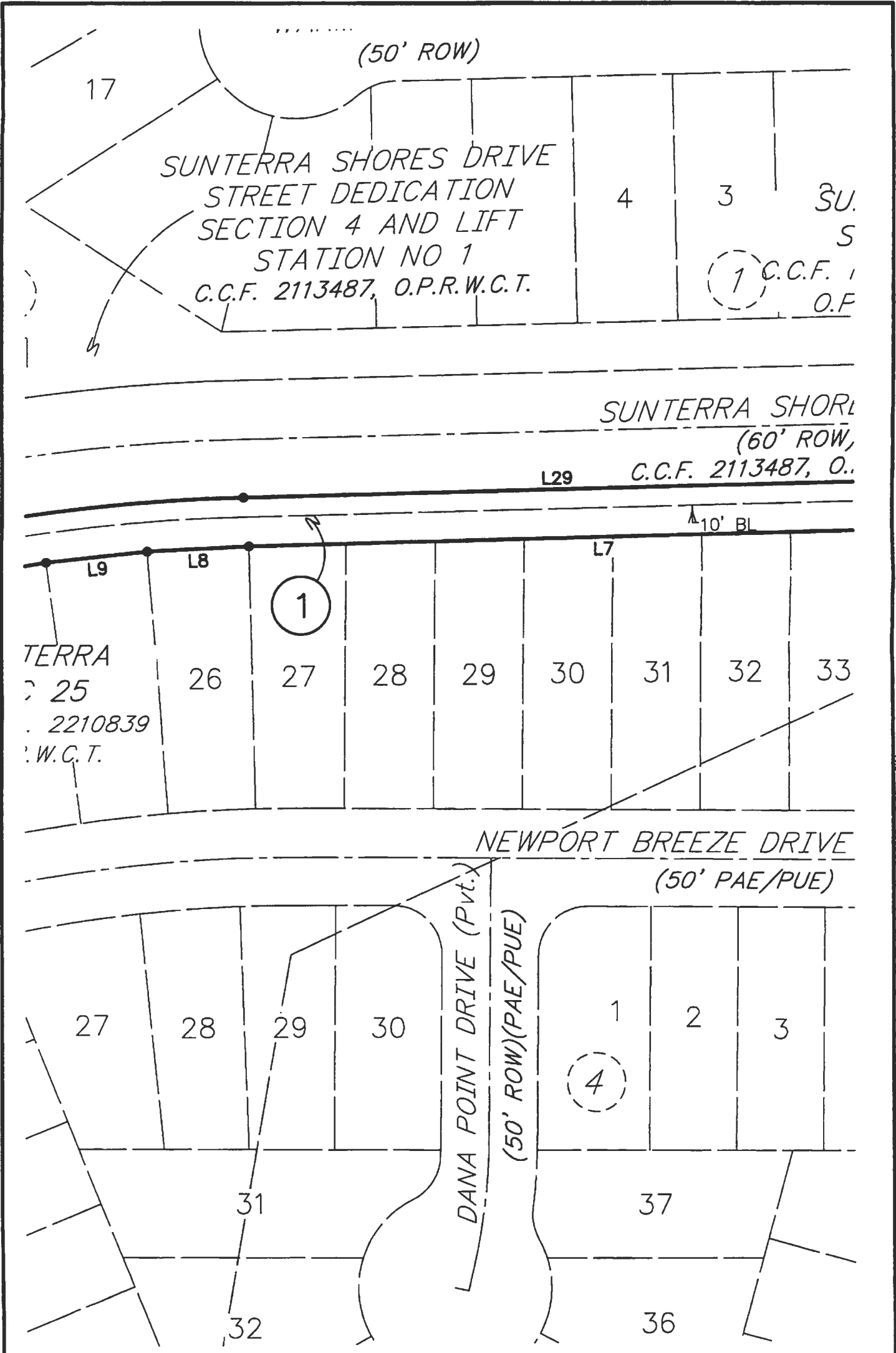
DATE: APRIL 2023	SUNTERRA SECTION 25 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: BC Sunterra LLC, a Delaware Limited Partnership 338 James Tecord Road SW HUNTSVILLE, AL 35826 (713) 783-6702 Levi@BuiltToInvest.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration No. 123790 & 12046100 1229 Corporate Drive, Suite 100 Auburn, TX 77705-281342.2013</small> Cjarnik@quiddity.com
SCALE 1"=60'			
SHEET 11 OF 1			


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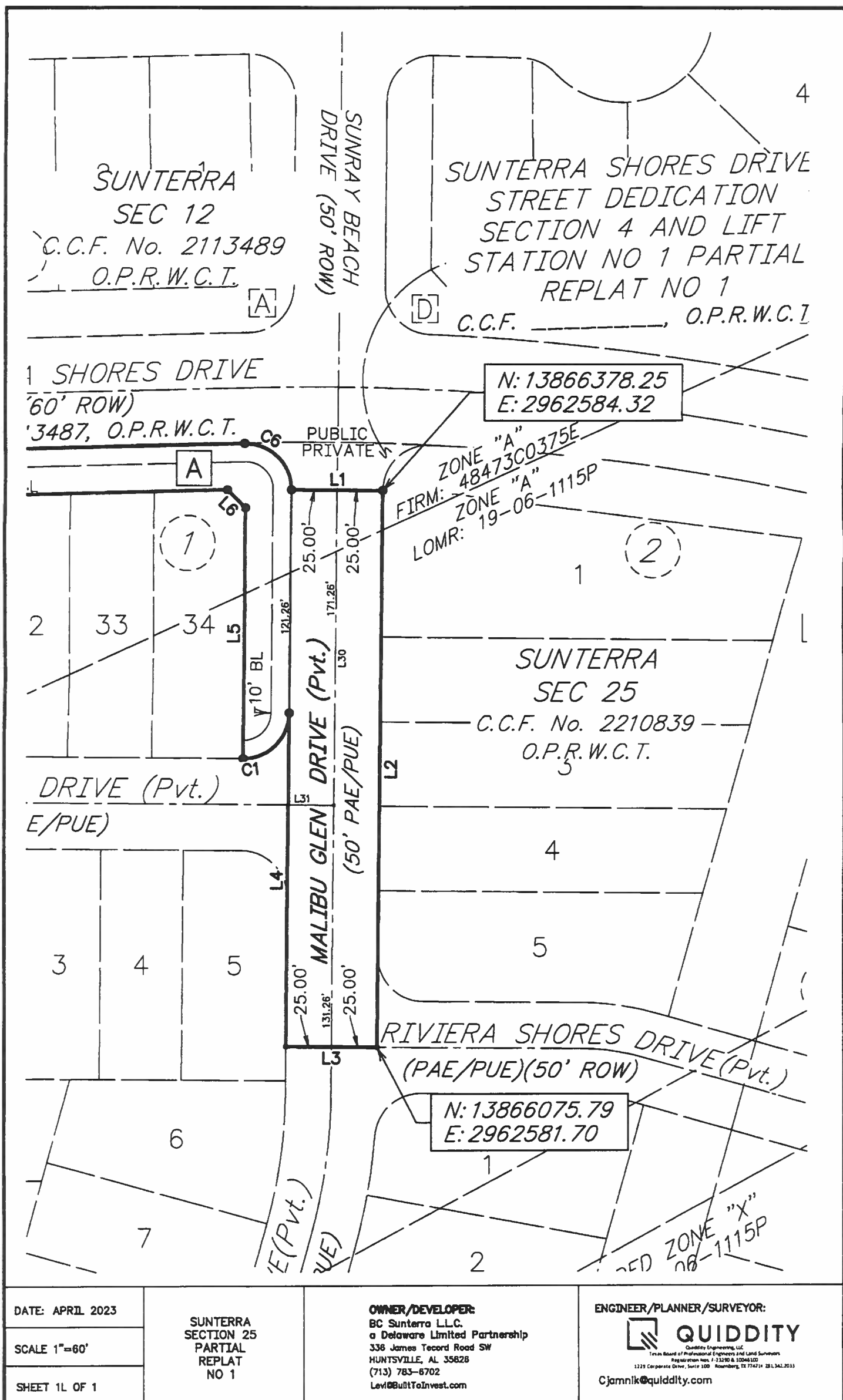
DATE: APRIL 2023	SUNTERRA SECTION 25 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: BC Sunterra LLC, a Delaware Limited Partnership 338 James Tecord Road SW HUNTSVILLE, AL 35826 (713) 783-8702 Lev08uItToInvest.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration No. E-12120 & L2041109 1219 Corporate Drive, Suite 100 - Rosenberg, TX 77471-2813-2031</small> Cjarnik@quiddity.com
SCALE 1"=60'			
SHEET 1J OF 1			

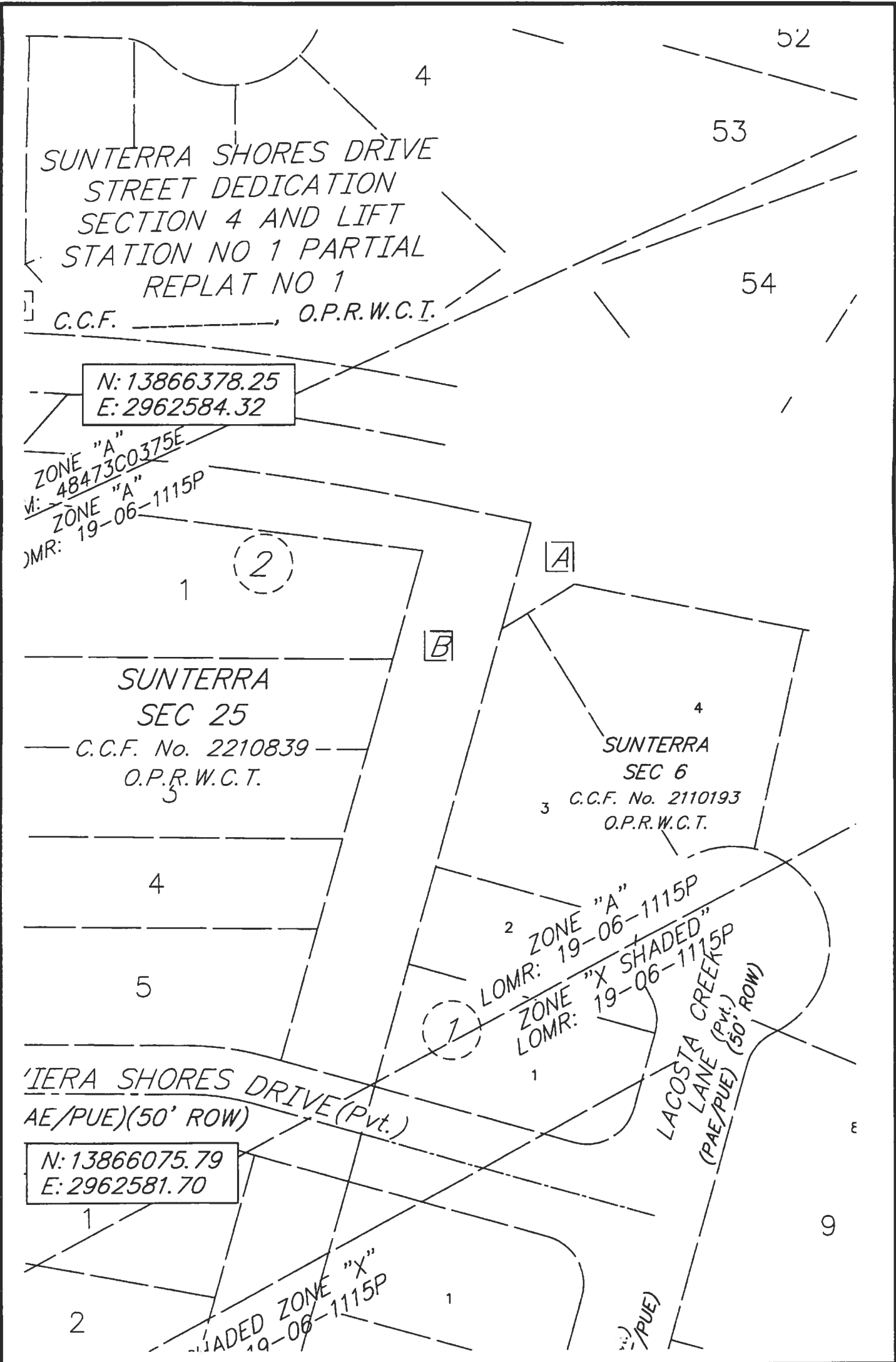
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DATE: APRIL 2023	SUNTERRA SECTION 25 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: BC Sunterra LLC a Delaware Limited Partnership 336 James Tecord Road SW HUNTSVILLE, AL 35826 (713) 763-6702 Levi@BuiltToInvest.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration No. 1-33290 & 10048100 1219 Corporate Drive, Suite 100 Auburn, AL 36832-3633</small> Cjornik@quiddity.com
SCALE 1"=60'			
SHEET 1K OF 1			

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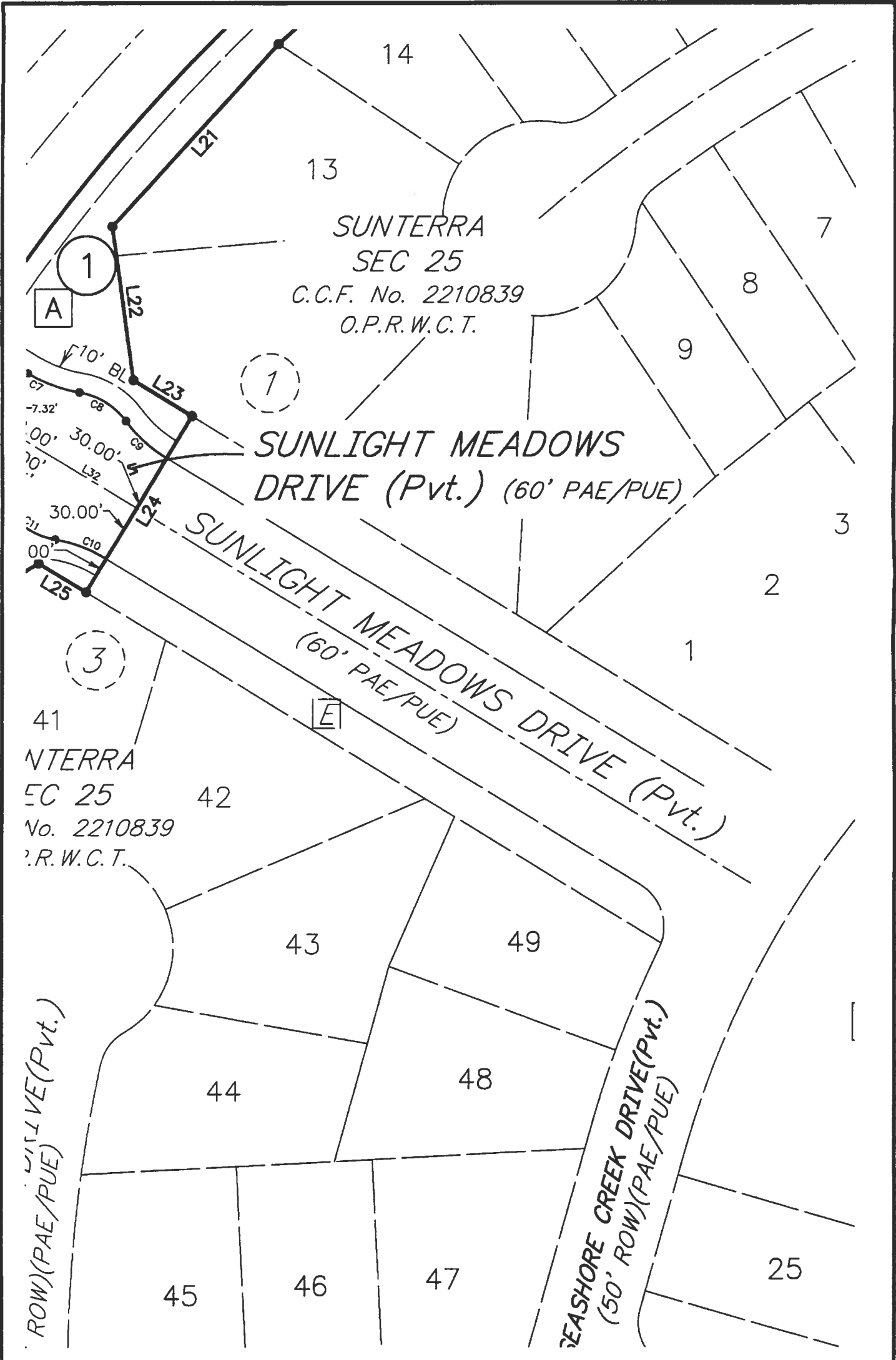


DATE: APRIL 2023	SUNTERRA SECTION 25 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: BC Sunterra LLC. a Delaware Limited Partnership 336 James Tecord Road SW HUNTSVILLE, AL 35826 (713) 783-8702 Levi@BuiltToInvest.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. 7-23790 & 10046-120 1279 Corporate Drive, Suite 1200 - Houston, TX 77071-2811 281.942.3031</small> Cjarnik@quiddity.com
SCALE 1"=60'			
SHEET 1M OF 1			

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Clamnk@quiddity.com



DATE: APRIL 2023	SUNTERRA SECTION 25 PARTIAL REPLAT NO 1	OWNER/DEVELOPER: BC Sunterra LLC, a Delaware Limited Partnership 336 James Tecord Road SW HUNTSVILLE, AL 35826 (713) 783-6702 Levi@BuiltToInvest.com	ENGINEER/PLANNER/SURVEYOR:  QUIDDITY <small>Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration No. F-12790 & 10094300 1225 Corporate Drive, Suite 100 • Houston, TX 77071 • 281.341.2031</small> CJamnik@quiddity.com
SCALE 1"=60'			
SHEET 10 OF 1			

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NOTICE OF PROPOSED UTILITY WORK IN WALLER COUNTY RIGHT-OF-WAY

Formal notice is hereby given that Elite Utility (utility contractor) proposes to place a Fiber Optic Cable within the right-of-way of Woods Rd as follows:
(street)

Provide details for location, length, construction method, design (i.e. the dimensions from ROW line, edge of curb or pavement), etc

Construction will be buried fiber optic cable parallel to Woods Rd. Construction begins at 29.763792° -95.920660°, and ends at 29.752367° -95.920484° within 3' of the ROW.

The Fiber Optic Cable will be constructed and maintained on the road right-of-way as directed by Waller County Road & Bridge in accordance with governing laws. Our firm further understands that the County considers proper traffic control measures as those complying with applicable portions of the Texas Manual on Uniform Traffic Control Devices required for adoption by the "Transportation Code" (Ch 251).

The location and description of the proposed work and appurtenances is more fully shown by a PDF drawing and traffic control attached to this notice.

Construction is proposed to begin on or after the 2nd day of January, 2024.
Firm: BTEC Address: 314 W. Texas P.O. Box 2008
By: Jonathan Champagne Beaumont TX 77422
Signature: Jonathan Champagne Phone: 979-798-2121
Title: Director of Operations Email: Jonathan@BTEC.com

APPROVAL

This application is hereby approved subject to the following understandings and restrictions.

It is expressly understood that the said Waller County does not hereby imply to grant any right, claim, title or easement in or upon this County Road; and it is further understood that in the future, should Waller County, for any reason, need to work, improve, relocate, widen, increase, add to, decrease, or in any manner change the structure of this road or right-of-way, this line, if affected, will be moved at the direction of the Waller County Engineer or Road Administrator with thirty (30) days written notice.

This installation work shall not damage any part of the roadway and adequate provisions shall be made to cause a minimum of inconvenience to traffic and adjacent property owners. Permit shall be effective upon acceptance date of Formal Notice presentation in Commissioners Court, for a duration of one (1) year, with the opportunity of a six (6) month extension after a written request is sent and approved by the County Engineer.

APPROVED BY WALLER COUNTY ROAD & BRIDGE DEPT.

[Signature]
County Engineer or Road Administrator

12-15-23

Date

Traffic Controls Required: ☒ Y ☐ N
Traffic Controls Reviewed By: ASPA
Bond: ☒ Y ☐ N Bond Amount (\$): 2000
Floodplain Dev. Permit Required: Y ☒ N
Permit #: _____ Precinct #: 4
R&B Inspector: Robert J. P. Goodspeed

Waller County Road & Bridge Department

775 Business 290 East, Hempstead, TX 77445 Phone (979) 826-7670

**PERMIT TO CONSTRUCT UTILITY
IN WALLER COUNTY RIGHT-OF-WAY**

ROAD: **Woods Rd**

DATE: **1/10/2024**

To: Elite Utility
BTEC
P O Box 2008
Brazoria, TX 77422
Permit # 23.UP.050

The location on the right-of-way of your proposed buried line as shown by the accompanying notice dated **1/02/2024** is approved.

Your attention is directed to Art. 1436A (for power lines) and Art. 1416 (for communication lines) Vernon's Annotated Texas Civil Statutes with particular attention to the following provisions:

1. The Court Commission may designate the place along the right-of-way where such lines shall be constructed.
2. Emplacement of buried lines shall be a minimum of 36 inches below the flow line of the existing ditch. For installations parallel to the right-of-way, the utility shall be located within three (3) feet of the edge of the right-of-way, unless otherwise approved by the County.
3. All placement of lines beneath roadways and asphalt or concrete paved driveways shall be jacked or bored. No open cut will be allowed within five feet of the edge of roadways or such driveways. Open cuts on unpaved driveways shall be performed only with a trenching machine and shall not be excavated. In such cases the trench shall be backfilled and compacted. The driveway surface shall be restored to its original condition. Any variance to these requirements shall have the Commissioners' Court approval.
4. All buried water lines shall be marked thoroughly with detectable tracer wire. All other lines shall be marked thoroughly with detectable underground warning tape. Public to be safe-guarded by use of construction signs and barricades. Identification markers shall be placed along right-of-way lines, that is readily identifiable, indicating name of Company, type of line and emergency contact number.
5. Restore roads to their original condition. Trench is to be back-tracked, dragged, graded and filled as necessary to minimize erosion and sedimentation resulting from the proposed installation. Ditches are to be left clear for drainage.
6. The Court Commission may require the owner to relocate this line, for valid reasons under the law by giving thirty (30) days written notice.

The contractor must notify the County Engineer at (979) 826-7670, forty-eight (48) hours prior to starting construction of the line in order that we may have a representative present. An inspection of the line installation is required prior to backfilling the excavation to confirm proper cover depth.

SPECIAL PROVISIONS:

WALLER COUNTY COMMISSIONERS' COURT

Carbett "Trey" J. Duhon III, County Judge

It is ORDERED by the Court on motion by Commissioner _____, duly seconded by Commissioner _____, that the above and foregoing request be and the same is hereby approved, with _____ members present voting in favor and _____ members present voting opposed. The County Engineer is authorized to comply with the above requests.

Date

Debbie Hollan, County Clerk

Deputy

Waller County ROW-Woods Rd

BOP: 29.763792° -95.920660°

EOP: 29.752367° -95.920484°

Proposed path of construction, parallel to Woods Rd. Placing new 1.25" HDPE interduct with fiber inside at a minimum depth of 60" (Bored) and 48" (Plowed). Placing new 36x36x36 handholes. All bore crossings will extend a minimum of 5' beyond edge of concrete pavement and 10' beyond edge of asphalt pavement.

Legend

- Bore
- Buried Fiber
- HH



General Notes

TX511 Brazoria Telephone
WALLER COUNTY
(T-Mobile)

Drawn By: ZL

File:Zcflanta/SPECIAL UNIT DRAWING

No.	Revision/Issue	Date

JSI, INC

6129 79th St.
Lubbock, Texas 79424
Office: 806-866-9800 Fax: 806-771-4468

BRAZORIA
TELEPHONE

Project	TX511	Sheet	
Date	12/7/2023		
Scale	N.T.S.		

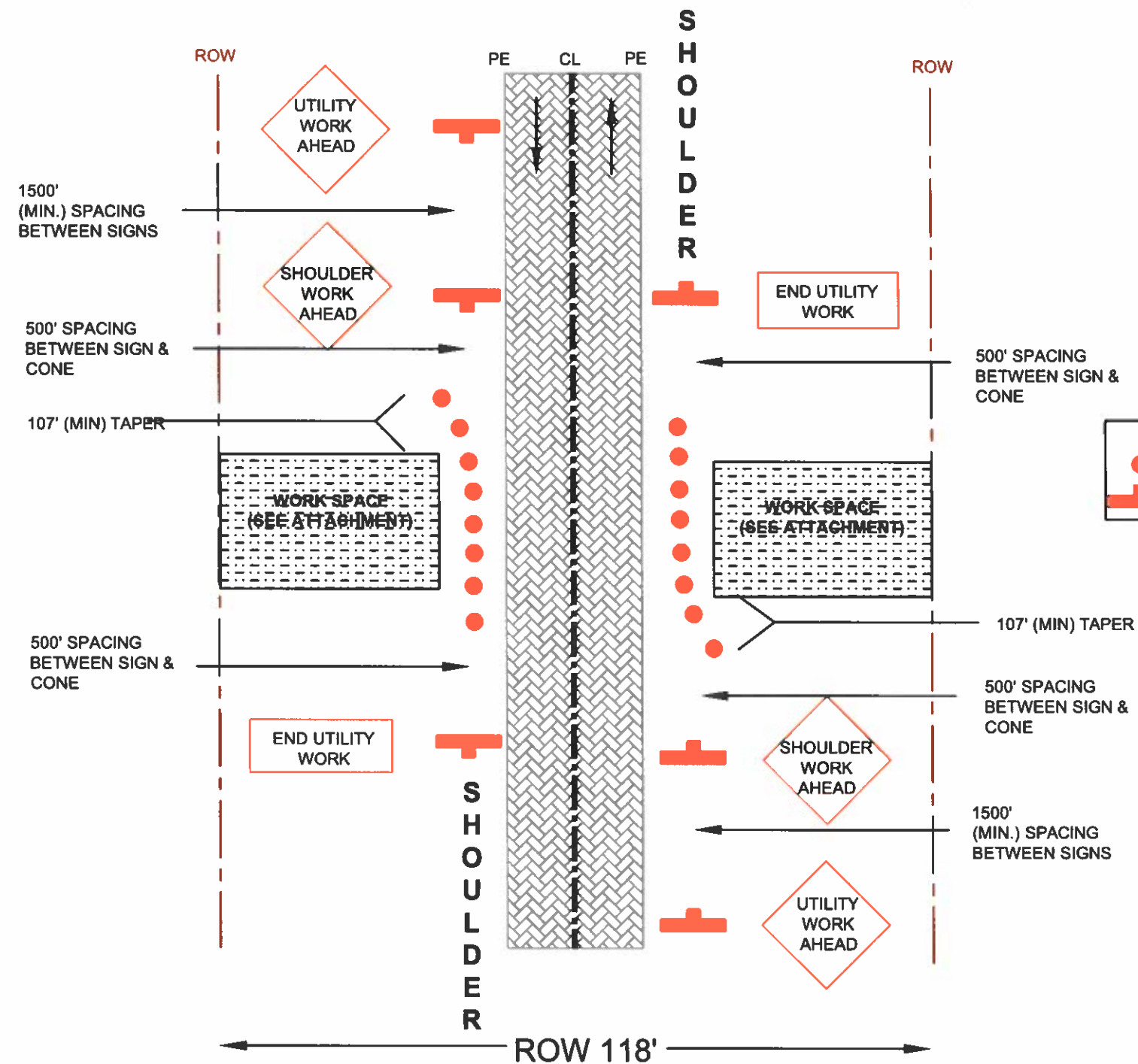
35 MPH-
TAPER LENGTH: 245 FT
BUFFER ZONE: 250 FT
DRUM SPACING @ TAPER: 25 FT
DRUM SPACING 2 TANGENT: 70 FT

40 MPH-
TAPER LENGTH: 320 FT
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65 MPH-
TAPER LENGTH: 780 FT
BUFFER ZONE: 655 FT
DRUM SPACING @ TAPER: 65 FT
DRUM SPACING 2 TANGENT: 130 FT



LEGEND

- CONE
- SIGN

NOTICE OF PROPOSED UTILITY WORK IN WALLER COUNTY RIGHT-OF-WAY

Formal notice is hereby given that Elite Utility (utility contractor) proposes to place a Fiber Optic Cable within the right-of-way of Jordan Ranch Blvd as follows:
(street)

Provide details for location, length, construction method, design (i.e. the dimensions from ROW line, edge of curb or pavement), etc.

Construction will be buried fiber optic cable parallel to Jordan Ranch Blvd. Construction begins at 29.771016° -95.901435°, and ends at 29.769675° -95.901449° within 3' of the ROW.

The Fiber Optic Cable will be constructed and maintained on the road right-of-way as directed by Waller County Road & Bridge in accordance with governing laws. Our firm further understands that the County considers proper traffic control measures as those complying with applicable portions of the Texas Manual on Uniform Traffic Control Devices required for adoption by the "Transportation Code" (Ch 251).

The location and description of the proposed work and appurtenances is more fully shown by a PDF drawing and traffic control attached to this notice.

Construction is proposed to begin on or after the 2nd day of January, 20 24.

Firm: BTEC Address: 314 W. Texas P.O. Box 2008
Beaumont, TX 77822

By: Jonathan Champagne Phone: 979-798-2121

Signature: Jonathan Champagne Email: Jonathan@BTEC.com

Title: Director of Operations

APPROVAL

This application is hereby approved subject to the following understandings and restrictions.

It is expressly understood that the said Waller County does not hereby imply to grant any right, claim, title or easement in or upon this County Road; and it is further understood that in the future, should Waller County, for any reason, need to work, improve, relocate, widen, increase, add to, decrease, or in any manner change the structure of this road or right-of-way, this line, if affected, will be moved at the direction of the Waller County Engineer or Road Administrator with thirty (30) days written notice.

This installation work shall not damage any part of the roadway and adequate provisions shall be made to cause a minimum of inconvenience to traffic and adjacent property owners. Permit shall be effective upon acceptance date of Formal Notice presentation in Commissioners Court, for a duration of one (1) year, with the opportunity of a six (6) month extension after a written request is sent and approved by the County Engineer.

APPROVED BY WALLER COUNTY ROAD & BRIDGE DEPT.

[Signature]
County Engineer or Road Administrator

12-14-23

Date

Traffic Controls Required: Y N

Traffic Controls Reviewed By: RSPG

Bond: Y N Bond Amount (\$): 5000.00

Floodplain Dev. Permit Required: Y N

Permit #: _____ Precinct #: 9

R&B Inspector: ROBERT J.P. GOODSPREAD

Waller County Road & Bridge Department

775 Business 290 East, Hempstead, TX 77445 Phone (979) 826-7670

**PERMIT TO CONSTRUCT UTILITY
IN WALLER COUNTY RIGHT-OF-WAY**

ROAD: **Jordan Ranch Blvd**

DATE: **1/10/2024**

To: Elite Utility
BTEC
P O Box 2008
Brazoria, TX 77422
Permit # 23.UP.049

The location on the right-of-way of your proposed buried line as shown by the accompanying notice dated **1/02/2024** is approved.

Your attention is directed to Art. 1436A (for power lines) and Art. 1416 (for communication lines) Vernon's Annotated Texas Civil Statutes with particular attention to the following provisions:

1. The Court Commission may designate the place along the right-of-way where such lines shall be constructed.
2. Emplacement of buried lines shall be a minimum of 36 inches below the flow line of the existing ditch. For installations parallel to the right-of-way, the utility shall be located within three (3) feet of the edge of the right-of-way, unless otherwise approved by the County.
3. All placement of lines beneath roadways and asphalt or concrete paved driveways shall be jacked or bored. No open cut will be allowed within five feet of the edge of roadways or such driveways. Open cuts on unpaved driveways shall be performed only with a trenching machine and shall not be excavated. In such cases the trench shall be backfilled and compacted. The driveway surface shall be restored to its original condition. Any variance to these requirements shall have the Commissioners' Court approval.
4. All buried water lines shall be marked thoroughly with detectable tracer wire. All other lines shall be marked thoroughly with detectable underground warning tape. Public to be safe-guarded by use of construction signs and barricades. Identification markers shall be placed along right-of-way lines, that is readily identifiable, indicating name of Company, type of line and emergency contact number.
5. Restore roads to their original condition. Trench is to be back-tracked, dragged, graded and filled as necessary to minimize erosion and sedimentation resulting from the proposed installation. Ditches are to be left clear for drainage.
6. The Court Commission may require the owner to relocate this line, for valid reasons under the law by giving thirty (30) days written notice.

The contractor must notify the County Engineer at (979) 826-7670, forty-eight (48) hours prior to starting construction of the line in order that we may have a representative present. An inspection of the line installation is required prior to backfilling the excavation to confirm proper cover depth.

SPECIAL PROVISIONS:

WALLER COUNTY COMMISSIONERS' COURT

Carbett "Trey" J. Duhon III, County Judge

It is ORDERED by the Court on motion by Commissioner _____, duly seconded by Commissioner _____, that the above and foregoing request be and the same is hereby approved, with _____ members present voting in favor and _____ members present voting opposed. The County Engineer is authorized to comply with the above requests.

Date

Debbie Hollan, County Clerk

Deputy


Waller County ROW-Jordan Ranch Blvd

BOP: 29.771016° -95.901435°

EOP: 29.769675° -95.901449°

Proposed path of construction, parallel to Jordan Ranch Blvd. Placing new 1.25" HDPE interduct with fiber inside at a minimum depth of 60" (Bored) and 48" (Plowed). Placing new 36x36x36 handholes. All bore crossings will extend a minimum of 5' beyond edge of concrete pavement and 10' beyond edge of asphalt pavement.

Legend

 **Buried Fiber**
Bore

HH

Google Earth

Image © 2023 Airbus

900 ft

General Notes

TX511 Brazoria Telephone
WALLER COUNTY
(T-Mobile)

Drawn By: ZL

File: Zcollanta/SPECIAL UNIT DRAWING

No.	Revision/Issue	Date

JSI, INC

6128 79th St.
Lubbock, Texas 79424
Office: 806-866-9900 Fax: 806-771-4488

BRAZORIA
TELEPHONE

Project
TX511

Date
12/7/2023

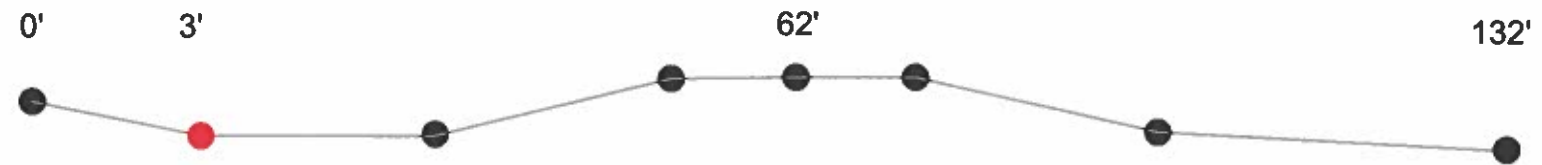
Scale
N.T.S.

Sheet

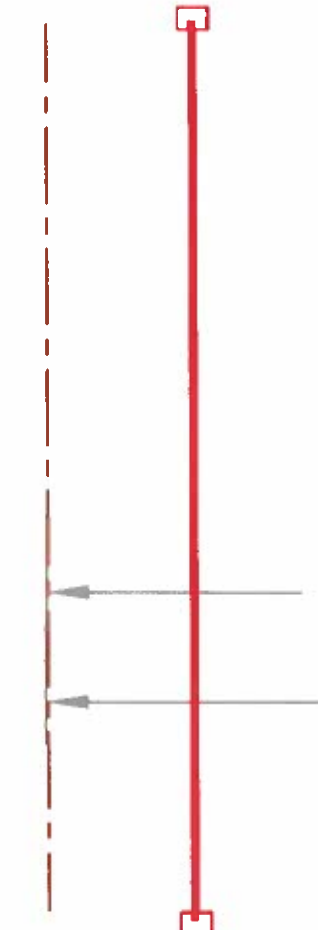
29.771016°
-95.901435°
BOP

29.769675°
-95.901449°
EOP

FOOTAGE

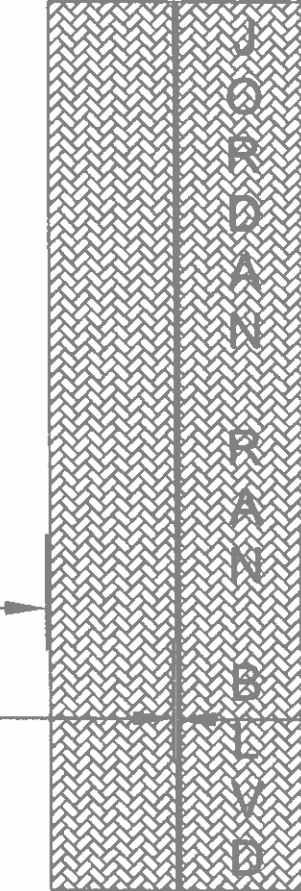


ROW New Handhole



New Handhole

PE CL PE



WALLER COUNTY PARALLEL

ROW



24'

62'

32'

70'

76'

PROPOSED BURIED FIBER CABLE

General Notes

TX511 Brazoria Telephone
WALLER COUNTY
(T-Mobile)

Drawn By: ZL

File: Z:\clients\SPECIAL UNIT DRAWING

No.

Revision/Issue

Date

JSI, INC

8129 79th St.
Lubbock, Texas 79424
Office: 806-866-9900 Fax: 806-771-4488

BRAZORIA
TELEPHONE

Project
TX511

Date
12/7/2023

Scale
N.T.S.

Sheet

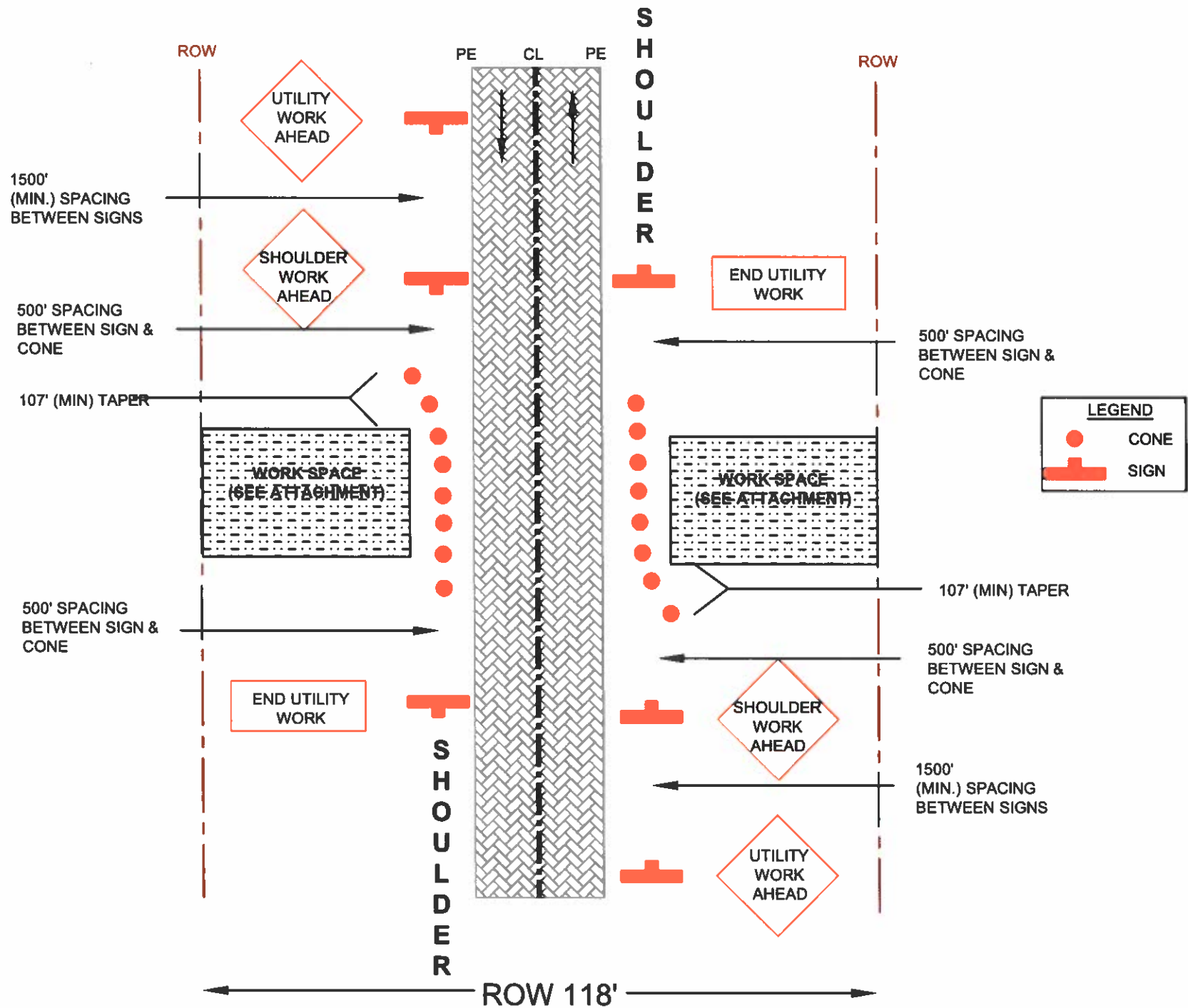
35 MPH-
TAPER LENGTH: 245 FT
BUFFER ZONE: 250 FT
DRUM SPACING @ TAPER: 25 FT
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65 MPH-
TAPER LENGTH: 780 FT
BUFFER ZONE: 655 FT
DRUM SPACING @ TAPER: 65 FT
DRUM SPACING 2 TANGENT: 130 FT



**INVOICE**

Invoice No:
Invoice Date:
Page:

~~00000~~15267
11/29/23
1 of 1

Remit To:

Harris County Accounts Receivable – General
Dept 300
PO Box 4354
Houston, TX 77210-4354

Customer No:

0000003180

Payment Terms:

Net 30

Due Date:

12/29/23

Bill To:

WALLER COUNTY
ATTN CO TREASURER
836 AUSTIN ST STE 316
HEMPSTEAD TX 77445
United States

AMOUNT DUE:**2,977.00 USD**

 Amount Remitted

For billing questions, please call Accounts Receivable at
(832) 927-4550

Line	Description	Quantity	UOM	Unit Amt	Original Net Amount
1	Out of County Autopsies "OC23-012; ; Autopsy Date: 02/28/2023; Judge J.R. Woolley; 2 days x \$45.00 per day = \$90.00 "	2.00	EA	45.00	90.00
2	Out of County Autopsies "OC23-012; Autopsy Date: 02/28/2023; Judge J.R. Woolley; Report Mailed to Judge 06/23/2023"	1.00	EA	2,887.00	2,887.00

Subtotal:

2,977.00

AMOUNT DUE:**2,977.00 USD**

PLEASE MAKE PROMPT PAYMENT. ACCOUNTS NOT PAID IN FULL BY THE DUE DATE WILL BE REFERRED TO THE HARRIS COUNTY
ATTORNEY'S OFFICE FOR COLLECTIONS.

MICHAEL POST
HARRIS COUNTY AUDITOR
1001 Preston, Suite 800
Houston, Texas 77002
(832)927-4550

NOV30'23PM3:22TREASURER

DEC1'23AM11:45AUDITOR

Registration # **008984**
Joan Sargent Waller Co. Treasurer
Deputy JC Date 12.1.23

Magnolia Funeral Home, Inc.

811 S. Magnolia

Magnolia, TX 77355

281-356-3363

INVOICE

December 8, 2023

Registration # 009186
Joan Sargent Waller Co. Treasurer
Deputy TC Date 12-12-23

Waller County

836 Austin St., Ste. 316

Hempstead, TX 77445

Regarding: Transport of decedent [REDACTED] in a heavy duty body bag, on
December 7, 2023, to the Fort Bend County Medical Examiner's office at the request of Judge
J.R. Woolley, Precinct 2 Justice of the Peace.

TOTAL DUE: \$1,295

Please remit to the address shown above.

Cordially,



Glenn Addison, owner

DEC11'23PM1:18TREASURER

DEC12'23AM10:15AUDITOR

**Bill to:**

Waller County
Attn. Trey Duhon
836 Austin Street
Hempstead, Texas 77445



Please remit payment to:
National Association of Counties
PO Box 38059
Baltimore, MD 21297-8059
Phone: 888.407.NACo (6226)
EIN# 53-0190321

For ACH payments or questions, please
contact NACo at membership@naco.org

Invoice

Date	11/2/2023
Invoice #	202326754
Customer #	48473
Terms	Upon Receipt
Balance	\$679.00

Our LockBox address has changed to PO Box 38059

Item	Amount	Total
COUNTY DUES - for the period of 01/01/2024 to 12/31/2024	\$679.00	\$679.00

Thank you for your membership! NACo Membership extends to
all elected officials and staff.

Please include your state and membership number with
your payment.

We appreciate your partnership.

Total	\$679.00
Payments/Credits	\$0.00
Balance Due	\$679.00

DEC11'23PM1:18TREASURER

Want to learn more about making the most of your NACo membership?
Contact us at membership@naco.org.

Registration # 009183
Joan Sargent Waller Co. Treasurer
Deputy TC Date 12.12.23

PLEASE DETACH AND RETURN BOTTOM PORTION WITH YOUR PAYMENT

Our LockBox address has changed to PO Box 38059

Customer ID: 48473

Invoice Number: 202326754

Bill to:

Waller County
Attn. Trey Duhon
836 Austin Street
Hempstead, Texas 77445

Please remit payment to:
National Association of Counties
PO Box 38059
Baltimore, MD 21297-8059
Phone: 888.407.NACo (6226)
EIN# 53-0190321

For ACH payments or questions, please
contact NACo at membership@naco.org

DEC12'23AM10:14AUDITOR



Waller County
836 Austin Street
Hempstead, Texas 77445
United States

Your NACo membership is
more important than ever.

**Please send your 2024 dues
payment today!**

Counties, parishes, and boroughs continue to face a wide range of both opportunities and challenges. Renew your NACo membership now to keep Waller County as healthy, safe, and vibrant as it can be.

Your membership in NACo is an investment for all elected officials and staff, ultimately benefiting residents and saving taxpayer dollars. The shared solutions, resources, federal advocacy, and the expertise of NACo staff make NACo membership more valuable than ever.

As you will see on the enclosed 2023 NACo Advocacy in Action letter, we continue to make progress on your behalf to ensure county needs are met in federal legislative packages, including the Bipartisan Infrastructure Law and so much more. NACo is your voice in Washington D.C. on issues ranging from broadband to roads and bridges to public lands to mental health.

Please take a moment to review your statement and start the process to send in your membership dues of \$679 for 2024.

NACo continues to work by your side so you can focus on issues that matter in Waller County. Thank you in advance and we look forward to partnering with you again next year.

Sincerely,



Hon. Tammy Tincher
Chair, NACo Membership Standing Committee
Greenbrier County, W.Va.

P.S. If you have already sent your dues payment, please disregard this mailing.

2025 DUES NOTICE

The NACo Board of Directors has approved an update to NACo dues based on 2020 census data, taking effect on January 1, 2025.

The dues change will reflect Waller County's 2020 U.S. Census population.

Based on updated census data, your NACo dues will be \$781 for the 2025 membership year.

With the updated dues amount, Waller County will have 1 <vote/votes> during the NACo Annual Business meeting starting in 2025.

If you have any questions about the population adjustment, please contact the NACo team at membership@naco.org.

INTERLOCAL AGREEMENT FOR PURCHASE OF REMOTE SENSING DATA AND RELATED SERVICES

THIS INTERLOCAL AGREEMENT (“Agreement”), made and entered by and between the Houston-Galveston Area Council, hereinafter referred to as H-GAC, having its principal place of business at 3555 Timmons Lane, Suite 120, Houston, Texas 77027 and Waller County, a body corporate and politic under the laws of the State of Texas, hereinafter referred to as the “County” having its principal place of business at 836 Austin St., Hempstead, TX 77445.

WITNESSETH:

WHEREAS, H-GAC is a regional planning commission operating under Chapter 391 Texas Local Government Code; and

WHEREAS, County desires to purchase certain governmental administrative functions, goods, or services specific to remote sensing including LiDAR (Light Detection and Ranging) and all associated remote sensing related services, and

WHEREAS, H-GAC hereby agrees to perform the scope of services outlined in Article 5 as hereinafter specified in accordance with the Agreement, and

WHEREAS, under the provisions of the Interlocal Cooperation Act, Chapter 791, Texas Government Code, H-GAC and County are authorized to enter into agreements to perform governmental functions and services, and under Texas District Code § 391.005, H-GAC and County are authorized to contract together for H-GAC to perform certain services for County.

NOW, THEREFORE, H-GAC and County do hereby agree as follows:

ARTICLE 1 LEGAL AUTHORITY

County warrants and assures H-GAC that it possesses adequate legal authority to enter into this Agreement. H-GAC warrants and assures County that it possesses adequate legal authority to enter into the Agreement.

ARTICLE 2 APPLICABLE LAWS

H-GAC and County agree to conduct all activities under this Agreement in accordance with all applicable rules, regulations, ordinances and laws in effect or promulgated during the term of this Agreement.

ARTICLE 3 WHOLE AGREEMENT

The Interlocal Agreement and Attachments, as provided herein, constitute the complete Agreement between the parties hereto, and supersedes any and all oral or written agreements between the parties relating to matters herein. This Agreement cannot be modified without written consent of the parties.

ARTICLE 4 PERFORMANCE PERIOD

The term of this Interlocal Agreement shall be effective when fully executed by all parties and continue thereafter until fully performed.

H-GAC or County may cancel this Agreement at any time upon 30 days written notice to the other party to this Agreement. The obligations of County, including its obligation to pay H-GAC for all costs incurred under this Agreement prior to such notice shall survive such cancellation, as well as any other obligation incurred under the Agreement, until performed or discharged by H-GAC or County.

ARTICLE 5 SCOPE OF SERVICES

H-GAC agrees to purchase for County remote sensing data and all associated remote sensing services on behalf of County and the members of the Geographic Data Workgroup, as enumerated through the submission of a duly executed purchase order, order form, or resolution. All material purchased hereunder shall be in accordance with specifications established by County and approved by both the H-GAC's Data Analytics & Research Director and the H-GAC's Executive Director.

County authorizes H-GAC to purchase services and materials specified by a purchase order.

Ownership (title) of material purchased shall transfer directly from the vendor to County.

ARTICLE 6 PAYMENTS

County agrees that, upon the presentation by H-GAC of a properly documented, verified proof of performance and a statement of costs H-GAC has incurred in accordance with the terms of this Agreement, it shall pay H-GAC, from current revenues available to County during the current fiscal year, on or before the date of the delivery of materials and services to be provided.

ARTICLE 7 CHANGES AND AMENDMENTS

Any alterations, additions, or deletions to the terms of this Agreement which are required by changes in Federal and State law or regulations are automatically incorporated into this Agreement without written amendment hereto, and shall become effective on the date designated by such law or regulation. H-GAC may, from time to time, require changes in the scope of the services offered through the H-GAC Geographic Data Workgroup to be performed hereunder, with the prior written consent of the _____ of County or his/her designee.

ARTICLE 8 TERMINATION PROCEDURES

Either H-GAC or County may cancel or terminate this Agreement upon thirty (30) days written notice by certified mail to the other party. In the event of such termination prior to completion of any purchase provided for herein, County agrees to pay for services on a prorated basis for materials and services actually provided and invoiced in accordance with the terms of this Agreement, less payment of any compensation previously paid.

ARTICLE 9 NOTICE

All notices and communications under this Agreement shall be mailed by certified mail, return receipt requested, or delivered to the H-GAC at the following address:

Houston-Galveston Area Council
 3555 Timmons Lane Suite 120
 Houston, Texas 77027
Attn: Jochen Floesser, Director of Data Analytics & Research

All notices and communications under this Agreement shall be mailed by certified mail, return receipt requested, or delivered to the District at the following address:

Waller County
836 Austin St.
Hempstead, TX 77445
Attn: _____

ARTICLE 10 SEVERABILITY

All parties agree that should any provision of this Agreement be determined to be invalid or unenforceable, such determination shall not affect any other term of this Agreement, which shall continue in full force and effect.

ARTICLE 11 FUNDING BY COUNTY

It is expressly understood and agreed to by the parties, such understanding and agreement being of the absolute essence to this Agreement, that County shall have the total maximum sum of \$94,000.00 allocated to fully discharge any and all obligations created by the terms of this Agreement and that the total maximum sum County shall become liable to expend under the terms of this Agreement shall not under any conditions, circumstances, or interpretations hereof exceed the said total maximum sum provided for in this Article and certified as available therefore by the County Auditor.

ARTICLE 12 FORCE MAJEURE

To the extent that either party to this Agreement shall be wholly or partially prevented from the performance within the term specified of any obligation or duty placed on such party by reason of or through strikes, stoppage of labor, riot, fire, flood, acts of war, insurrection, accident, judgment, act of God, or specific cause reasonably beyond the parties' control and not attributable to its neglect or nonfeasance, in such event, the time for the performance of such obligation or duty shall be suspended until such disability to perform is removed.

ARTICLE 13 VENUE

Venue and jurisdiction of any suit or cause of action arising under or in connection with the Agreement shall lie exclusively in Harris County, Texas.

This instrument, in triplicate originals, has been executed by the parties hereto as follows:

WALLER COUNTY**HOUSTON-GALVESTON AREA COUNCIL**

BY _____ DATE _____

BY _____ DATE _____

Chuck Wemple, Executive Director

SCOPE OF WORK

2024 H-GAC REGION LIDAR – Waller County

USGS Lidar Base Specification (LBS) Online: <https://www.usgs.gov/ngp-standards-and-specifications/lidar-base-specification-online>

Lidar Base Specification 2023 rev A: <https://www.usgs.gov/media/files/lidar-base-specification-2023-rev-a> (Sep 2023)

AREA OF INTEREST

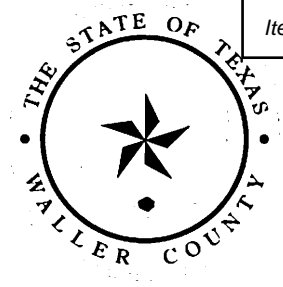
- 601 mi²
- UTM Zone 14/15 or TX State Plane Zone 4

ACQUISITION

- Timeframe February-March 2024
- Light Detection and Ranging (LiDAR) data at
 - o Quality Level 1 (QL1) and >8 pls/m² point density
 - o Relative vertical accuracy at RMSE_z ≤ 0.06m
 - o Absolute vertical accuracy at RMSE_z ≤ 0.10m
- Conditions:
 - o Coastal tide coordination within +/- 2 hours from normal low tide
 - o Water bodies within their normal banks, no flooding or inundation

PRODUCTS & DELIVERABLES

- # tiles dependent on selected coordinate system / projection
- Metadata
- Bare Earth Digital Elevation Models (TIF)
 - o 0.5m resolution
 - o Hydro-flattened
- Classified point cloud (LAS 1.4)
- Hydro breaklines
- Survey point data
- Project Survey / QAQC Report



WALLER COUNTY

J. Ross McCall, P.E.
County Engineer

MEMORANDUM

To: Honorable Commissioners' Court

Item: Variance Request – W5 Texas Investments, LLC – Courtney Road Tract

Date: January 10, 2024

Background

Scott Wright representing W5 Texas Investments, LLC is requesting a variance to the Waller County Rural Residential Subdivision Regulations regarding Lot Size, approximately two (2) acres of public R-O-W are being dedicated as part of the proposed plat resulting in lots less than 5 acres in Precinct 2.

Staff Recommendation

None



Waller County Road & Bridge Department

775 Bus 290 E – Hempstead TX 77445
979-826-7670 www.co.waller.tx.us

Item 21.

\$1,000.00 Fee

NON-SINGLE FAMILY VARIANCE REQUEST APPLICATION

This form is used to request a variance to Waller County Standards. No variance will be granted unless the general purpose and intent of the Standards is maintained. Any variance granted will only be applicable to the specific site and conditions for which the variance was granted, and will not modify or change any standards as they apply to other sites or conditions.

The applicant must clearly demonstrate that the variance request meets minimum acceptable engineering and safety standards. The applicant must also clearly demonstrate that the variance is not detrimental to the health, safety, and welfare of the public.

Instructions: Complete all fields below. Additional sheets may be attached, however, a summary of your responses must be included in the spaces provided below. Simply stating "see attached" is considered insufficient information.

PROPERTY OWNER INFORMATION	APPLICANT INFORMATION
Name: W5 Texas Investments, LLC	Name: Scott Wright
Mailing Address: 22803 Schiel Rd	Mailing Address: 2922 Hamm Rd
City, State, Zip: Cypress, TX 77433	City, State, Zip: Pearland, TX 77581
Email: awright@clr-cos.com	Email: scott@wrightdevelopmentservice.com
Phone: 713-858-7323	Phone: 832-862-0757

Location of Parent Tract (Picture of posted 9-1-1 numbers required before variance will be granted)

24.988 acres at northeast corner of FM 2979 & Courtney Road 8941 24.988

Address of Property Property ID # Acreage

PLEASE PROVIDE THE FOLLOWING:

- ☒ Sketch, drawing, boundary survey or WCAD map noting proposed development
☒ Copy of Recorded Deed

VARIANCE REQUEST OVERVIEW & JUSTIFICATION

Note the specific regulation(s) to which this variance is being requested. Describe why the County's minimum requirements can't be met and what the proposed deviation will achieve. (Attached additional sheets if more room is needed.)

Requesting variance from rural residential subdivision requirement for lots to be a minimum of 5 acres. We are requesting a variance to have two (2) lots less than 5 acres as shown on the enclosed plat. Please see enclosed letter for additional information.

OWNER/APPLICANT CERTIFICATION & ACKNOWLEDGEMENT

The owner and applicant declare under the penalty of perjury, and any other applicable state or federal law, that all information provided on this form and submitted attachments are true, factual, and accurate. The owner and applicant also hereby acknowledge any false misleading information contained herein is grounds for variance denial and/or permit revocation.

Alan Wright Alan Wright  12-18-2022
Printed Owner/Applicant Name Signature Owner/Applicant Date

OFFICE USE ONLY

NOTES	
<input type="checkbox"/> Approved <input type="checkbox"/> Denied	
Waller County Commissioner Prct 1 2 3 4 Date	
Waller County Judge Date	

OFFICE USE ONLY Payment: Cash _____ Check 1000.00 # 1581 CC _____ ID # _____

December 11, 2023

Commissioner Walter E. Smith
425 FM 1488
Hempstead, Texas 77445

Re: Variance Request for +/-25 acre Courtney Road Tract

Dear Commissioner Smith,

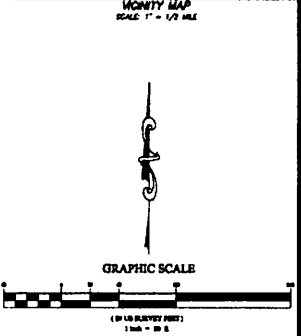
We respectfully request a variance from the requirement for all lots to be a minimum of five (5.0) acres per the Rural Residential Subdivision Regulations. The proposed Courtney Estates plat contains two lots below the 5-acre minimum; one of which is 4.0 acre and the other is 3.977 acres. Approximately two (2) acres of public road right of way are being dedicated as part of the proposed plat resulting in lots less than the required 5-acres. We feel the intent of the Rural Residential Subdivision Regulations are still being met with the proposed Courtney Estates plat and appreciate your consideration for a variance to the minimum lot size.

Please let us know if you need any additional information.

Sincerely,



Alan Wright
Landowner



ABBREVIATIONS

G.E.	• CAPPED IRON ROD
CM	• CORRUGATED PLASTIC PIPE
TH	• THIN
LP	• IRON PIPE
LA	• IRON ROD
MON	• MONUMENT
PL	• PLASTIC PUBLIC RECORDS WALLER COUNTY
PL & R.C.	• PLASTIC & REINFORCED CONCRETE PIPE
CM	• CORRUGATED CONCRETE PIPE
S.D.R.	• STANDARD
TH	• TYPICAL
W.D.	• WALLER COUNTY DEEDS RECORDS
W.D.A.	

SYMBOLS

●	• SET 1/4-IN. CAPPED IRON ROD STAMPED "OB PARTNER" (UNLESS OTHERWISE NOTED)
⌒	• POWER POLE
→	• POY AND/OR
△	• BION
△	• TELEPHONE PRECEDENT

A SUBDIVISION OF 24.988 ACRES OF LAND
LOCATED IN THE
JOHN BAKER SURVEY, A-71
WALLER COUNTY, TEXAS

LOTS: 3 RESERVES: 0 BLOCKS: 1
 SCALE: 1"=60' DATE: DECEMBER, 2023
 OWNERS:
 W5 TEXAS INVESTMENTS, L.L.C. ST2 INVESTMENTS, L.L.C.
 ADDRESS ADDRESS
 ADDRESS ADDRESS
 PHONE PHONE



SHEET 2 OF 2

General Notes:

1. This subdivision plot was prepared with the benefit of a Consentment for Title Insurance, of the 236017 June 22, 2003 by The First American Title Insurance Company on June 22, 2003 (Effective June 11, 2223).
2. According to FEMA Flood Insurance Rate Map (FIRM) No. 48473-C-0027E, was revised February 18, 2006, the surveyed tract is in Flood Hazard Zone A.
3. Bearings are referenced to the TNS Geodetic System of 1983 (NAD83), South Central Zone, based on DP coordinates. Distances are surface values and may be converted to grid by applying the appropriate correction factor.
4. The lots created by this subdivision plot are prepared for residential use.
5. Structures built on lots in the designated Floodplain shall be elevated to the 22 feet or more above the 500-year floodplain elevation, or 100-year floodplain, whichever is the greater. These structures must be situated on lots (1) above the 500-year floodplain or (2) above the 100-year floodplain.
6. All structures and improvements shall be subject to a Flood Hazard Insurance Policy. Contact the County Engineer's Office for specific information.
7. Contours shown herein are copied from the USGS 7.5 minute topographic map named "North West Queensland" and have not been verified.

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

**GENERAL WARRANTY DEED
(Cash)**

THE STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS:
COUNTY OF WALLER §

THAT THE UNDERSIGNED, **David S. Sprecher and Leslie K. Sprecher**, husband and wife, hereinafter referred to as "Grantor," whether one or more, for and in consideration of the sum of TEN DOLLARS (\$10.00) cash, and other good and valuable consideration in hand paid by the Grantee, herein named, the receipt and sufficiency of which is hereby fully acknowledged and confessed, has GRANTED, SOLD, and CONVEYED, and by these presents does hereby GRANT, SELL, and CONVEY an **undivided FIFTY PERCENT (50%) interest unto W5 Texas Investments, L.L.C. and an undivided FIFTY PERCENT (50%) interest unto ST2 Investments LLC**, herein referred to as "Grantee," whether one or more, the real property described as follows:

See Exhibit "A" attached hereto and made a part hereof.

This conveyance, however, is made and accepted subject to any and all validly existing encumbrances, conditions, and restrictions, relating to the hereinabove described property as now reflected by the records of the County Clerk of Waller County, Texas.

TO HAVE AND TO HOLD the above described premises, together with all the rights and appurtenances lawfully accompanying it, by the Grantee, Grantee's heirs, executors, administrators, successors, and/or assigns forever; and Grantor does hereby bind Grantor, Grantor's heirs, executors, administrators, successors, and/or assigns to WARRANT AND FOREVER DEFEND all the said premises unto the said Grantee, Grantee's heirs, executors, administrators, successors, and/or assigns, against every person whomsoever claiming or to claim the same or any part thereof.

Current ad valorem taxes on said property having been prorated, the payment thereof is assumed by Grantee.



840 13th Street
Suite 201
Hempstead, TX 77445

Prepared in the law office of Casey H. Cross
801 N. Madison, Mt. Pleasant, TX 75455
(903) 577-9500

GF # 2360177HE

University Title GF# 2360177#F

EXECUTED this 7 day of July, 2023.

David S. Sprecher

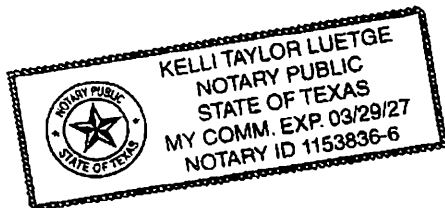
Leslie K. Sprecher

THE STATE OF TEXAS

COUNTY OF Waller

§
§
§

The foregoing instrument was acknowledged before me on the 7 day of July, 2023, by David S. Sprecher and Leslie K. Sprecher.



Kelli Taylor Luetge
NOTARY PUBLIC IN AND FOR
THE STATE OF TEXAS

Grantee's Address:

W5 Texas Investments, L.L.C.

19802 Indigo lake Dr.
Magnolia Tx 77355

ST2 Investments LLC

6243 Fm 244
Anderson Tx
77830

Escrow File No.: 2360177HE

EXHIBIT "A"

Being a 24.987 acre tract of land situated in the John Baker Survey A-71, Waller County, e and being the same call 24.881 acre tract of land described by deed dated February 13, 2006, to Guadalupe Anzualda and wife, Olivia Anzualda, recorded in Volume 942, Page 551, Deed Records of Waller County, as, said 24.987 acres being more particularly described by metes and bounds as follows:

BEGINNING at a 1 inch iron pipe found at a fence corner post in the north right-of-way line of F.M. Highway No. 2979 (100 ft. R.O.W.), the southeast corner of the call 24.881 acre tract of land for the POINT OF BEGINNING and southeast corner of the herein described tract;

THENCE South 88 degrees 41 minutes 01 seconds West, along the north right-of-way line of F.M. Highway No. 2979, a distance of 82.36 feet to a 4 inch x 4 inch concrete monument found for a POINT OF CURVATURE;

THENCE, continuing along F.M. Highway No. 2979, in a southwesterly direction along a curve to the left having a delta angle of 07 degrees 51 minutes 37 seconds, a radius of 1004.68 feet, a chord bearing of South 84 degrees 30 minutes 47 seconds West, a chord distance of 137.72 feet, an arc length of 137.83 feet to a 5/8 inch iron rod set with a plastic identification cap for an angle point of the herein described tract;

THENCE North 23 degrees 39 minutes 52 seconds West, leaving the north right-of-way line of F.M. Highway No. 2979, at 1.43 feet pass a found 1/2 inch iron rod found for the southeast corner of a call 1.183 acre tract of land described by deed dated August 26, 1993, to Thomas J bins and wife, Marianne H. Robbins, recorded in Volume 482, Page 905, Deed Records of Waller County, Texas, continuing a total distance of 17.06 feet to a nail found at the base of a 22 inch diameter oak tree for an angle point of the herein described tract;

THENCE South 89 degrees 13 minutes 45 seconds West, generally along a fence line, a distance of 138.76 feet to a 5/8 inch iron rod set with a plastic identification cap for an angle point of the herein described tract;

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THENCE South 87 degrees 29 minutes 59 seconds West, a distance of 59.50 feet to a 1 inch iron pipe found for reference in the east fence line of Courtney Road (apparent 70 ft. R.O.W.), the northwest corner of the call 1.183 acre tract of land for an angle point of the herein described tract;

THENCE South 89 degrees 32 minutes 32 seconds West, a distance of 45.82 feet to the southwest corner of an original call 25 acre tract of land described by Volume 103, Page 474, Deed Records of Waller County, Texas, for the southwest corner of the herein described tract;

THENCE North 01 degrees 00 minutes 00 seconds West, along the west line of the original call 25 acre tract of land, the apparent east line of the W. E. Baker Survey A-70, the west line of the John Baker Survey A-71, a distance of 1382.42 feet to the southwest corner of the Dudley j. White Survey A-66, the northwest corner of the John Baker Survey A-71, the northwest corner of the call 24.881 acre tract of land for the northwest corner of the herein described tract;

THENCE North 88 degrees 53 minutes 19 seconds East, at 23.4 feet pass a 1-1/2 inch iron pipe found for reference in the east right-of-way line of Courtney Road, at 413.40 feet pass the northwest corner of a called 0.5168 acre right-of-way easement described to the County of Waller, dated March 1, 1979, recorded in Volume 300, Page 328, Deed Records of Waller County, Texas, continuing a total distance of 788.61 feet to a 4 inch x 4 inch concrete monument found for the northwest corner of a call 26.28 acre tract of land designated as Tract 1 in a contract of sale and purchase dated July 12, 1958, recorded in Volume 155, Page 318, Deed Records of Waller County, Texas, for the northeast corner of the call 24.881 acre tract of land for the northeast corner of the herein described tract;

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NOTE: The Company is prohibited from insuring the area or quantity of land described herein. Any statement in the above legal description of the area or quantity of land is not a representation that such area or quantity is correct, but is made only for informational and/or identification purposes and does not override Item 2 of Schedule B hereof.

FILED AND RECORDED

Instrument Number: 2307850

Filing and Recording Date: 07/10/2023 03:47:32 PM Pages: 5 Recording Fee: \$28.00

I hereby certify that this instrument was FILED on the date and time stamped hereon by me and was duly RECORDED in the OFFICIAL PUBLIC RECORDS of Waller County,



Debbie Hollan, County Clerk
Waller County, Texas

ANY PROVISION CONTAINED IN ANY DOCUMENT WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE REAL PROPERTY DESCRIBED THEREIN BECAUSE OF RACE OR COLOR IS INVALID UNDER FEDERAL LAW AND IS UNENFORCEABLE.

simplifile, Deputy

Returned To:
UNIVERSITY TITLE COMPANY
1021 UNIVERSITY E DR STE A
COLLEGE STATION, TX 77840-2185

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**GENERAL WARRANTY DEED
(Cash)**

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 § KNOW ALL MEN BY THESE PRESENTS:
COUNTY OF WALLER §

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840 13th Street
Suite 201
Hempstead, TX 77445

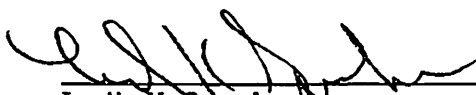
Prepared in the law office of Casey H. Cross
801 N. Madison, Mt. Pleasant, TX 75455
(903) 577-9500

GF # 2360177HE

University Title GF# 2360177HE

EXECUTED this 7 day of July, 2023.


 David S. Sprecher

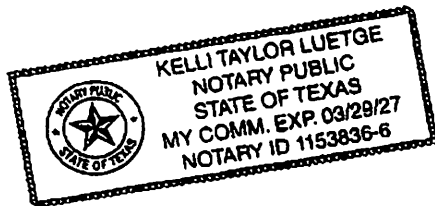


 Leslie K. Sprecher

THE STATE OF TEXAS

COUNTY OF Waller§
§
§

The foregoing instrument was acknowledged before me on the 7 day of July, 2023, by David S. Sprecher and Leslie K. Sprecher.




 NOTARY PUBLIC IN AND FOR
 THE STATE OF TEXAS

Grantee's Address:

W5 Texas Investments, L.L.C.

19802 Indigo lake Dr.
Magnolia Tx 77355

ST2 Investments LLC

6243 Fm 244
Anderson Tx
77830

Escrow File No.: 2360177HE

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NOTE: The Company is prohibited from insuring the area or quantity of land described herein. Any statement in the above legal description of the area or quantity of land is not a representation that such area or quantity is correct, but is made only for informational and/or identification purposes and does not override Item 2 of Schedule B hereof.

FILED AND RECORDED**Instrument Number: 2307850**

Filing and Recording Date: 07/10/2023 03:47:32 PM Pages: 5 Recording Fee: \$28.00

I hereby certify that this instrument was FILED on the date and time stamped hereon by me and was duly RECORDED in the OFFICIAL PUBLIC RECORDS of Waller County,



A handwritten signature in cursive script, reading "Debbie Hollan".

Debbie Hollan, County Clerk
Waller County, Texas

ANY PROVISION CONTAINED IN ANY DOCUMENT WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE REAL PROPERTY DESCRIBED THEREIN BECAUSE OF RACE OR COLOR IS INVALID UNDER FEDERAL LAW AND IS UNENFORCEABLE.

simplifite, Deputy

Returned To:
UNIVERSITY TITLE COMPANY
1021 UNIVERSITY E DR STE A
COLLEGE STATION, TX 77840-2185

WALLER COUNTY ENGINEER'S OFFICE

J. Ross McCall, P.E.
County Engineer



December 11, 2023

Travis W Miller, PE
Jones/Carter Inc.
2322 West Grand Parkway North, Suite 150
Katy, Texas 77449
823-913-4000

Re: Sunterra Section 23
Privately Maintained Road(s)

To Whom It May Concern,

Our office has performed a Substantial Completion Inspection on the above referenced project, and the roads appear to meet requirements as set forth in the latest version of the Waller County Subdivision and Development Regulations.

These roads are considered by Waller County to be complete and will be maintained privately.

If you have any questions, please let me know.

Sincerely,

A handwritten signature in blue ink, appearing to read "J. Ross McCall", is written over a faint, larger version of the same signature.

J. Ross McCall, P.E.
Waller County Engineer

County Road Name	Precinct	Length (feet)	Mileage	ROW / ESMT Width (ft)	Road/Pavem ent Width (ft)	Surface Type	Subdivision Name	Plat Approval - Date/Vol/Page	
Inglenook Grove Drive	3	881.00	0.166	50	28	6" Concrete	Sunterra Section 22	12/14/2022	2215865
Sonder Shore Drive	3	620.00	0.117	60	28	6" Concrete	Sunterra Section 22	12/14/2022	2215865
Camino Cove Court	3	205.00	0.038	50	28	6" Concrete	Sunterra Section 22	12/14/2022	2215865
			578.60						



Waller County Road & Bridge Department

775 Bus 290 E – Hempstead TX 77445
979-826-7670 www.co.waller.tx.us

Item 24.

\$100.00 Fee

SINGLE FAMILY VARIANCE REQUEST APPLICATION

This form is used to request a variance to Waller County Standards. No variance will be granted unless the general purpose and intent of the Standards is maintained. Any variance granted will only be applicable to the specific site and conditions for which the variance was granted, and will not modify or change any standards as they apply to other sites or conditions.

The applicant must clearly demonstrate that the variance request meets minimum acceptable engineering and safety standards. The applicant must also clearly demonstrate that the variance is not detrimental to the health, safety, and welfare of the public.

Instructions: Complete all fields below. Additional sheets may be attached, however, a summary of your responses must be included in the spaces provided below. Simply stating "see attached" is considered insufficient information.

PROPERTY OWNER INFORMATION
Name: Hilario & Celia Perez
Mailing Address: PO Box 115
City, State, Zip: Pattison TX 77466
Email: maxlequipment@gmail.com
Phone: 979-270-2581

APPLICANT INFORMATION
Name: Celia Perez
Mailing Address: PO Box 115
City, State, Zip: Pattison TX 77466
Email: maxlequipment@gmail.com
Phone: 979-270-2581

Location of Parent Tract (Picture of posted 9-1-1 numbers required before variance will be granted)

Address of Property 37729 Mito Ln. Brookshire TX 77423 Property ID # 210317 Acreage 2.

PLEASE PROVIDE THE FOLLOWING:

- ☒ Sketch, drawing, boundary survey or WCAD map noting proposed development
☒ Copy of Recorded Deed

VARIANCE REQUEST OVERVIEW & JUSTIFICATION

Note the specific regulation(s) to which this variance is being requested. Describe why the County's minimum requirements can't be met and what the proposed deviation will achieve. (Attached additional sheets if more room is needed.)

Parents are trying to allow their son to live on the same property. To do so an additional septic system is needed for them to move in a mobile home. Grandson has a major heart condition & would like to be close.

OWNER/APPLICANT CERTIFICATION & ACKNOWLEDGEMENT

The owner and applicant declare under the penalty of perjury, and any other applicable state or federal law, that all information provided on this form and submitted attachments are true, factual, and accurate. The owner and applicant also hereby acknowledge any false misleading information contained herein is grounds for variance denial and/or permit revocation.

Celia Perez	CELIA PEREZ	12.1.23
Printed Owner/Applicant Name	Signature Owner/Applicant	Date

OFFICE USE ONLY

<input type="checkbox"/> Approved <input type="checkbox"/> Denied	NOTES
Waller County Commissioner Prct 1 2 3 4 Date	RECEIVED DEC - 1 2023 By [Signature]
Waller County Judge Date	

OFFICE USE ONLY Payment: Cash \$100.00 Check # CC ID #

026536

WARRANTY DEED WITH VENDOR'S LIEN

THE STATE OF TEXAS

§
§
§

KNOWN ALL MEN BY THESE PRESENTS:

COUNTY OF WALLER

That MILLENNIUM INTERESTS LTD., A TEXAS LIMITED PARTNERSHIP, of the County of Harris, State of Texas (herein called Grantors), of and in consideration of the sum of TEN (\$10.00) DOLLARS, cash in hand paid by --- AMADO BARRIENTOS & HILARIO PEREZ @ 31938 A KATY BROOKSHIRE RD., BROOKSHIRE, TX 77423---(herein called Grantees), receipt of which is hereby acknowledged, (subject to the exceptions, reservations, and covenants hereinafter set forth); and for the further consideration of the execution and delivery by Grantees of their one certain promissory note, of even date herewith, in the principal sum of THIRTY-SEVEN THOUSAND FIVE HUNDRED SEVENTY-FIVE AND NO/100*****DOLLARS, payable to the order of Grantors as therein provided, and such promissory note containing the usual clauses providing for acceleration of maturity, past due interest and attorney's fees;

HAVE GRANTED, SOLD and CONVEYED, and by these present to GRANT, SELL and CONVEY unto Grantees, the SURFACE ESTATE ONLY in and to that certain unrecorded real property described as follows in Waller County, Texas, and being more particularly described as follows:

A tract out of 221.3990 acres of land in the W.W. Snyder Survey, Abstract 337, (Section 8), Waller County, Texas, more particularly described in EXHIBIT "A" attached hereto and made a part hereof for all intents and purposes.

It is understood and agreed by and between the parties hereto that this conveyance is made subject to the following:

1. Right-of-Way dated July 31, 1959, granted to Waller County and recorded in Volume 163, page 244 of the Deed Records of Waller County, Texas.
2. Visible and apparent easements on or across the property.

SAVE AND EXCEPT, and Grantor does hereby reserve unto Grantor, his heirs, executors, administrators, successors and assigns, all present interest in and to the oil, gas and other minerals in and under and that may be produced from the above described real property, and such oil, gas and other minerals shall include all mineral interests, royalty interests, and reversionary rights in and to such mineral and/or royalty interests, which are of record with the County Clerk's office of Waller County, Texas.


This conveyance is subject to all terms, conditions, reservations, stipulations and requirements set out in that certain Contract for Deed executed by Grantee executed on March 5, 2002.

Grantor shall have no liability for and the Grantee has agreed to indemnify Grantor from any and all liability, causes of action, claims, demands, damages, injuries, costs and expenses (including reasonable attorneys fees)(collectively "liability") related to the property which are incurred, made or asserted against Grantor or against the property, including without limitation, liability incurred, made or asserted after the date of this deed, relating to environmental condition, violations or remedial costs, including, without limitation, those costs which result from the sole or concurrent negligence of Grantor. Grantee shall have no right or claim against Grantor for damages, rescission of the sale, reduction of sales price or otherwise because of the physical condition of the property (including without limitation, its environmental condition), any such right or claim being hereby expressly waived by Grantee. The waivers, exculpation and indemnity to Grantor provided above shall be binding upon Grantee, its successors and assigns.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in anywise belonging unto the said Grantees, their heirs and assigns forever; and the Grantors do hereby bind themselves, their heirs, executors, administrators, successors and assigns, to Warrant and Forever Defend, all and singular the said premises unto the said Grantees above named, their heirs and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof and except as to taxes and assessments subsequent to March 5, 2002, which are expressly assumed by Grantees.

But it is expressly agreed that the VENDOR'S LIEN, as well as the Superior Title in and to the above described premises, is retained against the above described property, premises and improvements until the above described note and all interest thereon are fully paid according to the face, tenor, effect and reading thereof, when this Deed shall become absolute.

EXECUTED this the 9th day of SEPTEMBER, A.D. 2002.

BY: 
Beau S. King - President, Beau/Ray Inc.,
The General Partner of Millennium Interests
Ltd., a Texas Limited Partnership

VOL 0747 PG 167

THE STATE OF TEXAS

§
§
§

COUNTY OF HARRIS

Before me, the undersigned authority, on this day appeared Beau S. King, President, Beau/Ray Inc., the General Partner of Millennium Interests Ltd., a Texas Limited Partnership, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed, in the capacity therein stated.

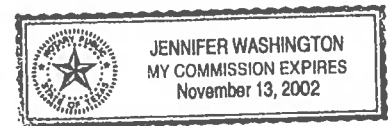
Given under my hand and seal of office on this the 9TH day of SEPTEMBER, A.D. 2002.

My Commission Expires: 11/13/2002

Jennifer Washington
Notary Public in and for the State of Texas
Notary's Printed Name: JENNIFER WASHINGTON

When Recorded, Please Return to:

MILLENNIUM INTERESTS LTD.
P.O BOX 13172
HOUSTON, TX 77019



LEGAL DESCRIPTION

TRACT 25

BEING A 11.100 ACRE TRACT OF LAND OUT OF A PORTION OF A CALLED 221.3990 ACRE TRACT OF LAND IN THE W. W. SNYDER SURVEY, ABSTRACT 337, SECTION 8, WALLER COUNTY, TEXAS. SAID TRACT BEING A PART OF THE IDA MAE BULLER MORTON (FIRST TRACT), CALLED 343.483 ACRE TRACT OF LAND, RECORDED IN VOLUME 237, PAGE 179, DEED RECORDS OF WALLER COUNTY, TEXAS. SAID 11.100 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A FOUND COTTON PICKER SPINDLE WITH CAP AT THE NORTHWEST CORNER OF SAID CALLED 221.3990 TRACT OF LAND AND BEING THE CENTERLINE INTERSECTION OF ZADELSKY ROAD (80 FEET WIDE) AND BULLER ROAD (80 FEET WIDE) AS RECORDED IN VOLUME 163, PAGE 244 OF THE DEED RECORDS OF WALLER COUNTY, TEXAS;

THENCE NORTH 89 DEGREES 15 MINUTES 00 SECONDS EAST, ALONG THE CENTERLINE OF SAID ZADELSKY ROAD, SAME BEING THE NORTH LINE OF SAID 221.3990 ACRE TRACT OF LAND, A DISTANCE OF 4221.60 FEET TO A PK NAIL SET IN THE CENTERLINE OF SAID ZADELSKY ROAD FOR THE NORTHWEST CORNER AND **POINT OF BEGINNING** OF THE HEREIN DESCRIBED TRACT OF LAND;

THENCE NORTH 89 DEGREES 15 MINUTES 00 SECONDS EAST, CONTINUING ALONG THE CENTERLINE OF SADI ZADELSKY ROAD AND THE NORTH LINE OF SAID CALLED 221.3990 ACRE TRACT A DISTANCE OF 245.85 FEET TO A PK NAIL SET FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT OF LAND;

THENCE SOUTH 00 DEGREES 45 MINUTES 00 SECONDS EAST, A DISTANCE OF 1968.41 FEET TO A 5/8 INCH IRON ROD SET IN A NORTH LINE OF A CALLED 115.00 ACRE TRACT DESCRIBED IN DEED RECORDED IN VOLUME 597, PAGE 63 OF THE OFFICIAL RECORDS OF WALLER COUNTY, TEXAS, FOR THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT OF LAND;

THENCE NORTH 89 DEGREES 56 MINUTES 20 SECONDS WEST, ALONG THE NORTH LINE OF SAID 115.00 ACRE TRACT, A DISTANCE OF 245.88 FEET TO A 5/8 INCH IRON ROD SET FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT OF LAND;

THENCE NORTH 00 DEGREES 45 MINUTES 00 SECONDS WEST, A DISTANCE OF 1964.93 FEET TO THE **POINT OF BEGINNING** AND CONTAINING 11.100 ACRES OF LAND MORE OR LESS.


FRED F. LAWTON, REGISTERED PROFESSIONAL LAND SURVEYOR # 5530



J:\King\ZADELSKY.doc

Filed for Record

Sept. 23

A.D., 2002 at 1:38 o'clock P. M.

RECORDED

Sept. 25

A.D., 2002 at 3:00 o'clock P. M.

CHERYL PETERS, County Clerk, Waller County, Texas

By  Deputy



Meyer Environmental Designs

31410 Vista Crest Court, Hockley, TX 77447 713.303.1243

Design Summary

Spray Surface Application

Basis for design is the Texas Administrative Code (TAC) Chapter 285

Property Address: 37729 Mito Ln, Brookshire, TX 77423

Calculations: Proposed 3 Bedroom <2,500SF Mobile Home = 240 Gallons per Day

1. An OSSF permit must be granted by the permitting authority in which the property lies, before any construction takes place.
 - a. Installation must be completed by a licensed TCEQ OSSF Installer II.
 - b. Installer must obtain an inspection approval from the permitting authority before the system is backfilled.
 - c. A maintenance contract must be kept active on the system for the entirety of its operation. Maintenance reports must be submitted to the governing authority, per TCEQ Rules.
2. All non-wastewater lines shall not be tied into the proposed OSSF, including but not limited to:
 - a. Condensation/Runoff from A/C units, ice makers, or other refrigeration equipment. Backwash from pools or water softeners.
3. Chlorinator must be ANSI/NSF Approved.
4. High Water Alarm (HWA) is required and must be installed on a separate circuit from the pump.
 - a. Battery powered alarms shall not be used.
 - b. Alarm shall have a light and audible speaker.
5. Spray area must be cleared of all debris prior to installation.
6. The maximum inlet pressure for sprinklers shall be 40 psi. Low angle nozzles (15 degrees or less in trajectory) shall be used in the sprinklers to keep spray stream low and reduce aerosols. A Bypass in the pump tank is to be installed to regulate the pressure.
7. A timer that operates by hours and minutes must be used and should be set for the pump to run between midnight and 5 AM.
 - a. Pump must be installed with a float that is set to where the "pump off" (down) position is above the pump inlet.
 - b. Pump float must be wired with the timer inside the control panel. **PUMP MUST NOT BE CONNECTED DIRECTLY TO FLOAT.**
 - c. **IF DAILY FLOW RATES EXCEED THE GALLONS PER DAY (GPD) LISTED ON THE DESIGN THEN THIS PACKET WILL BECOME INVALID.**
 - i. It is the responsibility of the property owner and maintenance provider to ensure the system is not being overused.
8. Distribution piping shall be installed below the ground surface and a hose bib shall not be connected to the distribution piping. An unthreaded sampling port shall be provided in the treated effluent line in the pump tank.
9. All electrical components shall be installed using only N.E.M.A. approved outdoor electrical devices.
 - a. A quick pull disconnect must be installed within line of sight of electrical components on tanks.
 - b. All electrical connections for the pump(s) should be installed outside the pump tank or in a sealed/liquid tight junction box, inside the tank, with wire nuts.
 - c. All electrical connection for the compressor(s) should be wired directly inside the control panel. If the connection is made outside of the panel, wire nuts and a liquid tight junction box must be used.
10. The design is valid for one year from the date shown on the design.
11. If the site has been altered between the site evaluation and installation or if discrepancies exist between the design and actual layout of the property, the installer shall notify the designer prior to any work being completed.
12. Construction materials and methods shall be pursuant to state and county rules and policies, unless specifically noted that it has been approved by the permitting authority on this design.
13. Distribution area shall be seeded or sodded after it is backfilled.
 - a. Grading for tanks and distribution area shall be graded with positive runoff to avoid puddling or water formation around the OSSF area.
 - b. Spray heads shall not be within 10' of any trees.
 - i. Heads should not spray any trees producing any food whatsoever.



DRAWN BY: R.T.
APPROVED BY: A.R./J.R.

11/27/2023



MEYER ENVIRONMENTAL DESIGNS, LLC
31410 VISTA CREST CT, HOCKLEY, TX 77447
713-303-1243 | MEYERENVIRONMENTALDESIGNS@OUTLOOK.COM

HILARIO & CELIA PEREZ
37729 MITO LN
BROOKSHIRE, TX 77423
A-337, A&M 337, TRACTS LOT 25-1, ACRES 2.0
PROPERTY ID: 210317
WALLER COUNTY

CALCULATIONS:
PROPOSED 3BR <2,500SF MOBILE HOME
Q: 240 GALLONS PER DAY
SOIL LOADING RATE: 0.045
ABSORPTION AREA REQUIRED: 5,333SF
ABSORPTION AREA DESIGNED: 5,655SF

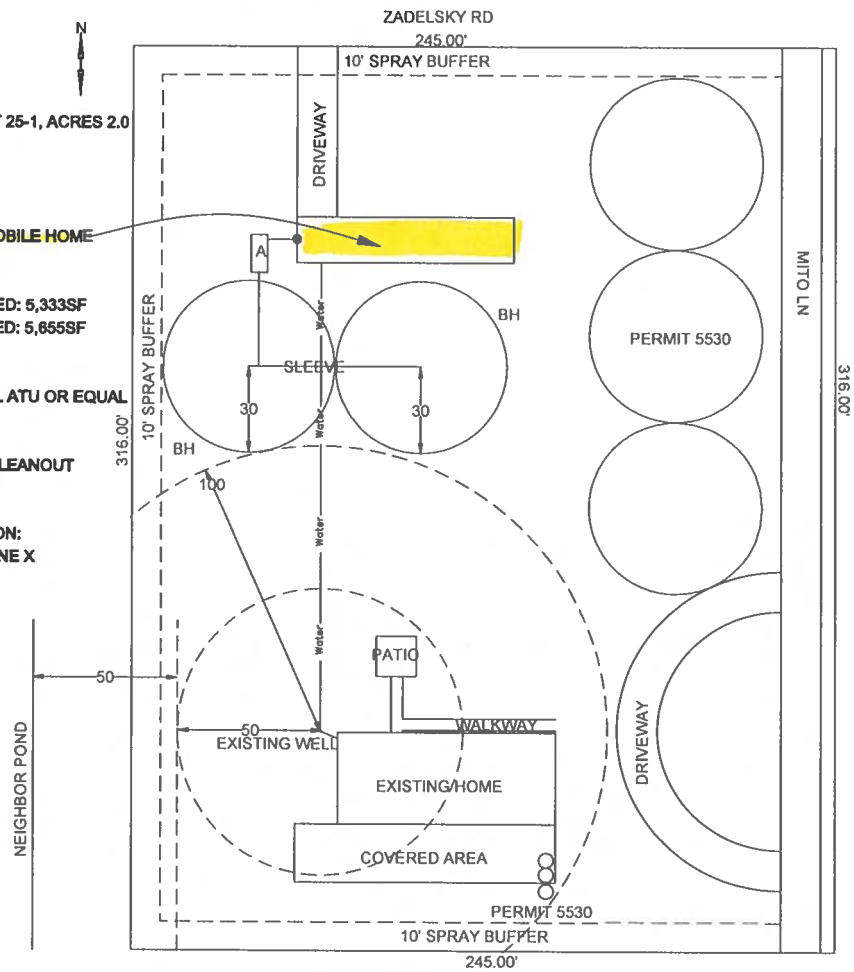
TANK A:
PROPOSED PROFLO 500 GAL ATU OR EQUAL
SUPPLY LINE:
1" SCH 40 PVC
● = 4" SCH 40 PVC 2-WAY CLEANOUT

SLOPE: <2%
FLOOD PLAIN DETERMINATION:
SITE IS LOCATED WITHIN ZONE X

SCALE: 1" = 50'



DRAWN BY: R.T.
APPROVED BY: A.R./J.R.



11/27/2023
Project# 2023-460

Property Details

Account		
Property ID:	210317	Geographic ID: 346005-025-001-000
Type:	Real	Zoning:
Property Use:		Condo:
Location		
Situs Address:	37729 MITO LN BROOKSHIRE, TX 77423	
Map ID:	3862 SOUTH	Mapsco: H02_NE
Legal Description:	S346005 A-337 A&M 337 TRACTS LOT TR 25-1 ACRES 2.0 S# DSDAL51928A HUD# NTA1459153;TITLE # REAL PROPERTY	
Abstract/Subdivision:	S346005 - A-337 A&M 337 TRACTS	
Neighborhood:	R-7	
Owner		
Owner ID:	305221	
Name:	PEREZ CELIA	
Agent:		
Mailing Address:	& HILARIO PEREZ PO BOX 115 PATTISON, TX 77466	
% Ownership:	100.0%	
Exemptions:	HS - Homestead For privacy reasons not all exemptions are shown online.	

Property Values

Improvement Homesite Value:	\$135,010 (+)
Improvement Non-Homesite Value:	\$4,120 (+)
Land Homesite Value:	\$180,000 (+)
Land Non-Homesite Value:	\$0 (+)
Agricultural Market Valuation:	\$0 (+)



Agreement on Identification of Future Transportation Corridors Within [Name of County]

The Texas Department of Transportation (TxDOT) on [Month, Day, Year] received a request from [Name of County] to enter into an agreement under Transportation Code, Section 201.619, to identify future transportation corridors within [Name of County] based on transportation plans adopted by [Name of County, TxDOT, or the name of the metropolitan planning organization serving the county].

TxDOT has reviewed the request and all supporting information provided by [Name of County] and has determined that the future transportation corridors identified in the request are derived from existing transportation plans adopted by [Name of County, TxDOT, or the name of the metropolitan planning organization serving the county] on [Month Day, Year].

[Name of County] and TxDOT agree, in accordance with Transportation Code, Section 201.619, that the corridors depicted in the attachment to this agreement represent future transportation corridors within [Name of County] and that those corridors are derived from existing transportation plans adopted by [Name of County, TxDOT, or the name of the metropolitan planning organization serving the county] on [Month Day, Year]. The corridors depicted in the attachment align with TxDOT's current long-range transportation plans.

This agreement is a planning agreement that is solely for the purposes of Transportation Code, Section 201.619. This agreement does not obligate or prevent future adjustments by either party to the corridors identified in the agreement. Any significant revision to the location of one or more of those corridors will require a revised agreement to ensure compliance with Section 201.619.

[Name of County]

Date

Texas Department of Transportation

Date

County Corridor Agreement Request Form

Item 25.

County Request

This section is to be completed by the County and submitted to the appropriate District CCA Coordinator.

County: _____ Date of Request: _____

County Judge: _____

Email: _____

Point of Contact: _____

Email: _____

Required Supporting Documents:

- ☐ Corridor Map map of the corridor from an existing adopted plan that identifies the future transportation corridor (attachment required)
- ☐ Online Link hyperlink to the online published location (with citation/page number, if applicable) of where the corridor is listed

Link: _____

In accordance with [Section 201.619](#), the County is requesting the Department enter into an agreement that identifies future transportation corridors within the County.

County Judge* Signature: _____ Date: _____

*If a request for an agreement is submitted by someone other than the county judge, that person should provide TxDOT with the authority under which the person is acting on behalf of the county. It may be done by a reference to a state statute or a county code provision, resolution of the county commissioners court, or some other official action by the county commissioners court that supports the delegation of that authority.

TxDOT District Review

This section is to be completed by the District CCA Coordinator.

Submit completed request package to LGPO@txdot.gov and Cc the District Engineer; subject line 'CCA Request_County Name'

Date Received: _____ Reviewed by: _____

The District has reviewed the County's submission and is recommending agreement execution in compliance with [Section 201.619](#).

CCA Coordinator Signature: _____ Date: _____

**INTERLOCAL COOPERATION CONTRACT
DEPARTMENT OF STATE HEALTH SERVICES
CONTRACT No. TBD**

The **DEPARTMENT OF STATE HEALTH SERVICES** (“**DSHS**” or “**SYSTEM AGENCY**”) and Waller County (“**LOCAL GOVERNMENT**”), each a “Party” and collectively the “Parties,” enter into the following contract for Local Government access to the Texas Electronic Vital Events Registrar (“Tx EVER”) (the “Contract”) pursuant to the provisions of the “Interlocal Cooperation Act,” *Tex. Gov’t Code* Chapter 791.

I. CONTRACT REPRESENTATIVES

The following will act as the representative authorized to administer activities under the Contract on behalf of its respective Party.

<u>DSHS</u>	<u>Local Government</u>
Name: Department of State Health Services	Name: Waller County
Attn: Contract Management Section	Attn: County Clerk
Address: 1100 W 49 th Street, MC-1990	Address: 425 FM 1488, Suite 112
City, State, and Zip: Austin, TX 78776-2679756	City, State, and Zip: Hempstead, TX 77445
Contact Person: Gretchen Wells	Contact Person: Debbie Hollan
Telephone: (512) 776-2679	Telephone: 979-826-7711
E-Mail: Gretchen.wells@dshs.texas.gov	E-Mail: d.hollan@wallercounty.us
Agency Number: 537	

II. STATEMENT OF SERVICES TO BE PROVIDED

The Parties agree to cooperate to provide necessary and authorized services and resources in accordance with the terms of the Contract. Specific services provided are described in **ATTACHMENT A, STATEMENT OF WORK**.

III. CONTRACT PERIOD AND RENEWAL

The Contract is effective on the signature date of the latter of the Parties to sign the Contract and expires **August 31, 2027**, unless renewed, extended, or terminated pursuant to the terms and conditions of the Contract. DSHS, at its sole discretion, may renew the Contract for up to one (1) additional year for a maximum Contract term of 5 years. Notwithstanding the limitation in the preceding sentence, and with at least 30 calendar days’ advance written notice to Local Government, at the end of the initial term or any renewal period, DSHS, at its sole discretion, may extend the Contract as necessary to ensure continuity of service, for purposes of transition, or as otherwise determined by DSHS to serve the best interest of the state of Texas for up to 12 months,

in one-month intervals, at the then-current Contract rate or rates (if applicable) as modified during the term of the Contract.

IV. AMENDMENT

The Parties to the Contract may modify the Contract only through the execution of a written amendment signed by both Parties.

V. FEES AND PAYMENT FOR SERVICES

All payments made by Local Government to DSHS in connection with the Contract, including the manner in which payments to DSHS by Local Government will be rendered, are stated in ATTACHMENT C, STATEMENT OF WORK.

VI. NOTICE REQUIREMENTS

- A. All notices given by Local Government shall be in writing, include the Contract number, comply with all terms and conditions of the Contract, and be delivered to DSHS's Contract Representative identified above.
- B. Local Government shall send legal notices to DSHS at the address below and provide a copy to DSHS's Contract Representative:

**Health and Human Services Commission
Attn: Office of the Chief Counsel
4601 W Guadalupe St. MC-1100
Austin, Texas 78751**

with copy to

**Department of State Health Services
Attn: Office of General Counsel
1100 W. 49th Street, MC-1919
Austin, TX 78756**

- C. DSHS shall send legal notices to Local Government at the address below:

**Waller County
Attn: General Counsel
836 Austin St.
Hempstead, TX 77445**

- D. Notices given by DSHS to Local Government may be emailed, mailed, or sent by common carrier. Email notices shall be deemed delivered when sent by DSHS. Notices sent by mail shall be deemed delivered when deposited by DSHS in the first class mail, postage paid, certified, return receipt requested. Notices sent by common carrier shall be

DSHS Contract No. HHSREV10000XXXX

deemed delivered when deposited by DSHS with a common carrier, overnight, signature required.

- E.** Notices given by Local Government to DSHS shall be deemed delivered when received by DSHS.
- F.** Either Party may change its Contract Representative or Legal Notice contact by providing written notice to the other Party.

VII. CONTRACT DOCUMENTS

The following documents are incorporated by reference and made a part of the Contract for all purposes. In the event of a conflict, ambiguity, or inconsistency between the terms and conditions set forth in the documents that comprise the Contract, the controlling document shall be this Signature Document, then the remaining documents in the following list in the order stated:

ATTACHMENT A: HHS DATA USE AGREEMENT - GOVERNMENTAL ENTITY (VERSION 8.5).
ATTACHMENT B: HHS CONTRACT AFFIRMATIONS (VERSION 2.2); and
ATTACHMENT C: STATEMENT OF WORK.

VIII. MISCELLANEOUS TERMS AND CONDITIONS

- A. Exchange of Personal Identifying Information.** The Contract concerns the exchange of Confidential Information. Except as prohibited by applicable law or regulation, Local Government and DSHS may exchange such information in accordance with *Tex. Health and Safety Code* Chapter 191.
- B. Suspension of Services or Contract Termination.** Use of services under the Contract by Local Government for purposes inconsistent with the Contract or applicable law or regulation may result in suspension of services or termination of the Contract for cause by DSHS.
- C. Governing Law and Venue.** The Contract shall be governed by and construed in accordance with the laws of the State of Texas, without regard to the conflicts of law provisions. The venue of any suit arising under the Contract is fixed in any court of competent jurisdiction of Travis County, Texas, unless the specific venue is otherwise identified in a statute which directly names or otherwise identifies its applicability to DSHS.
- D. Confidentiality.** Local Government shall maintain as confidential and shall not disclose to third parties without DSHS's prior written consent, any DSHS information including but not limited to DSHS Data, DSHS's business activities, practices, systems, conditions, and services. This section shall survive termination or expiration of the Contract. This requirement must be included in all subcontracts awarded by Local Government. The Parties shall comply with all applicable state and federal laws relating to the privacy and confidentiality of data and records provided under the Contract, including, but not limited to, *Tex. Gov't Code* Section 552.115.
- E. Record Maintenance and Retention**
 - 1. Local Government shall keep and maintain under GAAP or GASB, as applicable, full, true, and complete records necessary to fully disclose to DSHS, the Texas State Auditor's Office, the United States Government, and their authorized representatives sufficient information to determine compliance with the terms and

conditions of the Contract and all state and federal rules, regulations, and statutes.

2. Local Government shall maintain and retain legible copies of the Contract and all records relating to the performance of the Contract, including supporting fiscal documents adequate to ensure that claims for Contract funds are in accordance with applicable state of Texas requirements. These records shall be maintained and retained by Local Government for a minimum of seven (7) years after the Contract expiration date or seven (7) years after the completion of all audits, claim, litigation, or dispute matters involving the Contract are resolved, whichever is later.
- F. Dispute Resolution.** To the extent that *Tex. Gov't Code* Chapter 2260 is applicable to the Contract, the dispute resolution process provided for in Chapter 2260, and the related rules adopted by the Texas Attorney General pursuant to Chapter 2260, shall be used by DSHS and Local Government to attempt to resolve any claim for breach of contract made by Local Government that cannot be resolved in the ordinary course of business.
- G. Entire Agreement.** The Contract contains all the terms and conditions between DSHS and Local Government relating to the matters set forth herein and no prior or contemporaneous agreement or understanding pertaining to the same shall be of any force or effect.
- H. Force Majeure.** Neither Local Government nor DSHS shall be liable to the other for any delay in, or failure of performance of, any requirement included in the Contract caused by force majeure. The existence of such causes of delay or failure shall extend the period of performance until after the causes of delay or failure have been removed provided the non-performing Party exercises all reasonable due diligence to perform. Force majeure is defined as acts of God, war, fires, explosions, hurricanes, floods, failure of transportation, or other causes that are beyond the reasonable control of either Party and that by exercise of due foresight such Party could not reasonably have been expected to avoid, and which, by the exercise of all reasonable due diligence, such Party is unable to overcome.
- I. INDEMNIFICATION**
1. **TO THE EXTENT ALLOWED BY THE CONSTITUTION AND LAWS OF THE STATE OF TEXAS, LOCAL GOVERNMENT SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE STATE OF TEXAS, DSHS, AND HHSC, AND/OR THEIR OFFICERS, AGENTS, EMPLOYEES, REPRESENTATIVES, CONTRACTORS, ASSIGNEES, AND/OR DESIGNEES FROM ANY AND ALL LIABILITY, ACTIONS, CLAIMS, DEMANDS, OR SUITS, AND ALL RELATED COSTS, ATTORNEY FEES, AND EXPENSES ARISING OUT OF OR RESULTING FROM ANY ACTS OR OMISSIONS OF LOCAL GOVERNMENT OR ITS AGENTS, EMPLOYEES, SUBCONTRACTORS, ORDER FULFILLERS, OR SUPPLIERS OF SUBCONTRACTORS IN THE EXECUTION OR**

PERFORMANCE OF THE CONTRACT AND ANY PURCHASE ORDERS ISSUED UNDER THE CONTRACT.

2. **THIS PARAGRAPH IS NOT INTENDED TO AND WILL NOT BE CONSTRUED TO REQUIRE LOCAL GOVERNMENT TO INDEMNIFY OR HOLD HARMLESS THE STATE OF TEXAS, DSHS, OR HHSC FOR ANY CLAIMS OR LIABILITIES RESULTING FROM THE NEGLIGENT ACTS OR OMISSIONS OF THE STATE OF TEXAS, DSHS, OR HHSC OR ITS EMPLOYEES.**
 3. **FOR THE AVOIDANCE OF DOUBT, NEITHER THE STATE OF TEXAS, DSHS, NOR HHSC SHALL INDEMNIFY LOCAL GOVERNMENT OR ANY OTHER ENTITY UNDER THE CONTRACT.**
- J. No Waiver of Sovereign Immunity.** Nothing in the Contract shall be construed as a waiver of DSHS's, HHSC's, or the state of Texas' sovereign immunity. Neither the Contract nor any action or inaction of DSHS shall constitute or be construed as a waiver of any of the privileges, rights, defenses, remedies, or immunities available to the State of Texas, DSHS, or HHSC. The failure to enforce, or any delay in the enforcement of, any privileges, rights, defenses, remedies, or immunities available to the State of Texas, DSHS, or HHSC under the Contract or under applicable law or regulation shall not constitute a waiver of such privileges, rights, defenses, remedies, or immunities or be considered as a basis for estoppel. Neither the State of Texas, DSHS, nor HHSC waives any privileges, rights, defenses, or immunities available to the State of Texas, DSHS, or HHSC by entering into the Contract or by its conduct prior to or subsequent to entering into the Contract. Notwithstanding the forgoing, if Local Government is a state of Texas agency or department, district, authority, county, municipality, or other political subdivision of the state of Texas, then nothing in the Contract will be construed to abrogate any rights or affirmative defenses available to Local Government under doctrines of sovereign and official immunity.
- K. Severability.** If any provision of the Contract is construed to be illegal or invalid, the illegal or invalid provision shall be deemed stricken and deleted to the same extent and effect as if never incorporated, but all other provisions shall continue.
- L. Waiver.** The failure of either Party to object to or to take affirmative action with respect to any conduct of either Party which is in violation or breach of the terms of the Contract shall not be construed as a waiver of the violation or breach, or of any future violation or breach.
- M. Termination**
1. **Convenience.** Either Party may terminate the Contract without cause by giving 30 days' written notice of its intent to terminate to the non-terminating Party. The termination will be effective on the date specified in the terminating Party's notice of termination.

2. **Cause resulting from Material Breach.** Except as otherwise provided by the U.S. Bankruptcy Code, or any successor law, either Party may terminate the Contract, in whole or in part, upon the following condition:
 - i. Material Breach
If a Party determines, in its sole discretion, the other Party has materially breached the Contract or has failed to adhere to any laws, ordinances, rules, regulations or orders of any public authority having jurisdiction and such violation prevents or substantially impairs performance of the other Party's duties under the Contract.
3. **Cause resulting from Failure to Maintain Financial Viability.** DSHS may terminate the Contract if, in its sole discretion, DSHS has a good faith belief that Local Government no longer maintains the financial viability to fully perform its obligations under the Contract.

IX. CERTIFICATIONS

The undersigned contracting Parties certify that:

- A. The services specified above are necessary and essential for activities that are properly within the statutory functions and programs of each Party.
- B. Each Party executing the Contract on its behalf has full power and authority to enter into the Contract.
- C. The proposed arrangements serve the interest of efficient and economical administration of state and local government; and
- D. The services contracted for are not required by Section 21, Article XVI of the Constitution of Texas to be supplied under a contract awarded to the lowest responsible bidder.

DSHS further certifies that it has statutory authority to contract for the services described in the Contract under *Tex. Health and Safety Code* Chapter 191 and *Tex. Gov't Code* Chapter 791.

Local Government further certifies that it has statutory authority to contract for the services described in the Contract under *Tex. Health and Safety Code* Chapter 191 and *Tex. Gov't Code* Chapter 791.

SIGNATURE PAGE FOLLOWS

SIGNATURE PAGE FOR DSHS CONTRACT No.TBD

DEPARTMENT OF STATE HEALTH SERVICES

WALLER COUNTY

Signature

Manda Hall, MD

Printed Name

Associate Commissioner for Community Health
Improvement

Title

Date

Signature

Carbett "Trey" J. Duhon

Printed Name

County Judge

Title

Date

WALLER COUNTY
2024 SALARY ORDER

Item 29.

Amended by Commissioners' Court effective 01/21/2024

2024 APPROVED RATE	2024 BUDGETED AMOUNT
--------------------------	----------------------------

Fund 125-Department 509

Fire Marshal

Senior Fire Inspector/Investigator	\$	32.48	\$	68,079.00
Fire Investigator Supervisor	\$	32.48	\$	68,079.00
Fire Investigator/Inspector	\$	24.96	\$	52,317.00

Fund 125-Department 527

Solid Waste

Assistant	\$	19.27	\$	40,390.00
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Fund 132-Department 509

Fire Marshal

Senior Fire Inspector/Investigator	\$	3,000.00	\$	3,000.00
Fire Investigator Supervisor	\$	7,000.00	\$	7,000.00
Fire Investigator/Inspector	\$	6,000.00	\$	6,000.00

DISTRICT ATTORNEY OFFICE SALARY SUPPLEMENTS PAID BY DEPARTMENT DISCRETIONARY FUNDS

CS Supervisor	\$	2,000.00	\$	2,000.00
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Amendments

Position Titles in the Fire Marshal Department
Solid Waste equalization of assistant salaries
Supplemental pay to Fire Marshal staff from discretionary funds
Supplemental pay to additional DA staff from discretionary funds


Remit To:

Telomack Cabling Solutions
P.O. Box 842551
Houston, TX 77284
email: acctg@telomack.com

Item 31.

Invoice

Date	Invoice #
11/16/2023	1054C

Bill To	Work Performed At
Waller County Treasurer 836 Austin Street, Suite 316 Hempstead, TX 77445	Waller County Swing Space 425 FM 1488 Hempstead, TX 77445

Description	Quantity	Rate	Unit	Amount
<p>To bill completion of Cat 6 cabling at above referenced location per our 08/28/2023 proposal.</p> <p>Server Room #1A: Installed APC NetShelter 42RU cabinet. Attached (3) Cat 6 48-port patch panels for cabling & (1) 24-port empty patch panel for WAP & TV cabling. Installed ladder tray system across SR above cabinet.</p> <p>Workstations: From SR #1A, ran, terminated, tested, & labeled (94) Cat 6 cable drops (1A-D001 to D094) throughout to workstations.</p> <p>WAPs: From Server Room #1A, ran, terminated, tested, & labeled (5) Cat 6 WAP drops (1A-WAP01 TO WAP05). Left cable terminated and service loop at WAP & patch cords in Server Room.</p> <p>TVs: From SR #1A, ran, terminated, tested and labeled (1) Cat 6 network cable & (1) HDMI cable (TV01 & TV02) to 2 TVs.</p> <p>Innerduct Extension Pathway: Installed 200' of 1" plenum innerduct with mule tape from AT&T circuit to Demarc at NW corner of Building to MDF. AT&T to run fiber.</p> <p>Cabling Support Above Ceiling: Installed suspension wire &</p>				

Ordered by Greg Henry		Subtotal
P.O. No.	Due Date	Sales Tax (0.0%)
	12/16/2023	Amount Due


Remit To:

Telomack Cabling Solutions
P.O. Box 842551
Houston, TX 77284
email: acctg@telomack.com

Item 31.

Invoice

Date	Invoice #
11/16/2023	1054C

Bill To	Work Performed At
Waller County Treasurer 836 Austin Street, Suite 316 Hempstead, TX 77445	Waller County Swing Space 425 FM 1488 Hempstead, TX 77445

Description	Quantity	Rate	Unit	Amount
J-hooks above ceiling of offices/hallways for cable pathways.				
Card Readers: From SR #1A, ran, terminated, tested, & labeled (4) Cat 6 network cables (CDR1 to CDR4) to card reader locations. At exterior locations, left cable right inside point of exit for ICS to penetrate exterior walls.				
Cameras: From SR #1A, ran, terminated, tested, & labeled (16) Cat 6 network cables (CAM01 to CAM16) to camera locations. At exterior locations, left cable right inside point of exit for ICS to penetrate exterior walls.				
Project Management: Drafted labeled floorplans, participated in meetings, & support of operations.				
APC NetShelter 42RU cabinet	1	2,165.00	ea	2,165.00
CPI large black stringer radius drops	2	60.00	ea	120.00
CPI H ladder runway	1	171.00	ea	171.00
W wall support kits with j-bolts	2	46.00	ea	92.00
W triangular wall brackets	2	73.00	ea	146.00
CPI 18" rack to runway mounting plate	1	55.00	ea	55.00
Leviton Cat6 48-port patch panels	3	423.00	ea	1,269.00
CPI rack grounding bar	1	94.00	ea	94.00
SR1A misc. material (fire sleeves, anchors, etc)	1	300.00	lot	300.00
18,000' BerkTek Cat 6, 4-pair UTP plenum cable @\$0.37/ft		6,600.00	bid	6,600.00
BerkTek Cat 6A, 4-pair UTP plenum cable	1,000	0.78	ft	780.00

Ordered by Greg Henry		Subtotal
P.O. No.	Due Date	Sales Tax (0.0%)
	12/16/2023	Amount Due


Remit To:

Telomack Cabling Solutions
P.O. Box 842551
Houston, TX 77284
email: acctg@telomack.com

Item 31.

Invoice

Date	Invoice #
11/16/2023	1054C

Bill To	Work Performed At
Waller County Treasurer 836 Austin Street, Suite 316 Hempstead, TX 77445	Waller County Swing Space 425 FM 1488 Hempstead, TX 77445

Description	Quantity	Rate	Unit	Amount
Cat 6 inserts - blue & black	96	10.00	ea	960.00
Cat 6 inserts- green	10	14.00	ea	140.00
Leviton faceplates & surface mount boxes	55	4.00	ea	220.00
Leviton pass-thru TV faceplates	2	7.00	ea	14.00
Cat 6A patch cords, 3' long, for WAP	5	6.00	ea	30.00
HDMI fiber cables, 150' long	2	275.00	ea	550.00
Misc. Cabling Support (velcro, labels, support, etc.)	1	350.00	lot	350.00
Arlington large straps	100	5.00	ea	500.00
Arlington small straps	150	2.00	ea	300.00
Suspension wire, screws, bolts, nuts	1	200.00	lot	200.00
6-strand MM 50m OM3 indoor/outdoor fiber	200	3.00	ft	600.00
Cabling Support in inner-duct	1	52.00	lot	52.00
Leviton empty 12-port patch panel	1	92.00	ea	92.00
Cat 6 plenum card reader drops	4	160.00	ea	640.00
Cat 6 plenum camera drops	16	180.00	ea	2,880.00
Cabling Support (ties, j-hooks, velcro)	1	100.00	bid	100.00
Installation of inner-duct		640.00	bid	640.00
Labor to build out MDF		3,000.00	bid	3,000.00
Labor to install ceiling support		1,000.00	bid	1,000.00
Labor to install LV/TV/WAP cables		16,000.00	bid	16,000.00
Project management		1,800.00	bid	1,800.00
Ordered by Greg Henry		Subtotal		\$41,860.00
P.O. No.	Due Date	Sales Tax (0.0%)		\$0.00
	12/16/2023	Amount Due		\$41,860.00


Remit To:

Telomack Cabling Solutions
P.O. Box 842551
Houston, TX 77284
email: acctg@telomack.com

Item 31.

Invoice

Date	Invoice #
11/16/2023	1049C

Bill To	Work Performed At
Waller County Treasurer 836 Austin Street, Suite 316 Hempstead, TX 77445	Waller County Tax Precinct 4 32225 US Hwy 90 Business Brookshire, TX 77423

Description	Quantity	Rate	Unit	Amount
On 10/13/2023, our tech ran Cat 6 cabling at above referenced location. From IDF, ran, terminated, tested, & labeled (2) Cat 6 data drops (D264 & D265) to Mail Room.				
Cat 6, 4-pair plenum cable	150	0.45	ft	67.50
Cat 6 inserts	2	10.00	ea	20.00
Leviton 2-port faceplate	1	5.00	ea	5.00
Misc. Cabling Support (velcro, labels, support, etc.)	1	10.00	lot	10.00
Labor: 2 techs (M.Moore, F.Sanchez) @ 2.0 hours each (9:00AM to 11:00AM).	4	90.00	hr	360.00
Trip Charges	2	90.00	trip	180.00
Ordered by Greg Henry				Subtotal \$642.50
P.O. No.	Due Date	Sales Tax (0.0%)		\$0.00
	12/16/2023	Amount Due		\$642.50

Please update your records with our new remittance address.


Remit To:

Telomack Cabling Solutions
P.O. Box 842551
Houston, TX 77284
email: acctg@telomack.com

Item 31.

Invoice

Date	Invoice #
11/16/2023	1055C

Bill To	Work Performed At
Waller County Treasurer 836 Austin Street, Suite 316 Hempstead, TX 77445	Waller County Swing Space 425 FM 1488 Hempstead, TX 77445

Description	Quantity	Rate	Unit	Amount
To bill additional cabling at above referenced location per our 08/28/2023 proposal - Change Order.				
From SR #1A, ran, terminated, tested, & labeled (21) Cat 6 network cables...19 data cables (1A-D095 to D113) to workstations & 2 camera cables (CAM17 & CAM18) to camera locations.				
BerkTek Cat 6A 4-pair UTP plenum cable	2,000	0.88	ft	1,760.00
Cat 6 inserts	19	10.00	ea	190.00
Leviton faceplates	19	5.00	ea	95.00
Misc. Cabling Support (velcro, labels, support, etc.)	1	50.00	lot	50.00
Installation Labor - 2 techs @ 2 days - 8.0 hours each	32	90.00	hr	2,880.00
Ordered by Greg Henry				Subtotal \$4,975.00
P.O. No.	Due Date	Sales Tax (0.0%)		\$0.00
	12/16/2023	Amount Due		\$4,975.00

Please update your records with our new remittance address.


Remit To:

Telomack Cabling Solutions
P.O. Box 842551
Houston, TX 77284
email: acctg@telomack.com

Item 31.

Invoice

Date	Invoice #
11/16/2023	1052C

Bill To	Work Performed At
Waller County Treasurer 836 Austin Street, Suite 316 Hempstead, TX 77445	Waller County Swing Space 425 FM 1488 Hempstead, TX 77445

Description	Quantity	Rate	Unit	Amount
On 10/03/2023, our techs ran Cat 6 cabling at above referenced location. From IDF #1A, ran, terminated, tested, & labeled (2) Cat 6 data cables (1A-D023 & D024) to new location for Fire Alarm near Lobby front door.				
Cat 6, 4-pair plenum cable	250	0.45	ft	112.50
Cat 6 inserts	2	10.00	ea	20.00
RJ45 modular plugs	2	1.25	ea	2.50
Misc. Cabling Support (velcro, labels, support, etc.)	1	15.00	lot	15.00
Labor: 2 techs (M.Moore, F.Sanchez) @ 2.0 hours each (8:00AM to 10:00AM).	4	90.00	hr	360.00
Trip Charges	2	90.00	trip	180.00
Ordered by Greg Henry				Subtotal \$690.00
P.O. No.	Due Date	Sales Tax (0.0%)		\$0.00
	12/16/2023	Amount Due		\$690.00

Please update your records with our new remittance address.


Remit To:

Telomack Cabling Solutions
P.O. Box 842551
Houston, TX 77284
email: acctg@telomack.com

Item 31.

Invoice

Date	Invoice #
11/30/2023	1070C

Bill To	Work Performed At
Waller County Treasurer 836 Austin Street, Suite 316 Hempstead, TX 77445	Waller County Swing Space 425 FM 1488 Hempstead, TX 77445

Description	Quantity	Rate	Unit	Amount
On 11/06 through 11/09/2023, our techs provided support & installed Cat 6 cabling at above referenced location. Assisted onsite with employee move-in; helped with connections & hooked up computers. From IDF ran, terminated, tested, & labeled: (2) Cat 6 TV drops (TV3 & TV4) in Judge's office, (2) Cat 6 data drops (D124 & D125) in IDF Room. Relocated & terminated, tested, & labeled: In Sec Area relocated (2) existing data drops (D83 & D84) over approx. four feet to left In Courtroom relocated (2) existing data drops (D107 & D108) approx four feet to right. Tested cables (D057 & D058) & verified connectivity. Tested (WAPD004) & verified connectivity.				
Cat 6, 4-pair plenum cable	300	0.37	ft	111.00
Cat 6 inserts	4	10.00	ea	40.00
Leviton faceplates	4	5.00	ea	20.00
Misc. Cabling Support (velcro, labels, support, etc.)	1	25.00	lot	25.00
Labor: (1 tech) M.Moore @ 8.0 hr x 3 days	24	90.00	hr	2,160.00
Labor: (1 tech) A.Solis @ 8.0 hrs x 1 day	8	90.00	hr	720.00
Trip Charges	4	90.00	trip	360.00
Ordered by	Subtotal			\$3,436.00
P.O. No.	Due Date	Sales Tax (0.0%)		\$0.00
	12/30/2023	Amount Due		\$3,436.00

Please update your records with our new remittance address.


Remit To:

Telomack Cabling Solutions
P.O. Box 842551
Houston, TX 77284
email: acctg@telomack.com

Item 31.

Invoice

Date	Invoice #
11/16/2023	1061C

Bill To	Work Performed At
Waller County Treasurer 836 Austin Street, Suite 316 Hempstead, TX 77445	Waller County Swing Space 425 FM 1488 Hempstead, TX 77445

Description	Quantity	Rate	Unit	Amount
On 10/31/2023, our techs installed additional Cat 6 cabling at above referenced location. From IDF #1A, ran, terminated, tested, & labeled (10) Cat 6 network drops (1AD114 to D123) throughout offices.				
Cat 6, 4-pair plenum cable	985	0.37	ft	364.45
Cat 6 inserts	10	10.00	ea	100.00
Leviton faceplates	5	5.00	ea	25.00
Misc. Cabling Support (velcro, labels, support, etc.)	1	100.00	lot	100.00
Labor: 2 techs (M.Moore, M.Carroll) @ 8.5 hr ea (8:00AM to 4:30PM)	16	90.00	hr	1,440.00
Trip Charge	2	90.00	trip	180.00
Ordered by Danny Rothe				Subtotal \$2,209.45
P.O. No.	Due Date	Sales Tax (0.0%)		\$0.00
	12/16/2023	Amount Due		\$2,209.45

Please update your records with our new remittance address.



Bluum USA, Inc. (f.k.a. Troxell Communications Inc.)
4675 E. Cotton Center Blvd
Suite 155
Phoenix AZ 85040
www.bluum.com

Invoice No: 640414 - 1

Date: 11/21/2023

Bill To

Accounts Payable
WALLER COUNTY
836 Austin St.
Hempstead TX 77445-4667

Ship To

DIGITAL PRO
6776 Southwest Fwy Ste. 182,
HOUSTON TX 77074

Due Date	Order No	Sales Person	Job	PO #	Ship Via	FOB Point
12/21/2023	640414	1007 Joseph Cupidore	15952 15952 WALLER COUNTY COURTHOUSE EQUIPMENT UPGRADE	Signed Quote - Rothe - 9.26.23	Best Way - USA	FOB Destination

Qty Ord	Item	Price	Ext. Price
	***** Waller County Courthouse Relocate existng sound Equipment *****		
6	CONTROL 26CT 6.5" Ceiling Loud Speaker Transducer Assembly - Includes a multi-tap transformer for a 70V or 100V line distribution system - White	\$169.10	\$1,014.60
1	UA850 50' UHF Remote Antenna extension Cable Bnc-Bnc	\$94.80	\$94.80
1	Subcontractor Materials Subcontractor Materials- SPEAKER CABLING DGP-16SPK	\$300.00	\$300.00
1	Subcontractor Materials Subcontractor Materials- Cat 6a cabling and connectors DGP-CAT6A	\$114.00	\$114.00
1	Subcontractor Installation Subcontractor Installation - Digital Pro DGP Installation: On-Site Equipment Installation, existing Sound Equipment, wireless microphone, Ceiling Array Mics, System Rack. Install New cabling System commisioning and testing DGP Service:Demo existing System and transport to new location	\$5,400.02	\$5,400.02
2	***** Waller County Courthouse Displays Estimate ***** QB75B Samsung QB75R-B - 75" Diagonal Class QBR-B Series LED-backlit LCD display - digital signage - 4K UHD (2160p) 3840 x 2160 - Edge LED BLU	\$1,454.75	\$2,909.50
2	AM95 Low-Profile Dual Stud - Dual Arm Swing Out Mount for Flat Panels up to 95 lbs./43 kg	\$156.88	\$313.76
2	P-HD28-35RM HDMI Cable with Repeater, 28 AWG, Plenum, 35ft	\$107.14	\$214.28



640414



Bluum USA, Inc. (f.k.a. Troxell Communications Inc.)
4675 E. Cotton Center Blvd
Suite 155
Phoenix AZ 85040
www.bluum.com

Invoice Item 32.

Invoice No: 640414 - 1

Date: 11/21/2023

Qty Ord	Item	Price	Ext. Price
1	DH14-220 Splitter, HDMI 2.0, 1X4, w/Aud De-embedded & Dwonscale	\$63.70	\$63.70
3	Subcontractor Materials Subcontractor Materials- Passthrough Wall Plate DGP-WP	\$14.40	\$43.20
1	Subcontractor Materials Subcontractor Materials- Audio from PC to Sound system DGP-Audio	\$90.00	\$90.00
1	Subcontractor Installation Subcontractor Installation - Digital Pro DIGITAL PRO INSTALLATION DGP Installation: On-Site Equipment Installation, Wall Mount Display, System commisioning and testing	\$1,296.00	\$1,296.00

Subtotal	\$11,853.86
Tax Total	\$0.00
Shipping Cost	\$0.00
Total	\$11,853.86

Please consult the pack list from the product delivery for warranty information and Bluum's return policy. Please contact our office if this document is not available.
This document is subject to the terms and conditions found here: www.bluum.com/terms-conditions

Please remit payment to:

ACH:
Account name: Bluum USA Inc.
Bank name: BMO Harris Bank, N.A., 5704 W. Glenn Dr., Glendale, AZ 85301
ABA: 071000288
Account number: 0001844612

Check:
Payable to: Bluum USA
Address: 4675 E. Cotton Center Blvd., Ste 155 Phoenix, AZ 85040

Please email remittance details to billingpayments@bluum.com



**STATE OF TEXAS
COUNTY OF WALLER**

ORDER SELF-CERTIFYING AN INCREASE IN THE MICRO-PURCHASE THRESHOLD

WHEREAS, from time to time, the County of Waller purchases goods and services using federal funding subject to the procurement standards in 2 C.F.R. Part 200, Subpart D; and

WHEREAS, the County of Waller is a non-Federal entity as defined by 2 C.F.R. § 200.1; and

WHEREAS, pursuant to 2 C.F.R. 200.320(a)(1)(ii), a non-Federal entity may award micro-purchases without soliciting competitive price or rate quotations if the non-Federal entity considers the price to be reasonable based on research, experience, purchase history, or other information and documents that the non-Federal entity files accordingly; and

WHEREAS, pursuant to 2 C.F.R. 200.320(a)(1)(iii), a non-Federal entity is responsible for determining and documenting an appropriate micro-purchase threshold based on internal controls, an evaluation of risk, and its documented procurement procedures; and

WHEREAS, pursuant to 2 CFR 200.320(a)(1)(iv), a non-Federal entity may self-certify a micro-purchase threshold up to \$50,000 on an annual basis and must maintain documentation to be made available to the Federal awarding agency and auditors in accordance with 2 CFR 200.334; and

WHEREAS, pursuant to 2 C.F.R. § 200.320(a)(1)(iv), such self-certification must include (1) a justification for the threshold, (2) a clear identification of the threshold, and (3) supporting documentation that the non-Federal entity is a low-risk auditee in accordance with the criteria in 2 CFR 200.520 for the most recent audit; and

WHEREAS, Waller County is a low-risk auditee in accordance with the criteria in 2 CFR 200.520 for the most recent audit; and

WHEREAS, Texas Local Government Code 262.023 requires counties to use competitive purchasing procedures for non-exempt items where the cost of the contract exceeds \$50,000; and

WHEREAS, the County of Waller's procurement of such goods and services is subject to the Waller County Procurement Policies and Procedures as well as Texas Local Government Code 262 and other State purchasing laws; and

WHEREAS, pursuant to 2 C.F.R. 200.320(a)(1)(iv)(A), the County of Waller now desires to adopt a higher micro-purchase threshold than the amount identified in 48 C.F.R. § 2.101.

NOW THEREFORE, IT IS HEREBY ORDERED by the Commissioner's Court of Waller County that effective January 10, 2024 for fiscal year 2024, Waller County self-certifies that its micro-purchase threshold, as defined in 2 CFR 200.320(a)(1)(ii), is hereby increased to \$50,000. Unless otherwise required by the County's internal purchasing regulations or controls, purchases up to the micro-purchase threshold may be purchased without soliciting competitive price or rate quotations if the County considers the price to be reasonable based on research, experience, purchase history, or other information and documents its files accordingly.

This self-certification is based on the following justification, as recognized and authorized by 2 CFR 200.320(a)(1)(iv): This self-certification of a higher micro-purchase threshold for purchases using Federal funding is intended to promote the effective stewardship of County time and resources. All

purchases made by Waller County are subject to the Waller County Procurement Policies and Procedures, and Texas law. The County's internal controls and documented procurement procedures are intended to promote fairness in purchasing and reduce any risk associated with purchasing. Texas law generally permits counties to make non-competitive purchases for goods or services where the contract is valued at less than \$50,000 in the aggregate, as set forth in Texas Local Government Code 262.023. Raising the micro-purchase threshold will make the federal competitive procurement threshold consistent with the Texas competitive procurement law threshold.

In any instance where Texas or other federal law imposes a requirement to competitively procure any good or service costing less than \$50,000, or where Texas or other federal law imposes more stringent purchasing standards or procedures set forth in 2 CFR Part 200, the County shall follow the more restrictive legal requirement. If Waller County receives funding from a Federal grantor agency that adopts a threshold more restrictive than those contained herein, Waller County shall comply with the more restrictive threshold when expending such funds.

The self-certification made herein shall not be applicable to Federal financial assistance awards issued prior to November 12, 2020, including financial assistance awards issued prior to that date under the Coronavirus Aid, Relief, and Economic Support (CARES) Act of 2020 (Pub. L. 116-136).

Waller County shall maintain documentation to be made available to a Federal awarding agency, any pass-through entity, and auditors in accordance with 2 C.F.R. § 200.334.

ADOPTED January 10, 2024 by the Waller County Commissioner's Court.

Carbett "Trey" J. Duhon III
County Judge

ATTEST:

Debbie Hollan
County Clerk

THE STATE OF TEXAS
COUNTY OF WALLER

IN THE COMMISSIONERS' COURT
OF WALLER COUNTY, TEXAS

BE IT REMEMBERED that on this the 10th day of January, 2024, the Commissioners' Court of Waller County, Texas met in Regular Session at its regular meeting place in the Waller County Joe Kuciemba Annex in Hempstead, Texas with the following members of said Court Present:

Carbett "Trey" J. Duhon III, County Judge
John A. Amsler, Commissioners, Pct. #1
Walter E. Smith, Commissioners, Pct. #2
Kendric D. Jones, Commissioner, Pct. #3
Justin Beckendorff, Commissioner, Pct. #4

And the Court being duly opened, there came on for consideration the matter of approving an allowance for Motel or hotel accommodations and registration fees and for mileage and meals of County Officials and Employees who are on official County business in their private car and are traveling outside the area of Waller County for the year 2024.

Motion was made by Commissioner _____, duly seconded by
Commissioner _____ that the following allowances be made for mileage and meals:

\$ 0.67 cents per mile

\$ 64.00 Meals for overnight out-of-county business related travel shall not exceed \$64.00 per day, No Itemized receipts are required. Departure/Return days are reimbursed at 75% and shall be processed through accounts payable.

\$ 25.00 Meals for non-overnight out-of-county business related travel shall not exceed \$25.00 per day, Itemized receipts required and shall be processed through payroll.

and that motel or hotel accommodations and registration fees for County Officials and Employees in connection with official County business will be paid for actual time involved in attendance of official business, seminars, and conferences. To receive reimbursement for motel or hotel accommodation and registration fees, employee or official must submit an itemized receipt for same.

Upon the question being duly and timely put by the Presiding Judge,

Judge Carbett "Trey" J. Duhon III	___	voted AYE,	___	voted NAY,	___	ABSTAINED
Commissioner John A. Amsler	___	voted AYE,	___	voted NAY,	___	ABSTAINED
Commissioner Walter E. Smith	___	voted AYE,	___	voted NAY,	___	ABSTAINED
Commissioner Kendric D. Jones	___	voted AYE,	___	voted NAY,	___	ABSTAINED
Commissioner Justin Beckendorff	___	voted AYE,	___	voted NAY,	___	ABSTAINED

Whereupon the Presiding Judge declared the Motion passed, approved and adopted as an Order of this Court.

Carbett, "Trey" J. Duhon III,
Waller County Judge

THE STATE OF TEXAS
COUNTY OF WALLER

IN THE COMMISSIONERS' COURT
OF WALLER COUNTY, TEXAS

BE IT REMEMBERED that on this the 10th day of January, 2024, the Commissioners' Court of Waller County, Texas met in Regular Session at its regular meeting place in the Waller County Joe Kuciemba Annex in Hempstead, Texas with the following members of said Court Present:

Carbett "Trey" J. Duhon III, County Judge
John A. Amsler, Commissioners, Pct. #1
Walter E. Smith, Commissioners, Pct. #2
Kendric D. Jones, Commissioner, Pct. #3
Justin Beckendorff, Commissioner, Pct. #4

And the Court being duly opened, there came on for consideration the matter of **Setting the pay of Jurors in this County for 2024, and providing food and lodging for Jurors in certain cases and instances, and due consideration of the matter and the statutes regulating such pay and other matters being given.**

IT IS HEREBY ORDERED that for the year 2024, each grand juror, and each petit juror in a civil or criminal case in a district court, county court, county court at law, or justice court is entitled to receive as reimbursement for travel and other expenses. No less than \$20.00 for the first day or fraction of the first day served as a juror; and no less than \$58.00 for each day or fraction of each day served as a juror after the first day; and that the Sheriff of Waller County be and he is hereby authorized, to provide food for jurors impaneled in felony cases as provided for in Article 104.001, Code of Criminal Procedure. Waller County will incur all expenses for food and lodging for Jurors that are sequestered.

Motion was made by Commissioner _____, duly seconded by
Commissioner _____ that the above and foregoing request be and the same is hereby approved.

Upon the question being duly and timely put by the Presiding Judge,

Judge Carbett "Trey" J. Duhon III	_____ voted AYE, _____ voted NAY, _____ ABSTAINED
Commissioner John A. Amsler	_____ voted AYE, _____ voted NAY, _____ ABSTAINED
Commissioner Walter E. Smith	_____ voted AYE, _____ voted NAY, _____ ABSTAINED
Commissioner Kendric D. Jones	_____ voted AYE, _____ voted NAY, _____ ABSTAINED
Commissioner Justin Beckendorff	_____ voted AYE, _____ voted NAY, _____ ABSTAINED

Whereupon the Presiding Judge declared the Motion passed, approved and adopted as an Order of this Court.

Carbett, "Trey" J. Duhon III,
Waller County Judge

GULF COAST RAIL DISTRICT

HOUSTON ★ TEXAS

6922 Katy Road
Houston, TX 77024
Phone 713-843-5451
Fax 713-881-3171

INVOICE NO.	INVOICE DATE	AMOUNT DUE
	11/8/2023	\$ 7,500.00

To: Waller County
Attn: Ms. Cindy Jones
836 Austin Street, Suite 203
Hempstead, TX 77445

Item	Quantity	Description	Unit Price	Total
	1	General Purpose Fund - 2024		\$7,500.00

Terms: Due Upon Receipt

TOTAL

\$7,500.00

Cindy Jones

From: Patke, Lisa <L-Patke@tti.tamu.edu>
Sent: Wednesday, November 8, 2023 9:35 AM
To: Cindy Jones; McKenzie Kelley; Trey Duhon
Cc: Parker, Katherine
Subject: GCRD Annual County Payment Request and Invoice | Waller
Attachments: GCRD Resolution 23-16 Fee Structure.pdf; Invoice2024.Waller.pdf

CAUTION: This email originated from outside of the County. Do not click links or open attachments unless you recognize the sender and know that the content is safe.



November 8, 2023

The Honorable Carbett "Trey" Duhon III
Waller County Judge
836 Austin Street, Suite 203
Hempstead, Texas 77445

Dear Judge Duhon:

The Gulf Coast Rail District (GCRD) is continuing its mission to improve the region's safety and mobility, particularly at grade crossings and as it relates to rail transportation. The GCRD Board and its committees recently met to develop the 2024 agenda, which includes securing project funding, identifying passenger commuter corridors that can be pursued short term, working with member entities, state, regional, community, and railroad partners through the newly formed GCRD committee, The Houston Area Rail Transformation (THE HART). THE HART is the Greater Houston region's collaborative and programmatic approach to leverage private and public funding opportunities for railroad projects in the region and is GCRD's mechanism to implement roadway/railway improvements. The West Belt Improvement Project (Phase 1) was awarded \$36.9 million through the Railroad Crossing Elimination Grant Program administered by the Federal Railroad Administration. The City of Houston was the sponsor; however, the history of this project began with the Gulf Coast Rail District before 2012. Our collaborative efforts through THE HART committee helped to make this application a success!

In July of 2023, the GCRD Board adopted a fee structure policy for current and future member entity contributions to the Gulf Coast Rail District. The policy determines contribution for counties by population and non-county entities by annual revenue. Attached is the policy and current contribution amounts. Waller County's new contribution request is \$7,500 for GCRD General Purposes in 2024. The GCRD Board has

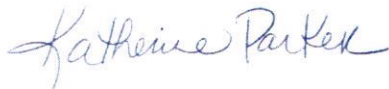
developed a budget for its basic operations and is seeking financial assistance from Waller County Commissioners Court for its seventeenth year of activity.

Item 36.

As you are aware, this is a crucial time for the Houston region to focus on passenger transport. Much of the product supporting the economic growth in Texas and the U.S. is moving by rail to and from facilities along the Gulf Coast. Even more will move by truck on already congested roads. Effective passenger transport options can help address that challenge cost-effectively; it is also critical that we reduce the interfaces with at-grade rail and help facilitate freight movement.

Judge Duhon, your assistance in securing \$7,500 from Waller County to support Gulf Coast Rail District activities will be greatly appreciated. We look forward to continuing dialog with you and your staff to achieve these critical objectives.

Sincerely,



Katherine Parker
Executive Director
713-843-5451 phone
Katherine.Parker@gcrd.net



RESOLUTION NO. 23-16

RESOLUTION ADOPTING A GULF COAST RAIL DISTRICT FEE STRUCTURE POLICY FOR EXISTING AND NEW MEMBER ENTITIES

Whereas, The Gulf Coast Rail District (GCRD) began discussions to establish a proposed fee structure policy in January of 2021; and

Whereas, the policy will provide a structural guide to annual contributions for the Gulf Coast Rail District and establish contribution levels for counties by population and non-county entities by annual revenue; and

NOW, THEREFORE BE IT RESOLVED BY THE GULF COAST RAIL DISTRICT THAT THE ATTACHED FEE STRUCTURE POLICY FOR EXISTING AND NEW MEMBER ENTITIES IS HEREBY ADOPTED. THIS POLICY SHALL BE REVIEWED AT LEAST EVERY FIVE YEARS.

PASSED AND APPROVED this 11th day of July 2023 at a regularly called meeting of the Gulf Coast Rail District.

APPROVED:

ATTEST:

DocuSigned by:

Dr. Carol Lewis

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Carol Abel Lewis, Ph.D., Chairperson
Gulf Coast Rail District

DocuSigned by:

Jon Keeney

A64A3BB75E8548G...

Jon Keeney, Secretary
Gulf Coast Rail District



GULF COAST RAIL DISTRICT FEE STRUCTURE

BACKGROUND

The Legislative and Funding committee began discussions concerning the proposed fee structure in January of 2021 to establish a policy for current and future member entity contributions to the Gulf Coast Rail District (the "District"). In the past, member entity contributions were agreed upon at the time each entity joined the Gulf Coast Freight Rail District. There has not been a standard policy or agreements related to annual contribution amounts to the District for current or new members. The current annual contributions have remained the same since the District's inception in 2007.

PROPOSED CHANGE

In order to provide a structural guide to annual contributions for the District, the Legislative and Funding Committee is proposing contribution levels be determined for counties by population and non-county entities by annual revenue. This policy shall be reviewed at least every five years.

Current Annual Contribution Amounts

Waller County - \$5,000
 Galveston County - \$5,000
 Montgomery County - \$5,000 (last payment 2018)
 Harris County - \$75,000
 Fort Bend County - \$35,000
 Port Houston - \$96,000 (\$24,000 per quarter-last payment March 2017)
 City of Houston-Executive Director position, office space, website cost and maintenance
 approx. \$126,000

PROPOSED COUNTY CONTRIBUTION LEVELS EXAMPLES

Population size	Amount	County Population*
less than 500K	\$7,500	Waller (54K), Galveston (351K)
501,000-750, 000	\$15,000	Montgomery (621K)
751,000 – 1.5 M	\$35,000	Fort Bend (800K)
over 1.5 M	\$75,000	Harris (4,735,000)
	\$126,000	City of Houston (2,300,000) **

**City of Houston-ED position, office space, website cost and maintenance approx. \$126,000

NONCOUNTY CONTRIBUTION LEVELS EXAMPLES

Entity	Amount	Annual Revenue
Port Houston	\$ 15,000, plus in-kind contribution	\$651,274,000 ¹
METRO	\$ 25,000	\$1,008,440,496

¹ Source: PHA-ACFR-2022.pdf (porthouston.com), Operating Revenues

² Source: METRO FY 2022 ACFR, METRO Digital Asset Library (resourcespace.com), Revenues comprised of Transportation fares and Sales tax revenues