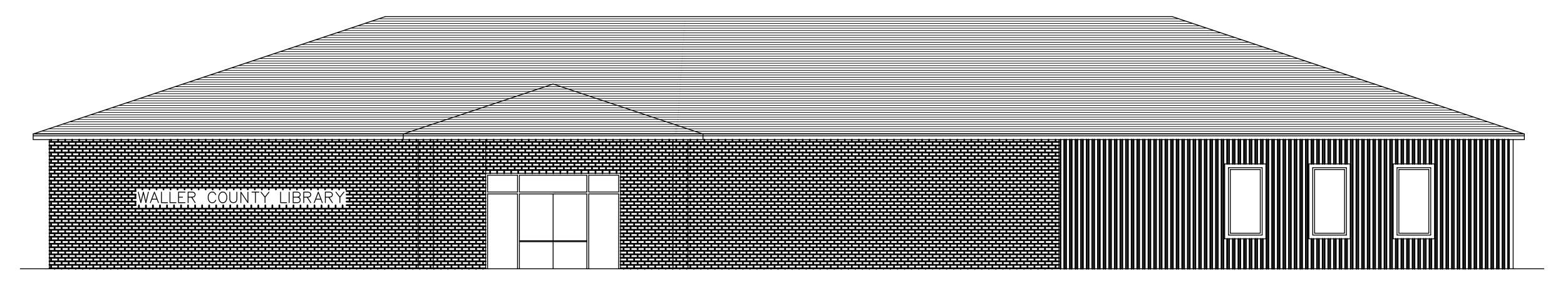
2331 11TH STREET, HEMPSTEAD, TEXAS 77445

Construction and Design Residential / Commercial / Remodel 979-270-0733 / dahvar@gmail.com DAHVAR HAKIMZADEH

- NOTES, PROJECT SCOPE, CODES, OCCUPANCY CLASSIFICATION,
- CONSTRUCTION TYPE, GOVERNING JURISDICTION, ETC. ADDITIONAL NOTES, SYMBOLS, LEGENDS & ABBREVIATIONS
- EXISTING SITE PLAN WITH DEMOLITION / NEW SITE PLAN
- EXISTING & DEMOLITION FLOOR PLAN / EXISTING SQUARE FOOTAGES
- ADDITION FLOOR PLAN / NEW SQUARÉ FOOTAGES / ACCESSIBILITY NOTES / DOOR & WINDOW SCHEDULES AND ELEVATIONS ADDITION WALL FINISH PLAN WITH ADA SIGNAGE LOCATIONS
- ADDITION FLOOR & BASE FINISH PLAN
- ADDITION REFLECTED CEILING PLAN
- FOUNDATION FORMING AND SURFACE FEATURE PLAN
- NEW NORTH, WEST & EAST EXTERIOR ELEVATIONS (NO CHANGES TO SOUTH ELEVATION)
- ADDITION BUILDING SECTION
- **NEW ROOF PLAN**
- NEW INTERIOR ELEVATIONS / NEW ADA HANDICAP RESTROOM INTERIOR ELEVATIONS
- ADDITION LIGHTING & ELECTRICAL PLAN
- DETAILS



NEW STREET ELEVATION - EAST

3/16" = 1'-0"

SHEET

- THE GENERAL CONTRACTOR MUST OBTAIN ALL REQUIRED APPLICATIONS, PERMITS, & INSPECTIONS, ETC. FOR COMPLETION OF WORK. CONTRACTOR TO PROVIDE ALL WORK & MATERIAL IN ACCORDANCE WITH ALL ITEMS MENTIONED IN NOTE #2 ABOVE. PLAN EXPEDITER, IF NECESSARY, WILL ASSIST CONTRACTORS IN PULLING ALL PERMITS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF THE BASE BUILDING SYSTEMS AND ANY U. L. ASSEMBLY RATING(S)
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR NOTIFYING DAHVAR CONSTRUCTION & DESIGN FOR A FIELD CHECK WHEN
- A. ANY UTILITY LINES HAVE BEEN SNAPPED, DAMAGED OR BROKEN
- B. GYPSUM WALL BOARD HAS BEEN INSTALLED ON ONE SIDE OF STUDS \$ TELEPHONE & ELECTRICAL OUTLETS HAVE BEEN LOCATED IN BUILDING OR SPACE.
- C. BUILD-OUT IS SUBSTANTIALLY COMPLETE FOR AN INSPECTION & PREPARATION OF PUNCH LIST. A FINAL WALK-THROUGH AND PUNCH LIST WILL ALSO BE REQUIRED AFTER MOVE-IN IS POSSIBLE.
- PROVIDE TEMPORARY ELECTRICAL POWER FOR SMALL TOOLS & LIGHTING PER OSHA REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR TO CONFIRM TEMPORARY ELECTRICAL POWER CONDITIONS & RESPOND ACCORDINGLY TO PROVIDE TEMPORARY ELECTRICAL POWER. THE GC WILL SUPPLY WORKER TOILET FACILITIES.
- IF APPLICABLE, SHOT BLAST CONC. FLOOR AFTER PLUMBING PATCH WORK SEAL ALL FLOORS WITH EPOXY SEALER.

T.A.S. ACCESSIBLE DESIGN & CONSTRUCTION STANDARDS (IF APPLICABLE

BUILDING FACILITIES SHALL BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE AND CITY OF HOUSTON, TX AMENDMENTS, AS FOLLOWS

- 1. ACCESSIBLE DOORS SHALL COMPLY WITH THE FOLLOWING:
- A. THRESHOLD SHALL BE MAXIMUM 1/2"
- B. MAX. OPENING FORCE SHALL NOT EXCEED 8.5 POUNDS FOR EXT. HINGED DOOR, 5 LBS. FOR SLIDING OR FOLDING DOOR, 5 LBS. FOR INT. HINGED DOOR.
- C. DOOR HARDWARE SHALL BE LEVER HANDLE OR EQUIVALENT AND MOUNTED NOT MORE THAN 42" ABOVE THE FINISHED FLOOR.
- D. DOOR CLOSER, WHERE PROVIDED, SHALL BE ADJUSTED TO CLOSE FORM AN OPEN POSITION OF 70 DEGREES IN NOT LESS THAN FIVE SECONDS TO A POINT 3"
- E. ALL DOORS SHALL BE CAPABLE OF OPENING SO THAT THE CLEAR WIDTH OF THE OPENING IS NOT LESS THAN 32", JAMB TO WALL MIN. 18".
- A. SHALL BE WITHIN THE ACCESSIBLE REACH AND ACCESSIBLE HEIGHT.
- 3. RECEPTACLE/COMMUNICATION SYSTEM RECEPTACLES
- A. SHALL BE MOUNTED AT MIN. OF 15" A.F.F.

4. TOILETS @ FIRST FLOOR

- HEIGHT OF LAVATORIES AND SINKS SHALL BE MOUNTED WITH THE RIM OF COUNTER SURFACE NO HIGHER THAN 34" ABOVE THE FINISHED FLOOR. THE TOTAL DEPTH OF CLEAR SPACE BENEATH THE LAVATORY SHALL NOT BE LESS THAN 17" TOE CLEARANCE SHALL NOT BE MORE THAN 6" IN THE TOTAL DEPTH. KNEE CLEARANCE SHALL NOT BE LESS THAN 29" IN HEIGHT AND 30" IN WIDTH.
- B. FAUCET CONTROL HANDLES SHALL BE LOCATED NOT MORE THAN 17" FROM THE FRONT EDGE OF THE LAVATORY SINK OR COUNTER, AND SHALL COMPLY
- MIRRORS, DISPENSERS, OTHER FIXTURES OR SHELVES SHALL BE INSTALLED SO THAT THE BOTTOM OF THE TOP OF THE SHELF IS WITHIN 40" OF

GENERAL CONTRACTOR SUBMITTALS

- 1. THE GENERAL CONTRACTOR SHALL SUBMIT FOR APPROVAL PRIOR TO CONSTRUCTION ALL REQUIRED SHOP DRAWINGS, PRODUCT DATA, MANUFACTURERS SPECIFICATIONS (CUT SHEETS) & PRODUCT SAMPLES. SUBMISSIONS INCLUDE, BUT ARE NOT LIMITED TO :
- A. SUBMIT SHOP DRAWINGS ON ALL WOOD MILLWORK CONSTRUCTION, ALUMINUM EXTRUSIONS & BRAKE METAL, INTERIOR GLAZING & GLASS DOORS \$ DETAILS FOR ALL AIR SUPPLY \$ AIR RETURN REGISTERS MOUNTED IN GYPSUM BOARD SURFACES.
- B. SUBMIT PRODUCT DATA \$/OR MANUFACTURERS SPECIFICATIONS (CUT SHEETS) ON HARDWARE APPLIANCES, PROJECTOR SCREENS, AIR SUPPLY & AIR RETURN REGISTERS, LIGHT FIXTURES, PLUMBING FIXTURES & FITTINGS & NON-STANDARD BUILDING ITEMS & AWNIGS
- C. SUBMIT SAMPLES OF ALL FLOOR/BASE FINISHES, CEILING FINISHES & CEILING TRIM/MOLDING(S), WALL FINISHES/COVERINGS & WALL TRIM/MOLDING(S), MILLWORK FINISHES, DOOR/OPENING FINISHES & TRIM, WINDOW FINISHES & TRIM, WAINSCOTS, CHAIR RAILS, HARDWARE FINISHES, & PAINT.

SITE PREPARATION & DEMOLITION

- 1. ALL DEMOLITION SHALL BE DONE NEATLY & WITHOUT DAMAGE TO REMAINING OR EXISTING CONSTRUCTION. THE DEMOLISHED AREAS SHALL BE CLEARED OF ALL DEBRIS, CLUTTER, FLOOR COVERING & RESIDUE ADHESIVE, ETC. & LEFT CLEAN.
- WHERE NEW CONSTRUCTION CONNECTS WITH EXISTING CONSTRUCTION. THE CONTRACTOR SHALL DO NECESSARY CUTTING, FITTING & PATCHING. THE CONTRACTOR SHALL FURNISH ALL LABOR & MATERIALS NECESSARY TO COMPLETE THE CONSTRUCTION & PROTECT ALL EXISTING CONSTRUCTION FROM DAMAGE.
- FOUNDATION AND/OR FLATWORK CONCRETE SLAB DEMOLITION IN EXISTING OCCUPIED BUILDING(S) MUST BE DONE DURING TYPICAL BUSINESS HOURS, UNLESS APPROVED IN ADVANCE BY THE APPROPRIATE AUTHORITIES.
- FOUNDATION AND/OR FLATWORK CONCRETE SLAB BREAKOUT A. WHEN BREAKING OUT CONCRETE FOR ANY REWORK REQUIRED:
 - 1. ALL EXCAVATED AREAS IN THE BUILDING PAD ARE TO BE BACK-FILLED WITH SAND, COMPACTED IN 8 LIFTS BY HAND TAMPING OR WITH A MECHANICAL TAMPING MACHINE.
 - 2. NEW REINFORCING SHALL BE EQUAL TO EXISTING REINFORCEMENT \$ SHALL BE OVERLAPPED & TIED TO THE EXISTING REINFORCING.
 - 3. RE-POUR BREAKOUT AREA OVER 6 MIL. POLY. VAPOR BARRIER WITH 5 SACK, 3,000 P.S.I. HARDROCK CONCRETE TO THE SAME DEPTH AS THE EXISTING FOUNDATION, UNLESS NOTED OTHERWISE.

- OTHER CONCRETE CUTS : CUT HOLES IN CONCRETE FOR PIPING, ETC. WITH APPROPRIATE TOOLS TO ASSURE AN EVEN CUT WITH CLEAN EDGES. CUT HOLES NOT LARGER THAN NECESSARY TO ALLOW PIPE TO FIT THROUGH. ANY HOLES THAT MAY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING MUST BE APPROVED BY THE STRUCTURAL ENGINEER. SEAL AROUND ALL PIPES WITH TREMCO MONO SEALANT
- CLEAR FLOOR OF ALL MATERIALS THAT COULD IMPEDE CONSTRUCTION. CLEAR WITH EXTREME PREJUDICE. SEE SPECIFICATION MANUAL FOR SHOP BLASTING PREPARATION

CONSTRUCTION NOTES

- THE GENERAL CONTRACTOR & ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS \$ CONDITIONS SHOWN ON THE PLANS AT THE JOB SITE \$ SHALL NOTIFY DESIGNER OF ANY DISCREPANCIES, ERRORS OR OMISSIONS AND/OR CONFLICTS WITHIN THESE PLANS, NOTES, DETAILS OR SPECIFICATIONS OR WITH THE BASE BUILDING CONDITIONS. NO ALLOWANCE SHALL BE MADE FOR EXTRA EXPENSE OR TIME DUE TO CONTRACTORS FAILURE OR NEGLIGENCE TO COMPLETELY EXAMINE THE JOB SITE, PLANS AND/OR ALL DOCUMENTS RELATED TO THESE PROJECT.
- DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN, LARGE SCALE DETAILS/DRAWINGS GOVERN OVER SMALLER SCALE DETAILS/DRAWINGS. DRYWALL SHALL BE DIMENSIONED FROM FINISH FACE TO FINISH FACE OR FROM CENTERLINE OF PARTITION OR COLUMN UNLESS NOTED OTHERWISE. ALL DIMENSIONS ARE CONSISTENT IN THE FOLLOWING MANNER: SLASHES INDICATE A CENTERLINE DIMENSION, ARROWS POINT TO THE SURFACE TO BE LOCATED.
- SPACES WHICH DO NOT HAVE DIMENSIONS SHOWN ARE FREE-FLOATING & SHOULD BE VERIFIED FOR DIMENSIONS AS-BUILT, UNLESS NOTED OTHERWISE
- PARTITIONS THAT TERMINATE AT EXTERIOR CONDITIONS SHALL BE CENTERED ON CENTERLINE OF DOOR OR WINDOW VERTICAL MULLION, CENTERLINE OF COLUMN, TYPICAL, UNLESS NOTED OTHERWISE.
- PARTITIONS THAT ALIGN WITH SHELL BUILDING PARTITIONS SHALL ALIGN WITH FINISHED FACE OF NEW GYPSUM BOARD LAYER, TYPICAL, UNLESS NOTED OTHERWISE
- METAL FABRICATION:
- RE: STRUCTURAL DRAWINGS AND NOTES AS APPLICABLE.
- 7. WOOD AND PLASTICS:

A. ROUGH CARPENTRY

- 1. ALL ROUGH CARPENTRY TO BE SOUTHERN PINE OR DOUGLAS FIR, GRADE NO. 2
- 2. ALL NAILERS, BLOCKING, GROUNDS, ROUGH BUCKS AND MISCELLANEOUS BLOCKING TO BE FIREPROOFED IN ACCORDANCE WITH MUNICIPAL CODE, AND ALL OTHER APPLICABLE CODES.

B. FINISH CARPENTRY AND MILLWORK

- 1. ALL WOODWORK SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE "QUALITY STANDARDS" OF THE ARCHITECTURAL WOODWORK INSTITUTE (AWI). ANY ITEM NOT GIVEN A SPECIFIC QUALITY GRADE SHALL BE CUSTOM GRADE.
- 2. COORDINATE WORK WITH OTHER TRADES AFFECTED BY INSTALLATION. CABINET CONTRACTOR TO JOB VERIFY ALL DIMENSIONS.
- 3. VERIFY EQUIPMENT SIZES AND SPECIFICATIONS PRIOR TO FABRICATION
- 4. ALL WOOD SURFACES NOT RECEIVING PAINT OR PLASTIC LAMINATE SHALL BE SEALED TO PREVENT MOISTURE PENETRATION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE BRACING AND BLOCKING OF WALLS RECEIVING MILLWORK, SHELVING, ETC.

ALL HIGH PRESSURE DECORATIVE LAMINATE TO BE HGS GRADE !O (.050") AS MANUFACTURED BY WILSONART OR CHOSEN FROM BUILDING STANDARD

DOORS AND WINDOWS

- A. ALL DOORS TO BE SOLID CORE FLUSH DOORS UNLESS NOTED OTHERWISE OR IF RESIDENTIAL. RESIDENTIAL WILL THEN BE DESIGNATED AS "SC".
- B. FABRICATE DOORS TO MEET THE REQUIREMENTS OF NATIONAL WOODWORK MANUF-ACTURERS ASSOCIATION (NWMA) AND THE "QUALITY STANDARDS" OF AWI, CUSTOM
- C. ALL GLAZING TO BE CLEAR FLOAT GLASS UNLESS NOTED OTHERWISE. PROVIDE TEMPERED GLASS WHERE INDICATED OR WHERE REQUIRED BY CODE.
- D. INSTALL GLAZING IN ACCORDANCE WITH INSTRUCTIONS CONTAINED IN THE FLAT GLASS JOBBER'S MANUAL. REPLACE CRACKED, SCRATCHED, BROKEN OR OTHERWISE DAMAGED GLASS. REMOVE ADHERED MATTER AND EXCESS GLAZING MATERIAL

9. FINISHES

A. GENERAL

1. ALL MATERIAL USED FOR INTERIOR WALL AND CEILING FINISHES SHALL HAVE THE FOLLOWING FLAME SPREAD RATINGS:

	CLASS	FLAME SPRE
ENCLOSED VERTICAL EXIT WAYS	CLASS I OR A	0-25
OTHER EXIT WAYS ROOMS AND OTHER AREAS	CLASS II OR B CLASS III OR C	26-75 76-200
FINISHES MAY BE DOWN RATED ONE CLASS SYSTEM IS PROVIDED.	5 MHEN AN AUTOMATIC	SPRINKLER

- 2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PREPARE ALL SURFACES TO RECEIVE FINISHES PER MANUFACTURER'S SPECIFICATIONS.
- CONTRACTORS SHALL LEAVE ALL FINISHED AND ADJOINING SURFACES FREE OF GLUE, PLASTER OR PAINT EXCESS.
- ROUGH FLOOR TO BE PATCHED AND/OR LEVELED AS NECESSARY TO RECEIVE INDICATED FLOOR FINISHES. CONSULT MANUFACTURER FOR RECOMMENDED PATCHING/LEVELING MATERIALS AND PROCEDURES

B. GYPSUM WALLBOARD

- 1. ALL GYPSUM BOARD TO BE TAPED AND FLOATED SMOOTH TO RECEIVE PAINT OR WALLCOVERING AS SPECIFIED ON THE FINISH PLANS. ALL OUTSIDE CORNERS TO HAVE METAL CORNER BEAD AND FLOATED SMOOTH.
- 2. DRYWALL FRAMING TO BE MINIMUM 25 GAUGE GALVANIZED METAL STUDS UNLESS NOTED OTHERWISE. SEE TYPICAL WALL SECTIONS.

C. ACOUSTICAL (WHERE APPLICABLE)

- 1. CEILING IS LAY-IN ACOUSTICAL TILE THROUGHOUT TENANT/OWNER SPACE AND HALLWAYS UNLESS NOTED OTHERWISE. NO MAIN TEES MAY BE CUT FOR ANY PURPOSE.
- 2. WHERE CEILING TILES AND/OR SUSPENSION SYSTEM IS PARTIALLY INSTALLED OR MATERIALS ARE STOCKPILED ON SITE, CONTRACTOR SHALL INVENTORY CONSTRUCTION MATERIALS STORED ON SITE, REPORT TO OWNER AND USE ITEMS MEETING SPECIFICATIONS.
- 3. WHERE ACOUSTICAL INSULATION IS INDICATED, PROVIDE USG THERMAFIBER SOUND ATTENUATION BLANKETS.
- D. RESILIENT FLOORING AND BASE
- PROVIDE COVE TYPE BASE THROUGHOUT EXCEPT WHERE STRAIGHT TYPE BASE IS SPECIFICALLY REQUIRED

E. CARPETING (WHERE APPLICABLE)

- 1. ALL CARPET TO BE "DIRECT GLUED" UNLESS OTHERWISE NOTED
- 2. TENANT/OWNER OR LANDLORD WILL PROVIDE BUILDING STANDARD CARPETING UNLESS NOTED OTHERWISE. SELECTED FROM LANDLORD'S BUILDING STANDARD COLOR PALETTE.
- F. PAINTING (WHERE APPLICABLE)
- 1. ALL SURFACES TO BE PRIMED BEFORE APPLICATION OF FINISH, PER MANUFACTURER'S SPECIFICATIONS.

WITH FACTORY OR SHOP APPLIED FINISH.

- 2. PAINTING OF PARTITIONS, COLUMNS AND WALLS WILL BE PAINTED WITH ONE (1) COAT OF PRIMER AND ONE (1) COAT OF FLAT LATEX FROM LANDLORD'S BUILDING STANDARD COLOR PALETTE. ONE (1) ADDITIONAL COAT OF LATEX MAY
- 3. PAINTING CONTRACTOR TO PROVIDE ONE (1) FULL GALLON CAN OF PAINT FOR TOUCHUP PURPOSES: ONE (1) PER EACH COLOR SPECIFIED.
- 4. CONTRACTOR SHALL PROVIDE PAINT AND TRANSPARENT FINISHES ON VISIBLE EXTERIOR AND INTERIOR SURFACES AND MATERIALS INCLUDING BUT NOT LIMITED
- A. SURFACES AND MATERIALS NOT NOTED OR SPECIFIED TO BE DELIVERED
- B. SURFACES AND MATERIALS NOT SPECIFICALLY NOTED OR SPECIFIED AS REQUIRING PAINT OR TRANSPARENT FINISH.

- 1. ALL WALLCOVERINGS TO BE APPLIED PER MANUFACTURER'S SPECIFICATIONS.
- 2. AT ALL OUTSIDE CORNERS WHERE WALLCOVERING TO PAINT TRANSITIONS OCCUR, WALLCOVERING SHALL BE FINISHED WITH TUCK-IN METAL BEADING.
- 3. ALL ELECTRICAL OUTLET COVER PLATES AND LIGHT SWITCHES FALLING ON A WALL FINISHED IN WALLCOVERING SHALL BE WRAPPED WITH WALLCOVERING TO MATCH UNLESS NOTED OTHERWISE. ALL COVER PLATES ON PAINTED WALLS TO BE OFF-WHITE UNLESS NOTED OTHERWISE.

ADDITIONAL GENERAL NOTES (UNLESS NOTED OTHERWISE)

- 1. WALLS & PARTITIONS THAT ARE COVERED ON THE INTERIOR WITH PLASTER, TILE, OR SIMILAR MATERIALS & SUBJECT TO WATER SPLASH SHALL BE PROTECTED WITH APPROVED WATER-PROOF PAPER & SUB SURFACE OF 5/8" WONDER BOARD, UNLESS NOTED OTHERWISE. SEE ANY WAINSCOT DETAILS @ INTERIOR ELEVATIONS.
- 2. ALL INSULATION SHALL HAVE A FLAME SPREAD RATING OF NOT MORE THAN 25 AND A SMOKE DENSITY OF NOT MORE THAN 450.
- 3. U.N.O. FINISH FLOOR ELEVATION SHALL BE A MINIMUM OF 12" ABOVE THE TOP OF THE NEAREST SANITARY SEWER MANHOLE; IF NO SEWER, THEN THE FINISHED FLOOR SHALL BE 4" ABOVE THE CROWN OF THE STREET.
- 4. FIRESTOPS SHALL BE CONSTRUCTED OF APPROVED MATERIALS.
- PROVIDE FIRESTOPPING IN CONCEALED SPACES OF WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10'-0" INTERVALS ALONG THE LENGTH OF THE WALL
- PROVIDE FIRESTOPPING AT ALL INTER-CONNECTIONS BETWEEN CONCEALED VERTICAL \$ HORIZONTAL SPACES SUCH AS OCCURS AT SOFFITS, DROP CEILINGS \$ COVE CEILINGS SEE ANY BUILDING OR WALL SECTIONS.
- 7. PROVIDE FIRESTOPPING IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP & BOTTOM OF THE RUN OF STAIRS & BETWEEN STUDS ALONG & IN LINE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
- PROVIDE FIRESTOPPING IN OPENINGS AROUND VENTS, PIPES, DUCTS, & SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING & FLOOR LEVELS, WITH NON-COMBUSTIBLE MATERIALS. (TRIMCO MONO SEALANT)
- 9. FOUNDATION SOLE PLATE SHALL BE ANCHORED TO THE FOUNDATION AT 48" O. C. USE TREATED 2 x 6 PINE SET IN MASTIC OR ON 15 LB. FELT
- 10. GLAZING IN HAZARDOUS LOCATIONS, SUCH AS GLASS DOORS & PANELS, SHALL COMPLY WITH I.R.C.. ALL GLAZING WITH-IN 2' OF ANY DOOR OPENING SHALL BE TEMPERED. SEE FLOOR PLAN(S) FOR DESIGNATION FOR TEMPERED GLASS LOCATIONS

MECHANICAL NOTES

- MECHANICAL SUBCONTRACTOR SHALL DESIGN ALL REQUIRED MODIFICATIONS AND SHALL PRODUCE ALL MECHANICAL DRAWINGS REQUIRED FOR PERMIT ON BACKGROUND PLANS PROVIDED BY DESIGNER. FIELD VERIFY EXISTING DUCTWORK, RETURN AIR PATH AND
- THE GENERAL CONTRACTOR IS TO COORDINATE RELOCATION OF ALL MECHANICAL SYSTEMS, AS REQUIRED, TO ENSURE CONFORMANCE WITH DESIGNED PLANS, SPECI-FICATIONS AND SYSTEMS. REFER TO MECHANICAL PLAN FOR AIR SUPPLY AND RETURN. COORDINATE LOCATION WITH REFLECTED CEILING PLAN.
- 3. FOR AREAS WITH ACOUSTICAL TILE SUSPENDED CEILING ONLY. RETURN AIR IS CHANNELED THROUGH BUILDING STANDARD (B.S.) LIGHT FIXTURES. IN SPACES THAT B.S. LIGHT FIXTURES DO NOT PROVIDE SUFFICIENT RETURN AIR OPENINGS USE 2' x 2' RETURN AIR GRILLES THAT MATCH B.S. 2' x 2' AIR SUPPLY GRILLES UNLESS NOTED OTHERWISE.

ELECTRICAL / TELEPHONE NOTES

- I. CODES, PERMITS AND INSPECTIONS
 - A. ELECTRICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL PERMIT DRAWINGS ON BACKGROUND PLANS PROVIDED BY THE DESIGNER.
 - B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODES.
 - C. COMPLY WITH LATEST EDITION OF LOCAL CITY ELECTRICAL CODE AND NATIONAL ELECTRICAL CODE AND OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK. PROVIDE PERMITS REQUIRED AND OBTAIN FINAL INSPECTION AND APPROVAL FROM
 - D. COMPLIANCE WITH CODES MAY INCLUDE U.L. WRAPPING, WIRE IN CONDUIT OR TEFLOW COATED WIRING.

INSPECTION DEPARTMENT HAVING JURISDICTION.

E. REFER TO MECHANICAL FOR FIRE SAFING.

2. LABELING ELECTRICAL CONTRACTOR SHALL

- A. LABEL PANELS, CONTROL POINTS, SWITCHES AND MOTORS. IDENTIFY PANEL BY
- NUMBER. LABEL SMITCHES INDICATING THE EQUIPMENT THAT THEY CONTROL. B. RECORD ALL CIRCUITS AND CIRCUIT NUMBERS ON AS-BUILT DRAWINGS AND LABEL ALL CIRCUITS ON PANEL DIRECTORIES. FIELD VERIFY BRANCH CIRCUIT AVAILABILITY.
- C. VERIFY VOLTAGE OF ALL LIGHTING FIXTURES SPECIFIED TO ASSURE COMPATIBILITY WITH VOLTAGE SUPPLIED TO DEMISED SPACE.
- D. PROVIDE INDUSTRY STANDARD ORANGE RECEPTACLES FOR OUTLETS WITH ISOLATED GROUND, AND YELLOW RECEPTACLES FOR OUTLETS ON DEDICATED CIRCUIT.

3. SWITCHES AND OUTLETS

- A. ALL COVER PLATES SHALL BE WHITE UNLESS NOTED OTHERWISE
- B. SWITCHES TO THE LEVITON WHITE TOGGLE OR EQUAL
- C. GANG OUTLETS AND TELEPHONE JACKS AS CLOSE TOGETHER AS POSSIBLE.

DIMENSIONED LOCATION, NOTIFY DESIGNER BEFORE PROCEEDING.

- D. WHERE MULTIPLE SMITCHES OCCUR IN A ROOM, GANG THEM TOGETHER AS CLOSE AS POSSIBLE, AND LOCATE THEM BEHIND ONE COVER PLATE.
- E. ELECTRICAL SUBCONTRACTOR SHALL COORDINATE WORK WITH MILLWORK SUBCON-TRACTOR FOR ELECTRICAL SMITCHES, OUTLETS OR DEVICES LOCATED MITHIN
- F. WALL MOUNTED TELEPHONE OUTLET TO INCLUDE PLASTER RING. WIRING OF ALL WALL OUTLETS SHALL BE BY THE TELEPHONE COMPANY, WHICH SHALL BE EMPLOYED BY THE TENANT/OWNER.
- G. IF ANY ELECTRICAL CORE THROUGH SLAB CANNOT BE LOCATED IN THE EXACT
- H. FILL AND LEVEL FLOOR ELECTRICAL AND TELEPHONE BLANK PLATES AND PATCH ANY DAMAGED FLOOR CONDITIONS BEFORE INSTALLATION OF FLOORING
- I. WHERE SPECIAL OUTLET TYPES AND/OR POWER REQUIREMENTS ARE CALLED FOR AND SPECIFICATIONS ARE NOT PROVIDED, OBTAIN REQUIREMENTS FROM TENANT/OWNER.
- J. ALL MOUNTING HEIGHTS ARE TO CENTER OF OUTLETS. ALL WALL OUTLETS SHALL BE MOUNTED AT 15" A. F. F. & ALL LIGHT SMITCHES & THERMOSTATS TO BE LOCATED AT 42" A. F. F., UNLESS NOTED OTHERWISE OR IF EXISTING MOUNTING LOCATIONS ARE USED, OR IF MATCHING EXISTING CONSTRUCTION CONDITIONS ARE REQUIRED.
- 6. ELECTRICAL OUTLETS ON OPPOSITE SIDES OF A COMMON WALL SHALL BE LOCATED ON SEPARATE STUD CAVITIES. NO BACK TO BACK OUTLETS. WHERE SPECIFIC CONDITIONS CONTRADICT THIS NOTE, THE ELECTRICAL CONTRACTOR SHALL RELOCATE ONE OUTLET TO OPPOSITE SIDE OF STUD NEAREST THAT DIMENSION.

- A. ELECTRICAL SUBCONTRACTOR MUST VERIFY VOLTAGE OF ALL LIGHT FIXTURES SPECIFIED TO ASSURE COMPATIBILITY WITH VOLTAGE SUPPLIED TO DEMISED SPACE
- B. WHERE RECESSED LIGHTS APPEAR IN A SUSPENDED CEILING, MOUNT THEM IN THE CENTER OF NEAREST CEILING TILE IF APPLICABLE
- C. ELECTRICAL CONTRACTORS TO PROVIDE AND INSTALL EXIT LIGHTS AS REQUIRED BY LOCAL CODES AND/OR AS DIRECTED BY FIRE MARSHAL IF APPLICABLE.

PLUMBING NOTES

- PLUMBING SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL PERMIT DRAWINGS ON BACKGROUND PLANS PROVIDED BY DESIGNER AND SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- ROUTE PLUMBING WASTE AS REQUIRED TO EXISTING BUILDING WASTE IN FLOOR SLAB.
- CUT HOLES IN CONCRETE WALL PANELS FOR PIPING WITH APPROPRIATE TOOLS TO ASSURE AN EVEN CUT WITH CLEAN EDGES. CUT HOLES NOT LARGER THAN NECESSARY TO ALLOW PIPE TO FIT THROUGH. ANY HOLES THAT MAY AFFECT THE STRUCTURAL INTEGRITY OF THE FACILITY MUST BE APPROVED BY THE STRUCTURAL ENGINEER. SEAL AROUND ALL PIPES WITH TREMCO MONO SEALANT OR APPROVED EQUAL
- 4. REFER TO MECHANICAL NOTE #7 FOR FIRE SAFING.

REFLECTED CEILING NOTES (WHERE APPLICABLE)

- NOTIFY DESIGNER FOR APPROVAL TO RELOCATE FIXTURES IF CLEARANCE PROBLEMS ARISE IN LOCATION OF LIGHT FIXTURES, RETURN AIR GRILLS, SUPPLY DIFFUSERS AND TROFERS, ETC., AS SHOWN ON THE RCP'S OR MECHANICAL DRAWINGS
- 2. TYPICAL CEILING HEIGHT IS 8'-9" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE. ALL CEILINGS SHALL BE 2' x 4' LAY-IN ACOUSTICAL TILE THROUGHOUT TENANT/OWNER SPACE AND HALLWAYS UNLESS NOTED OTHERWISE.
- 3. WHERE PAINTED GYPSUM BOARD CEILING IS INDICATED, USE 5/8" GYPSUM BOARD ON 7/8" HIGH HAT FURRING CHANNELS AT 16" O.C. ON 1 1/2" COLD ROLLED CHANNELS AT 48" O.C. SUSPENDED FROM STRUCTURE.

PROJECT SCOPE

WALLER COUNTY OWNED LIBRARY: PARTIAL DEMOLITION OF EXISTING WITH A NEW CONSTRUCTION ADDITION AND WITH SOME MODIFICATIONS TO EXISTING AND SOME REMODELING OF EXISTING.

ADDRESS OF PROPERTY

2331 11TH STREET HEMPSTEAD, TEXAS 77445

JURISDICTION

PLAN EXAMINATION

CITY OF HEMPSTEAD, TEXAS AND WALLER COUNTY, TEXAS

BUILDING CODES - INTERNATIONAL BUILDING CODE (IBC) - WITH ANY CITY OF HEMPSTEAD AMENDMENTS*

- INTERNATIONAL EXISTING BUILDING CODE (IEBC) WITH ANY CITY OF HEMPSTEAD AMENDMENTS* - UNIFORM MECHANICAL CODE (UMC) - WITH ANY CITY OF HEMPSTEAD AMENDMENTS* - NATIONAL ELECTRIC CODE (NEC) - WITH ANY CITY OF HEMPSTEAD AMENDMENTS* - UNIFORM PLUMBING CODE (UPC) - WITH ANY CITY OF HEMPSTEAD AMENDMENTS*
- INTERNATIONAL FIRE CODE (IFC) WITH ANY CITY OF HEMPSTEAD AMENDMENTS* - 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) (COMMERCIAL PROVISIONS) WITH AMENDMENTS & ASHRAE 90.1-2013 AMENDMENTS - ADDITIONALLY WITH ANY CITY OF HEMPSTEAD AMENDMENTS*
- ANY CITY OF HEMPSTEAD DEVELOPMENT ORDINANCE(S) FOR PLANNING & DEVELOPMENT, ETC. - ANY APPLICABLE CITY OF HEMPSTEAD DRIVE APPROACH(ES), PARKING OR PUBLIC SIDEWALK ORDINANCES
- ANY APPLICABLE WALLER COUNTY, TEXAS REGULATIONS OR GUIDELINES, ETC. - AMERICANS WITH DISABILITIES ACT (ADA), PUBLIC LAW 101-336
- TEXAS DEPARTMENT of LICENSING and REGULATION (T.D.L.R.) - TEXAS ACCESSIBILITY STANDARDS (TAS)

*LATEST ADOPTED VERSION

OCCUPANCY GROUP: A-3.

OCCUPANCY CLASSIFICATION & CONSTRUCTION TYPE

CONSTRUCTION TYPE: EXISTING (CMU) TO REMAIN - TYPE: CONSTRUCTION TYPE: ADDITION (NEW) (METAL) BUILDING - TYPE

PARKING

EXISTING PARKING SPACES PROVIDED:

ACCESSIBLE PARKING SPACES REQUIRED NEW ACCESSIBLE PARKING SPACES CONVERTED NEW PARKING SYNOPSIS AFTER RESTRIPING: TOTAL PARKING SPACES PROVIDED

ACCESSIBLE PARKING SPACES PROVIDED

NON-ACCESSIBLE PARKING SPACES PROVIDED

GROSS/NET LOSS - PARKING SPACES PROVIDED

EXISTING ACCESSIBLE PARKING SPACES PROVIDED

1 (OF 30, VAN ACCESSIBLE) 2 (1 VAN ACCESSIBLE) 1 (NOT VAN ACCESSIBLE)

30 (2 MOTORCYCLE, 28 FULL SIZE - 9' MIN. WIDTH)

29 (2 MOTORCYCLE, 28 FULL SIZE - 9' MIN. WIDTH) 2 (OF 29, 1 VAN ACCESSIBLE)

27 (OF 29, 2 MOTORCYCLE) -1 (FULL SIZE - 9' MIN. WIDTH) **DAHVAR**

0 6 (1)

(T) 田

SHEET

PLOT DATE: 05/10/19

FIRE AND ALARM

STRUCTURAL

MECHANICAL ELECTRICAL PLUMBING

GENERAL INFORMATION:

PURCHASER'S RIGHTS ARE CONDITIONAL AND LIMITED TO A ONE TIME USE TO CONSTRUCT A SINGLE PROJECT ON THE SITE SO INDICATED ON THE ATTACHED SITE PLAN, AND USE IS LIMITED SPECIFICALLY TO SUCH PROPERTY. THE USE, COPYING OR REPRODUCTION OF THESE PLANS, DOCUMENTS, INFORMATION, OR DETAILS, DRAWN, WRITTEN, OR IMPLIED, WHOLE OR IN PART CONCERNING ANY OTHER CONSTRUCTION IS PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF DAHVAR CONSTRUCTION & DESIGN OR DAHVAR HAKIMZADEH (DESIGNER)

THESE DOCUMENTS ARE AN INSTRUMENT OF SERVICE, AND IS THE SOLE PROPERTY OF THE COPYRIGHT AUTHOR. ANY DEVIATION FROM THESE PLANS, SHALL BECOME THE RESPONSIBILITY OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

ANY SPECIFIC CONDITIONS ENCOUNTERED THAT ARE NOT ON THE APPROPRIATE PLAN. SHALL IMMEDIATELY BE REPORTED TO DAHVAR CONSTRUCTION & DESIGN BEFORE ANY DEMOLITION, NEW CONSTRUCTION OR REMODELING SHALL COMMENCE. ANY SPECIFIC CONDITIONS OR CONSTRUCTION STANDARDS MAY SUPERSEDE ANY DETAILS SHOWN AS LONG AS CONSTRUCTION STANDARDS ARE MET OR EXCEED INDUSTRY STANDARDS. ALL SHEETS IN THIS SET SHALL BE CONSIDERED A PART OF A SET AND NOT USED SEPARATELY FROM THE SET.

DAHVAR CONSTRUCTION & DESIGN WILL NOT BE LIABLE FOR ANY OMISSIONS, MISTAKES, DISCREPANCIES OR ANY OTHER ERRORS AFTER ONE OF THE FOLLOWING (WHICHEVER OCCURS FIRST) PERMIT APPROVAL OR BEGINNING OF CONSTRUCTION. (BEGINNING OF CONSTRUCTION WILL BE DEFINED AS: ANYTHING OTHER THAN THE DEMOLITION OF THE EXISTING STRUCTURE(S) ON THIS REFERENCED PROJECT). IT WILL BE THE RESPONSIBILITY OF ALL PARTIES TO THIS PROJECT TO REVIEW ALL DRAWINGS, NOTES, DETAILS, SPECIFICATIONS, ETC., AT THE TIME OF PERMIT APPROVAL OR BEGINNING OF CONSTRUCTION. PROMPTLY NOTIFY DAHVAR CONSTRUCTION & DESIGN OF ANY PROBLEM(S) SO THE OPPORTUNITY CAN BE TAKEN TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM.

FURTHERMORE, THE USE OF THESE DOCUMENTS FOR ANY OTHER PURPOSE SHALL BE REVOKED IF THE INTENT OF THE DESIGN OR THE CONSTRUCTION TECHNIQUES OR DETAILS SHOWN HEREIN ARE NOT ADHERED TO OR THE CONTRACTUAL AGREEMENT GOVERNING THEIR USE ARE NOT STRICTLY ADHERED TO. THESE DOCUMENTS ARE THE PROPERTY OF DAHVAR CONSTRUCTION & DESIGN AND DAHVAR HAKIMAZADEH (DESIGNER).

DAHVAR CONSTRUCTION & DESIGN'S ECONOMICAL / FINANCIAL LIABILITY WILL NOT EXCEED THE BASE CONTRACT DESIGN FEE TO PRODUCE THESE DOCUMENTS. DAHVAR CONSTRUCTION & DESIGN WILL NOT BE RESPONSIBLE FOR STRUCTURAL, MEP, CIVIL DOCUMENTS OR ANY SHOP DRAWINGS. COMMENCEMENT OF CONSTRUCTION OR DEMOLITION WILL INDICATE AN UNDERSTANDING OF THIS ABOVE REFERENCED LIABILITY.

DOCUMENTS WILL NOT BE RELEASED FOR PERMIT/CONSTRUCTION UNTIL FEES ARE BROUGHT CURRENT AND OWNER HAS APPROVED/ACCEPTED THESE DOCUMENTS AS THE FINAL ISSUE. DAHVAR CONSTRUCTION WILL RESOLVE PERMIT REJECTIONS WHERE DAHVAR CONSTRUCTION & DESIGN WAS AT FAULT.

ADDITIONAL GENERAL NOTES:

- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES, CITY ORDINANCES, DEED RESTRICTIONS, ARCHITECTURAL CONTROL GUIDELINES, MANUFACTURER'S SPECIFICATIONS, DRAWING DETAILS, PLANS \$ ANY SPECIFICATIONS, IF PROVIDED (N.I.C.)
- THE GENERAL CONTRACTOR MUST OBTAIN ALL REQUIRED APPLICATIONS, PERMITS, \$ INSPECTIONS, ETC. FOR COMPLETION OF WORK, CONTRACTOR TO PROVIDE ALL WORK & MATERIAL IN ACCORDANCE WITH ALL ITEMS MENTIONED IN NOTE #1 ABOVE. PLAN EXPEDITER, IF NECESSARY, WILL ASSIST CONTRACTORS IN PULLING ALL PERMITS.
- 3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF THE BASE BUILDING SYSTEMS AND ANY U. L. ASSEMBLY RATING(S).
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR NOTIFYING DAHVAR CONSTRUCTION & DESIGN FOR A FIELD CHECK WHEN:
 - A. ANY UTILITY LINES HAVE BEEN SNAPPED, DAMAGED OR BROKEN.
 - B. GYPSUM WALL BOARD HAS BEEN INSTALLED ON ONE SIDE OF STUDS \$ TELEPHONE & ELECTRICAL OUTLETS HAVE BEEN LOCATED IN TENANT SPACE.
 - C. BUILD-OUT IS SUBSTANTIALLY COMPLETE FOR AN INSPECTION & PREPARATION OF PUNCH LIST. A FINAL WALK-THROUGH AND PUNCH LIST WILL ALSO BE REQUIRED AFTER MOVE-IN IS POSSIBLE.
- PROVIDE TEMPORARY ELECTRICAL POWER FOR SMALL TOOLS & LIGHTING PER OSHA REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR TO CONFIRM TEMPORARY ELECTRICAL POWER CONDITIONS & RESPOND ACCORDINGLY TO PROVIDE TEMPORARY ELECTRICAL POWER. THE 6C WILL SUPPLY WORKER TOILET FACILITIES.
- SHOT BLAST CONC. FLOOR AFTER PLUMBING PATCH WORK. SEAL ALL FLOORS WITH EPOXY SEALER.

TYPICAL ABBREVIATIONS:

ALUHINUM PMG	AFF	ABOVE FINISH FLOOR	DS	DOWNSPOUT	HDWD	HARDWOOD	MTL	METAL	ROW	RIGHT OF WAY	MI	WROUGHT IRON
ARCH ARCHITECT (URAL) BLEC BLECTRICAL HVAC PENTINS/VENTILATION/ NTS NOT TO SCALE 5/5 STAINLESS STEEL NT NEIGHT	ALUM	ALUMINUM	DMG	DRAWING	н.н.	HEADER HEIGHT	NO	NUMBER	R	RADIUS	W. I . C.	WALK-IN-CLOSET
ASPH	APPROX	APPROXIMATELY	EA	EACH	HT	HEIGHT	N.I.C.	NOT IN CONTRACT	R/A	RETURN AIR	WR	WATER RESISTANT
A/C AIR CANDITIONING EQUIP EQUIPMENT ID INSIDE PLANETER OC ON CENTER SECT SECTION IN MITH MITH AUDIO VISUAL/VIDEO EQ EQUIPMENT EQ EQ EQ EQUIPMENT EQ EQ EQ EQUIPMENT EQ EQ EQ EQUIPMENT EQ	ARCH	ARCHITECT (URAL)	ELEC	ELECTRICAL	HVAC	HEATING/VENTILATION/	NTS	NOT TO SCALE	5/5	STAINLESS STEEL	MT	WEIGHT
AVY AUDIO VISUAL/VIDEO EQ EQUAL INCL INCLIDE OD OUTSIDE DIAMETER SF SQUARE FIET BD BOARD EN EACH WAY INFO INFORMATION OFNG OPENING SHIT SHEET BLOG BUILDING ENH EXHAUST INT INTERIOR OPP OPPOSITE SIM SIMILAR SIMILAR BLKG BUCKING EXIST EXISTING IN INCH O/A OUTSIDE AIR SPEC SPECIFICATION AT AT CAB CABINET EXT EXTERIOR JT JOINT PART PARTITION SQ SQUARE A AND CLG CEILING FD FLOOR DRAIN LAM LAMINATE (D) PLBG PLUMBING SG STAINLESG STEEL # NAMBER CLR CLEAR FIN FINISH (ED) L6TH LENSTH PLND PLYNOOD STD STANDARD C CONTEXLINE COLL COLUMN FIXT FIXTURE LH LETHAND PAL PANEL STL STEAL OH CHANNEL CONSTRUCTION FLUOR SCENT LT LIGHT PSF POUNDS PER SQ. FOOT STRUCT STRUCTURE (AL) 0 ROUND/DIAMETER CONTRACTOR FROM FIRE FLOORS STAIL ENGINE STRUCTURE (AL) 0 ROUND/DIAMETER CONTRACTOR FROM FIRE FLOORS MAX MAXIMM PTD PAINTED TEL THE FLOOR CONTRACTOR FROM FOOTH MAX MAXIMM PTD PAINTED TEL THE FLOORS CONTRACTOR FROM FURRED (ING) MAX MAXIMM PTD PAINTED TEL THE FLOORS DIAMETER GC GENERAL CONTRACTOR MAX MAXIMM PTD PAINTED TEL THE FLOORS DIAMETER GC GENERAL CONTRACTOR MAX MAXIMM PTD PAINTED TEL TELEPHONE COLS CAGE OPENING FT FOOT (FEET) MECH MECHANICAL PVC FOLTY INTO CHLORIDE THA THE FLOORS DIAMETER GC GENERAL CONTRACTOR PROPERTY LINE THE FROM TH	ASPH	ASPHALT	티	ELEVATI <i>O</i> N		AIR CONDITIONING	<i>O</i> A	OVERALL	SD	SMOKE DETECTOR	MP	WORK POINT
BD BOARD BN EACH MAY INFO INFORMATION OF MS OFFENING SHIT SHEET BLOG BUILDING EXH ENHAUST INT INTERIOR OF OFPOSITE SIM SIMILAR BLOG BLOCKING EXIST EXISTING IN INCH O/A OUTSIDE AIR SPEC SPECIFICATION • AT CAB CABINET EXIST EXISTING IN INCH O/A OUTSIDE AIR SPEC SPECIFICATION • AT CAB CEILING FD ELOOR DRAIN LAM LAMINATE (D) PART PARTITION SQ SOUARE \$ AND CLS CEILING FD FLOOR DRAIN LAM LAMINATE (D) PLBS PLIMBING SS STAINLESS STEEL \$ NIMBER CLR CLEAR FIN FINISH (ED) L6TH LENGTH PLND PLND PLND PLNDOD STD STANDARD \$ C CENTERLINE COLC COLUNN FIXT FIXTURE LH LET HAND PN PARE CONCRETE FIR PLORESCENT LI LIFT LIGHT PSF POUNDS PER SQ. FOOT STRUCTURE (AL) \$ ROAND/DIAMETER CONTR CONTRACTOR FRP FIBERSLASS RESILIENT PANEL(S) MAIL MATERIAL PSI POUNDS PER SQ. INCH TO TOP OF CURB CONTR CONTRACTOR FRP FIBERSLASS RESILIENT PANEL(S) MAIL MATERIAL PSI POUNDS PER SQ. INCH TO TOP OF CURB CONTR CONTRACTOR FRP FIBERSLASS RESILIENT PANEL(S) MAIL MATERIAL PSI POUNDS PER SQ. INCH TO TOP OF CURB CONTR CONTRACTOR FRP FIBERSLASS RESILIENT PANEL(S) MAIL MATERIAL PSI POUNDS PER SQ. INCH TO TOP OF CURB CONTR CONTRACTOR FRP FIBERSLASS RESILIENT PANEL(S) MAIL MATERIAL PSI POUNDS PER SQ. INCH TO TOP OF CURB CONTR CONTRACTOR FRP FIBERSLASS RESILIENT PANEL(S) MAIL MATERIAL PSI POUNDS PER SQ. INCH TO TOP OF CURB CONTR CONTRACTOR FRP FIBERSLASS RESILIENT PANEL(S) MAIL MATERIAL PSI POUNDS PER SQ. INCH TO TOP OF CURB CONTR CONTRACTOR FRP FIBERSLASS RESILIENT PANEL(S) MAIL MATERIAL PSI POUNDS PER SQ. INCH TO TOP OF CURB CONTRACTOR FRP FIBERSLASS RESILIENT PANEL(S) MAIL MATERIAL PSI POUNDS PER SQ. INCH TO TOP OF CURB CONTRACTOR FRP FIBERSLASS RESILIENT PANEL(S) MAIL MATERIAL PSI POUNDS PER SQ. INCH TO TOP OF CURB CONTRACTOR FRP FIBERSLASS RESILIENT PANEL(S) MAIL MATERIAL PSI POUNDS PER SQ. INCH TO THE OTHER CURB CONTRACTOR FRP FIBERSLASS RESILIENT PANEL(S) MAIL MATERIAL PSI POUNDS PER SQ. INCH TO THE OTHER CURB CONTRACTOR FROM FROM FROM FROM FROM FROM FROM FR	A/C	AIR CONDITIONING	EQUIP	EQUIPMENT	ID	INSIDE DIAMETER	00	ON CENTER	SECT	SECTION	W/	MITH
BLD6 BUILDING ENH EXHAUST INT INTERIOR OPP OPPOSITE SIM SIMILAR SYMBOLS BLK6 BLOCKING EXIST EXISTING IN INCH O/A OUTSIDE AIR SPEC SPECIFICATION • AT CAB CABINET EXT EXTERIOR JT JOINT PART PARTITION SQ SQUARE • AND CLE CELLING FD FLOOR DRAIN LAM LAMINATE (D) PLB6 PLIMBING ST STANDARD • CENTRALINE CAL CALUNN FIXT FIXTURE CAL CALUNN FIXT FIXTURE CAN CONCRETE FLR FLOOR CLE IL LIVE LOAD PR PR PAIR CONSTRUCTION FLUOR FLUORESCENT LT LIGHT PANEL(S) MATL HATEVIAL CONTR CONTRACTOR FRP FIBERGLASS RESILIENT PANEL(S) MATL MATERIAL CAS CASE OPENING FT FOOT (FIETT) MECH MECHANICAL PIA PROPERTY LINE CO. CASE OPENING FT FOOT (FIETT) MECH MECHANICAL PLO PROPERTY LINE RAG RETURN AIR ERILLE TYP TYPICAL DIA DIAMETER CONSTRUCTION GEN GENERAL CONTRACTOR FR FURRED (ING) FIRST FURRED (ING) FIL THELPTISION FIL THE	A/V	AUDIO VISUAL/VIDEO	EQ	EQUAL	INCL	INCLUDE	OD	OUTSIDE DIAMETER	SF	SQUARE FEET		
BLKG BLOCKING EXIST EXISTING IN INCH 0/A QUTSIDE AIR SPEC SPECIFICATION 6 AT CAB CABINET EXT EXTERIOR JT JOINT PART PARTITION SQ SQUARE 6 AND CLG CEILING FD FLOOR DRAIN LAM LAMINATE (D) PLB6 PLUMBING 56 STAINLESS STEEL # NUMBER CLR CLEAR FIN FINISH (ED) L6TH LENSTH PLUMBING 55 STAINLESS STEEL # NUMBER CAL COLUMN FIXT FIXTURE LH LEPSTH PAND PL PANEL CONC CONCRETE FLR FLOOR LL LIVE LOAD PR PAIR CONST CONTRUCTION FLUOR FLUORESCENT LT LIGHT PANEL(S) MATL MATERIAL PSI POUNDS PER SQ. FOOT STRUCT STRUCTURE (AL) 6 ROUND/DIAMETER CONT CONTRUCTOR FRO FOOTING MAX MAXIMUM PTD PAINTED TEL TELEPHONE C.O. CASE OPENING FT FOOTING MAX MAXIMUM PTD PAINTED TEL TELEPHONE C.O. CASE OPENING FT FOOTING MECH MECH MECHANICAL PVC POLITYINTL CHLORIDE THK THICK (NESS) DIA DIAMETER 6C GENERAL CONTRACTOR WIN MINIMUM REC RECESSED UNO UNLESS NOTED OTHERNISE ** ** ** ** ** ** ** ** ** ** ** ** **	BD	BOARD	EW	EACH WAY	INFO	INFORMATION	OPNG	OPENING	SHT	SHEET		
CAB CABINET EXT EXTERIOR JT JOINT PART PARTITION SQ SQUARE 4 AND CLG CEILING PP FLOOR DRAIN LAM LAMINATE (P) PLBG PLUMBING SG STAINLESS STEEL # NUMBER CLR CLEAR FIN FINISH (ED) LGTH LENGTH PLND PLND PLYWOOD STD STANDARD Ç CENTERLINE COL COLUMN FIXT FIXTURE LH LEFT HAND PNL PANEL CONC CONCRETE FLR FLOOR LL LIVE LOAD PR PAIR CONST CONSTRUCTION FLUOR FLUORESCENT LT LIGHT PSF POUNDS PER SQ. FOOT STRUCT STRUCTURE (AL) \$ ROUND/DIAMETER CONTRACTOR FRP FIBERSLASS RESILIENT PANEL(S) MATL MATERIAL PSI POUNDS PER SQ. INCH TO TOP OF CURB CO. C. CASE OPPNING FT FOOTING MAX MAXIMUM PTD PAINTED TEL TELEPHONE C. C. CASE OPPNING FT FOOTING MECH MECHANICAL PYC POLYVINI CHLORIDE THK THICK (NESS) DBL DOUBLE FURR FURRED (ING) MEP MECH / ELECTRICAL / PL PROPERTY LINE DIA DIAMETER GC GENERAL CONTRACTOR FILED THERNISE TYP TYPICAL DIM DIMENSION GEN GENERAL CONTRACTOR FILED MIN MINIMUM REC RECESSED UNO UNLESS NOTED OTHERNISE	BLDG	BUILDING	EXH	EXHAUST	INT	INTERIOR	OPP	OPPOSITE	SIM	SIMILAR	<u>SYMBOLS</u>	
CLE CEILING FD FLOOR DRAIN LAM LAMINATE (D) PLB6 PLUMBING S6 STAINLESS STEEL * NUMBER CLR CLEAR FIN FINISH (ED) L6TH LENGTH PLND PLND PLYMODD STD STANDARD Ç CENTERLINE COL COLUMN FIXT FIXTURE LH LET HAND PNL PANEL CONC CONCRETE FLR FLOOR LL LIVE LOAD PR PAIR CONST CONSTRUCTION FLUOR FLUORESCENT LT LIGHT PSF POUNDS PER S0. FOOT STRUCT STRUCTURE (AL) \$ ROUND/DIAMETER CONTR CONTRACTOR FRP FIBERGLASS RESILIENT PANEL(S) MAIL MATERIAL PSI POUNDS PER S0. INCH TO TOP OF CURB CONT CONTINUOUS FT6 FOOTING MAX MAXIMUM PTD PAINTED TEL TELEPHONE C.O. CASE OPENING FT FOOT (FEET) MECH MECHANICAL PVC POLYVINYL CHLORIDE THK THICK (NESS) DBL DOUBLE FURR FURRED (ING) MEP MECH / ELECTRICAL / PL PROPERTY LINE TY TELEVISION DIM DIMENSION GEN GENERAL CONTRACTOR PLUMBING RAG RETURN AIR GRILLE TYP TYPICAL	BLKG	BLOCKING	EXIST	EXISTING	IN	INCH	O/A	OUTSIDE AIR	SPEC	SPECIFICATION	0	AT
CLR CLEAR FIN FINISH (ED) L6TH LENGTH PLND PLYNODD ST STANDARD & CENTERLINE COL COLUMN FIXT FIXTURE LH LENGTH PANEL CONC CONCRETE FLR FLOOR LL LIVE LOAD PR PAIR ST6 STORAGE FL PLATE OR PROPERTY LINE CONST CONSTRUCTION FLUOR FLUORESCENT LT LIGHT PSF POUNDS PER SQ. FOOT STRUCT STRUCTURE (AL) \$\phi\$ ROUND/DIAMETER CONTR CONTRACTOR FRP FIBERGLASS RESILIENT PANEL(S) MATL MATERIAL PSI POUNDS PER SQ. INCH TC TOP OF CURB CONT CONTINUOUS FT6 FOOTING MAX MAXIMUM PTD PAINTED TEL TELEPHONE C.O. CASE OPENING FT FOOT (FEET) MECH MECHANICAL PVC POLYVINTL CHLORIDE THK THICK (NESS) DBL DOUBLE FURR FURRED (ING) MEP MECH / ELECTRICAL / PL PROPERTY LINE TV TELEVISION DIA DIAMETER 6C GENERAL CONTRACTOR PLUMBING RAS RETURN AIR GRILLE TYP TYPICAL DIM DIMENSION GEN GENERAL MIN MINIMUM REC RECESSED UNO UNLESS NOTED OTHERNISE	CAB	CABINET	EXT	EXTERIOR	JT	JOINT	PART	PARTITION	sa	SQUARE	4	AND
COL COLUMN FIXT FIXTURE LH LEFT HAND PNL PANEL STL STEEL CH CHANNEL CONC CONCRETE FLR FLOOR LL LIVE LOAD PR PAIR CONST CONSTRUCTION FLUOR FLUORESCENT LT LIGHT PSF POUNDS PER SQ. FOOT STRUCT STRUCTURE (ALL) • ROUND/DIAMETER CONTR CONTRACTOR FRP FIBERSLASS RESILIENT PANEL(S) MATL MATERIAL PSI POUNDS PER SQ. INCH TC TOP OF CURB CONT CONTINUOUS FT6 FOOTING MAX MAXIMUM PTD PAINTED TEL TELEPHONE C.O. CASE OPENING FT FOOT (FEET) MECH MECHANICAL PVC POLYVINTL CHLORIDE THK THICK (NESS) DBL DOUBLE FURR FURRED (ING) MEP MECH / ELECTRICAL / PL PROPERTY LINE TV TELEVISION DIA DIAMETER 6C GENERAL CONTRACTOR PLUMBING RAG RETURN AIR GRILLE TYP TYPICAL DIM DIMENSION GEN GENERAL MIN MINIMUM REC RECESSED UNO UNLESS NOTED OTHERWISE	CLG	CEILING	FD	FLOOR DRAIN	LAM	LAMINATE (D)	PLB6	PLUMBING	5 5	STAINLESS STEEL	#	NUMBER
CONC CONCRETE FLR FLOOR LL LIVE LOAD PR PAIR ST6 STORAGE FL PLATE OR PROPERTY LINE CONST CONSTRUCTION FLUOR FLUORESCENT LT LIGHT PSF POUNDS PER SQ. FOOT STRUCT STRUCTURE (AL) \$ ROUND/DIAMETER CONTRACTOR FRP FIBERGLASS RESILIENT PANEL(S) MATL MATERIAL PSI POUNDS PER SQ. INCH TC TOP OF CURB CONT CONTINUOUS FT6 FOOTING MAX MAXIMUM PTD PAINTED TEL TELEPHONE C.O. CASE OPENING FT FOOT (FEET) MECH MECHANICAL PVC POLYVINYL CHLORIDE THK THICK (NESS) DBL DOUBLE FURR FURRED (ING) MEP MECH / ELECTRICAL / PL PROPERTY LINE TV TELEVISION DIA DIAMETER 6C GENERAL CONTRACTOR PLUMBING RAG RETURN AIR GRILLE TYP TYPICAL DIM DIMENSION GEN GENERAL MIN MINIMUM REC RECESSED UNO UNLESS NOTED OTHERWISE	CLR	CLEAR	FIN	FINISH (ED)	L6TH	LENGTH	PLWD	PLYWOOD	STD	STANDARD	<u>q</u>	CENTERLINE
CONST CONSTRUCTION FLUOR FLUORESCENT LT LIGHT PSF POUNDS PER SQ. FOOT STRUCT STRUCTURE (AL) \$ ROUND/DIAMETER CONTR CONTRACTOR FRP FIBERGLASS RESILIENT PANEL(S) MATL MATERIAL PSI POUNDS PER SQ. INCH TC TOP OF CURB CONT CONTINUOUS FT6 FOOTING MAX MAXIMUM PTD PAINTED TEL TELEPHONE C.O. CASE OPENING FT FOOT (FEET) MECH MECHANICAL PVC POLYVINYL CHLORIDE THK THICK (NESS) DBL DOUBLE FURR FURRED (ING) MEP MECH / ELECTRICAL / PL PROPERTY LINE TY TELEVISION DIA DIAMETER 6C GENERAL CONTRACTOR PLUMBING RAG RETURN AIR GRILLE TYP TYPICAL DIM DIMENSION GEN GENERAL MIN MINIMUM REC RECESSED UNO UNLESS NOTED OTHERWISE	COL	COLUMN	FIXT	FIXTURE	LH	LEFT HAND	PNL	PANEL	STL	STEEL	CH	CHANNEL
CONTR CONTRACTOR FRP FIBERGLASS RESILIENT PANEL(S) MATL MATERIAL PSI POUNDS PER SQ. INCH TC TOP OF CURB CONT CONTINUOUS FT6 FOOTING MAX MAXIMUM PTD PAINTED TEL TELEPHONE C.O. CASE OPENING FT FOOT (FEET) MECH MECHANICAL PVC POLYVINYL CHLORIDE THK THICK (NESS) DBL DOUBLE FURR FURRED (ING) MEP MECH / ELECTRICAL / PL PROPERTY LINE TY TELEVISION DIA DIAMETER 6C GENERAL CONTRACTOR PLUMBING RAG RETURN AIR GRILLE TYP TYPICAL DIM DIMENSION GEN GENERAL MIN MINIMUM REC RECESSED UNO UNLESS NOTED OTHERWISE	CONC	CONCRETE	FLR	FL00R	LL	LIVE LOAD	PR	PAIR	ST6	STORAGE	配	PLATE OR PROPERTY LINE
CONT CONTINUOUS FT6 FOOTING MAX MAXIMUM PTD PAINTED TEL TELEPHONE C.O. CASE OPENING FT FOOT (FEET) MECH MECHANICAL PVC POLYVINYL CHLORIDE THK THICK (NESS) DBL DOUBLE FURR FURRED (ING) MECH MECHANICAL / PL PROPERTY LINE TV TELEVISION DIA DIAMETER 6C GENERAL CONTRACTOR PLUMBING RAG RETURN AIR GRILLE TYP TYPICAL DIM DIMENSION GEN GENERAL MIN MINIMUM REC RECESSED UNO UNLESS NOTED OTHERWISE	CONST	CONSTRUCTION	FLUOR	FLUORESCENT	LT	LIGHT	PSF	POUNDS PER SQ. FOOT	STRUCT	STRUCTURE (AL)	Φ	ROUND/DIAMETER
C.O. CASE OPENING FT FOOT (FEET) MECH MECHANICAL PVC POLYVINYL CHLORIDE THK THICK (NESS) DBL DOUBLE FURR FURRED (ING) MECH MECHANICAL / PL PROPERTY LINE TV TELEVISION DIA DIAMETER GC GENERAL CONTRACTOR PLUMBING RAG RETURN AIR GRILLE TYP TYPICAL DIM DIMENSION GEN GENERAL MIN MINIMUM REC RECESSED UNO UNLESS NOTED OTHERWISE	CONTR	CONTRACTOR	FRP	FIBERGLASS RESILIENT PANEL(S)	MATL	MATERIAL	PSI	POUNDS PER SQ. INCH	TC	TOP OF CURB		
DBL DOUBLE FURR FURRED (ING) MEP MECH / ELECTRICAL / PL PROPERTY LINE TV TELEVISION DIA DIAMETER 6C SENERAL CONTRACTOR PLUMBING RAG RETURN AIR GRILLE TYP TYPICAL DIM DIMENSION 6EN GENERAL MIN MINIMUM REC RECESSED UNO UNLESS NOTED OTHERWISE	CONT	CONTINUOUS	FT6	FOOTING	MAX	MAXIMUM	PTD	PAINTED	TEL	TELEPHONE		
DIA DIAMETER 6C GENERAL CONTRACTOR PLUMBING RAG RETURN AIR GRILLE TYP TYPICAL DIM DIMENSION GEN GENERAL MIN MINIMUM REC RECESSED UNO UNLESS NOTED OTHERWISE	C.O.	CASE OPENING	FT	FOOT (FEET)	MECH	MECHANICAL	PVC	POLYVINYL CHLORIDE	THK	THICK (NESS)		
DIM DIMENSION GEN GENERAL MIN MINIMUM REC RECESSED UNO UNLESS NOTED OTHERWISE	DBL	DOUBLE	FURR	FURRED (ING)	MEP	MECH / ELECTRICAL /	PL	PROPERTY LINE	TV	TELEVISION		
	DIA	DIAMETER	60	GENERAL CONTRACTOR		PLUMBING	RAG	RETURN AIR GRILLE	TYP	TYPICAL		
DISP DISPOSAL GL GLASS, GLAZING MISC MISCELLANOUS REINF REINFORCED VCT VINLY COMPOSITION TILE	DIM	DIMENSION	GEN	GENERAL	MIN	MINIMUM	REC	RECESSED	UNO	UNLESS NOTED OTHERWISE		
	DISP	DISPOSAL	6L	GLASS, GLAZING	MISC	MISCELLANOUS	REINF	REINFORCED	VCT	VINLY COMPOSITION TILE		

ELECTRICAL SYMBOL LEGEND KEYLESS LIGHT CEILING 110Y OUTLET CABINET LIGHT EXHAUST FAN IIOY DUPLEX OUTLET SMOKE DETECTOR CLG. MOUNT \bigoplus IIOV DUPLEX OUTLET EXHAUST FAN W/ LIGHT PULL CHAIN LIGHT CARBON MONOXIDE DETECTOR SMOKE DETECTOR WALL MOUNT GROUND FAULT INTERRUPTER 110V DUPLEX OUTLET WATERPROOF ® CEILING FAN EYEBALL SPOT RECESS LIGHT RECESS LIGHT SINGLE POLE WALL SWITCH GROUND FAULT INTERRUPTER SURFACE MOUNT CLG. LIGHT 110V 1/2 HOT DUPLEX OUTLET FLOOR HOY OUTLET THREE WAY WALL SWITCH FLUORESCENT FIXTURE TRACK LIGHTS TELEPHONE JACK 220V OUTLET FOUR MAY MALL SMITCH ELECTRICAL SERVICE CEILING FAN W/ LIGHT 18" HOLLYWOOD LIGHT WALL MOUNT LIGHT SECURITY ALARM PANEL HVAC THERMOSTAT CIRCUIT PANEL [-□£ 24" HOLLYWOOD LIGHT WATERPROOF RECESS LIGHT **⊖-**<≥ CABLE TV COAX OUTLET PUSH BUTTON PHOTOELECTRIC EYE 4 | → | Pood Light RHEOSTAT (DIMMER) 36" HOLLYWOOD LIGHT WALL SCONCE DOORBELL CHIMES EMERGENCY LIGHTING 48" HOLLYWOOD LIGHT

SITE PLAN GENERAL NOTES (UNLESS NOTED OTHERWISE) WHERE & IF APPLICABLE, REFER TO THE SITE PLAN FOR MORE SPECIFIC & ADDITIONAL INFORMATION

REQUIRED

RECEIVED

(CIVIL, STRUCTURAL & GEOTECHNICAL ENGINEERING PREVAILS) I. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES OR OMISSIONS IN THE PLANS, THEN DCD SHOULD BE NOTIFIED IMMEDIATELY TO OBTAIN CLARIFICATION PRIOR TO STARTING CONSTRUCTION.

MOUNTED

MOUNTING

- 2. CONTRACTOR SHALL OBTAIN ALL CONSTRUCTION PERMITS REQUIRED FROM GOVERNING AUTHORITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. 3. ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL CODES & ORDINANCES,
- ARCHITECTURAL CONTROL, AS WELL AS MINIMUM PROPERTY STANDARDS BY H.J.D. 4. CONTRACTOR SHALL CONFIRM ALL EXACT LOCATIONS & LENGTHS OF ALL UNDER-GROUND & AERIAL UTILITIES & SHALL INCLUDE, BUT NOT BE LIMITED TO:
- A. STORM SEWER B. SANITARY SEWER
- C. WATER LINES
- D. ELECTRICITY E. TELEPHONE

GYPSUM

HOSE BIBB

- F. C.A.T.V.
- G. SECURITY H. IRRIGATION
- I. NATURAL GAS J. SATELLITE TRANSMISSION
- K. RADIO/TELEVISION TRANSMISSION
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING & PROTECTING ALL ABOVE MENTIONED ITEMS EXCEPT WHERE DEMOLITION IS INDICATED OR REQUIRED OF
- 6. COORDINATE WITH ALL SPECIFIC SITE RELATED CONTRACTORS. 7. CONTRACTOR SHALL COORDINATE STORM SEWER CONSTRUCTION WITH ALL OTHER
- UNDERGROUND UTILITIES TO AVOID CONFLICT. 8. CLEARING & STRIPPING: STRIP SURFACE OF SITE UNDER BUILDING AREAS, (IF & WHERE APPLICABLE),
- UNDER PAVED AREAS & AREAS TO BE CONVERTED WITH SITE IMPROVEMENTS TO A DEPTH OF 4 INCHES BUT SUFFICIENT TO CLEAR VEGETATION, ROOTS & DEBRIS. STRIP SURFACE OF SITE AT AREAS THAT ARE TO BE LEFT OPEN BUT WILL BE COVERED WITH FILL, TO A DEPTH OF 4 INCHES.
- 9. GRUBBING REMOVE STUMPS, ROOTS OVER 4 INCHES IN DIAMETER & MATTED ROOTS WITHIN THE LIMITS OF CLEANING TO THE FOLLOWING DEPTHS:

UNDER FOOTINGS	18 INCHES
UNDER WALLS	12 INCHES
UNDER ROADS	18 INCHES
UNDER PARKING, SIDEWALKS & PATIOS	12 INCHES
UNDER LAWN & DECKED AREAS	8 INCHES
UNDER FILL	2 INCHES
WHERE FOOTING & ROADS WILL BE CONS	STRUCTED ON FILL

18 INCHES PRIOR TO PLACING ANY FILL, ALL CLEARING & GRUBBING OPERATIONS SHALL

HAVE BEEN COMPLETED ON THE AREAS WHERE THE FILL IS TO BE PLACED.

STUMP HOLES OR OTHER SMALL EXCAVATIONS IN THE LIMITS OF EMBANK-MENTS SHALL BE BACK-FILLED WITH SUITABLE MATERIAL & THOROUGHLY

- TAMPED BY APPROVED METHODS. THE FILLING MATERIAL SHALL HAVE A PLASTICITY INDEX OF NOT GREATER THAN 20%. FILL SHALL BE CONSTRUCTED IN UNIFORM LAYERS NOT TO EXCEED & INCHES IN THICKNESS LOOSELY MEASURED. EACH LAYER SHALL EXTEND ACROSS THE ENTIRE FILL AREA & SHALL BE COMPACTED TO AT LEAST 95% STANDARD PROCTOR DENSITY BETWEEN OPTIMUM MOISTURE CONTENT BY 2% ABOVE MOISTURE CONTENT. FILL MATERIAL DEPOSITED IN PLACE BY MEANS OF SCRAPERS, DUMP TRUCKS,
- OR SIMILAR EQUIPMENT SHALL BE THOROUGHLY BROKEN UP BEFORE BEING SPREAD INTO UNIFORM LAYERS. II. ALL CONCRETE SHALL BE CLASS "A", 3000 P.S.I. @ 28 DAYS.
- 12. ALL EXPOSED CORNERS SHALL BE CHAMFERED 3/4 OF AN INCH. 13. ALL DIMENSIONS RELATING TO REINFORCING STEEL ARE TO THE CENTER OF OF BARS UNLESS OTHERWISE NOTED.
- 14. ALL INLETS SHALL BE CONCRETE. 15. SIZE OF INLETS) TO BE DESIGNATED BY WIDTH OF CLEAR OPENING. 16. DOWELS SHALL HAVE ONE END WRAPPED IN 'ROOFING FELT' TO PREVENT

4 FOOT MINIMUM WIDTH, WITH $6 \times 6 \times 10$ MOVEN WIRE MESH.

- 17. CONSTRUCTION OF SANITARY SEWERS CROSSING WATER LINES SHALL BE GOVERNED BY RULES & REGULATIONS FOR PUBLIC WATER SYSTEMS PRINTED BY 'TEXAS DEPARTMENT OF WATER HYGIENE', AUGUST 1978, (OR THE MOST
- RECENT PRINTING). 18. SIDEWALKS SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE, 5 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE, 4 1/2 INCHES THICK (MINIMUM),
- 19. DRIVEWAYS SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE, 5 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE, 6 INCHES THICK (MINIMUM), FROM CURB OF STREET TO PROPERTY LINE & BE REINFORCED WITH MINIMUM 3/8 INCH DIAMETER STEEL BARS AT 24 INCHES C-C EACH WAY WITH IO INCH LAPS, OR EQUIVALENT WELDED WIRE FABRIC.
- 20. CURBS & GUTTERS SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE. 21. PROVIDE I INCH (NOMINAL) OR 1/2 INCH NON-EXTRUDING PRE-FORMED JOINTS AT INTERVALS OF 36 INCHES MAXIMUM THROUGHOUT ENTIRE LENGTH OF SIDEWALKS, \$/OR NEW OR EXISTING DRIVEWAYS.
- 22. THE AREAS BETWEEN SIDEWALKS & RIGHT-OF-WAYS, & THE AREAS BETWEEN DRIVE-WAYS FROM BACK OF SIDEWALKS, MAY BE CONCRETE, DIRT, OR VEGETATION. REFER TO LANDSCAPING, IRRIGATION, M.E.P., SWIMMING POOL, CIVIL & SITE PLAN(S), FOR ALL OTHER PERTINENT INFORMATION. 23. REFER TO ALL CONSTRUCTION DRAWING DETAILS ON ALL APPROPRIATE SHEETS
- FOR SPECIFIC INFORMATION THAT MAY SUPERSEDE THESE NOTES. 24. THE TOP OF FOUNDATION SHALL BE A MINIMUM OF 12 INCHES ABOVE THE NEAREST SANITARY SEWER MANHOLE COVER UNLESS NOTED OTHERWISE OR A VARIANCE IS GRANTED FOR NEW OR EXISTING CONSTRUCTION OR REMODEL.
- \$/OR MANUFACTURER'S RECOMMENDATIONS. 26. VERIFY ALL 'METES & BOUNDS' OF THE PROPERTY BEFORE COMMENCEMENT OF

25. CONSTRUCTION STANDARDS SHALL COMPLY WITH ALL CONSTRUCTION SPECIFICATIONS

CONSTRUCTION.

WATER CLOSET

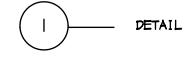
MOOD

- 27. ANY SPECIFIC CONDITION(S) ENCOUNTERED THAT IS NOT ON THE APPROPRIATE PLAN(S), SHALL IMMEDIATELY BE REPORTED TO DCD BEFORE ANY DEMOLITION, NEW CONSTRUCTION OR REMODELING SHALL COMMENCE.
- 28. THE CONCRETE BASE OF MANHOLES SHALL BE ALLOWED TO SET A MINIMUM OF 12 HOURS BEFORE PLACING ADDITIONAL CONCRETE.
- 29. MANHOLE WALLS TO BE PRE-CAST CONCRETE. 30. TOP OF MANHOLES & INLETS SHALL CONFORM TO FINISHED GRADE.
- 31. GRADES SHALL VARY UNIFORMLY BETWEEN SPOT ELEVATIONS, UNLESS NOTED
- 32. THE FINISHED SURFACE OF WHEELCHAIR/HANDICAP RAMPS ARE TO BE GROOVED LATERALLY WITH 1/4 INCH WIDE BY 1/4 INCH DEEP GROOVES SPACED 2 1/4 INCHES ON CENTER & ROUGHENED WITH NO LESS THAN A BROOM FINISH TO PREVENT SLIPPING & TO DIFFERENTIATE IT'S TEXTURE FROM THAT OF THE
- STANDARD & ADJACENT SIDEWALKS, DRIVEWAYS & ROADS. 33. REFER TO CIVIL, FIRST FLOOR (ALL) & FORMING PLANS
- FOR OTHER INFORMATION NOT SHOWN ON THIS SHEET. 34. TYPE "M" COPPER TUBING NOT ALLOWED.
- 35. WATER RISER MUST BE METAL & ABOVE GROUND; SCHEDULE 40 PVC MAY BE USED FOR WATER DISTRIBUTION OUTSIDE-UNDERGROUND ONLY.
- 36. ALL REINFORCED FLATWORK CONCRETE SUCH AS DRIVEWAYS, PARKING APRONS, DRIVEWAY APPROACHES, CURB CUTS, PUBLIC & PRIVATE SIDEWALKS, RAMPS. PATIOS & STOOPS, ETC. MUST COMPLY TO ALL LOCAL CODES, ORDINANCES, 37. SEPARATE PERMITS MAY BE REQUIRED FOR THE FOLLOWING:
- A. SWIMMING & REFLECTION POOLS, HOT TUBS, FOUNTAINS & SIMILAR ITEMS. B. IRRIGATION SYSTEM(S)
- C. DRIVEWAY, CURB CUTS, DRIVE APPROACHES, PARKING APRONS D. FENCES
- G. WATER & SEWER TAPS 38. PROVIDE FOR AT LEAST ONE "QUALIFIED" TREE IN THE DEFINED "FRONT YARD".

E. SITE DRAINAGE

F. PUBLIC & PRIVATE SIDEWALKS

- 39. THE REMOVAL, DAMAGE OR DEATH OF ANY LARGE TREES, EXCEPT AS AUTHORIZED BY AN APPROVED "TREE DISPOSTION PLAN" IS MAY BE PROHIBITED, VERIFY. 40. REFER TO "TREE SURVEY" & "TREE DISPOSITION PLAN FOR TREE DRIP LINES.
- 41. LOT GRADING TO: FULLY DRAIN LOT TO STREET & NOT TO ADJACENT PROPERTIES. 42. MAXIMUM SIZE OF DRAINS THROUGH CURBS TO BE 4 INCHES. 43. UNDERGROUND DRAINAGE SYSTEMS TO: DRAIN LOT TO THE STREET & NOT TO ADJACENT PROPERTIES, 4 INCH & PVC, MINIMUM SIZE,
- 44. GUTTER TO DOWNSPOUT CONNECTION TO BE 4 INCHES. 45. RAISE SLABS & GRADES TO CONFORM TO SURROUNDING RESIDENCES' DRIVEWAYS, PARKING APRONS, DRIVEWAY APPROACHES, PATIOS, STOOPS, PUBLIC & PRIVATE SIDEWALKS AS PER LOCAL CODE ORDINANCES & STANDARDS.



COLD WATER

TYPICAL MOUNTING HEIGHTS

SITE UTILITY LEGEND:

----- SANITARY SEWER

— GAS — GAS — GAS — GAS — GAS — GAS — NATURAL GAS

----- STORM SEWER

— — — — — — ELECTRIC

ELEVATION VIEW

DETAIL SECTION

DETAIL

DETAIL

DETAIL

PLAN LEGEND

I/A.X

84" ABOVE DRAIN

5'-0" A.F.F. @ CENTERLINE

6'-6" A.F.F.

3'-0" A.F.F.

5'-0" A.F.F.

4'-0" A.F.F.

2'-0" A.F.F.

-- IRRIGATION

NEW WALL (ONLY AT NEW CONSTRUCTION*

*SEE BELOW FOR ADDITION OR REMODEL WALLS)

SHOWER HEAD

3. SOAP & GRAB

2. CERAMIC TILE SURROUND

4. 18" TOWEL BAR IN TUB

5. 18" OR 24" TOWEL BAR

6. TISSUE PAPER HOLDER

. MEDICINE CABINET

HOT WATER GAS or ELEVATION

SHOWER HEAD

HOSE BIB

RETURN AIR

AIR REGISTER / SUPPLY CHASE

RETURN AIR CHASE r==----

DISAPPEARING STAIR, 350 16 RATING MINIMUM STAIR

MEDICINE CABINET CHANGE OF FLOOR MATERIAL

INTERIOR ELEVATION VIEW

BUILDING SECTION VIEW, DRAWING NUMBER / SHEET

WINDOW KEYBACK DOOR KEYBACK

ROOF PITCH / SLOPE DIRECTION

*ADDITION OR REMODEL WALLS:

EXISTING TO BE REMOVED OR HIDDEN WALL

EXISTING WALL TO REMAIN

NEW PARTITION FOR ADDITION \$/OR REMODEL



dahvar@ -270-073 A 626

H

SHEET

PLOT DATE: 02/22/19

PROJ. DATE: 04-18
PROJECT NO: WCL 13DRAWN BY: DH/DS
CHECKED BY: DH
REVISION:
REVISION:



HVAR Construction and Design 270-0733 / dahvar@gmail.com

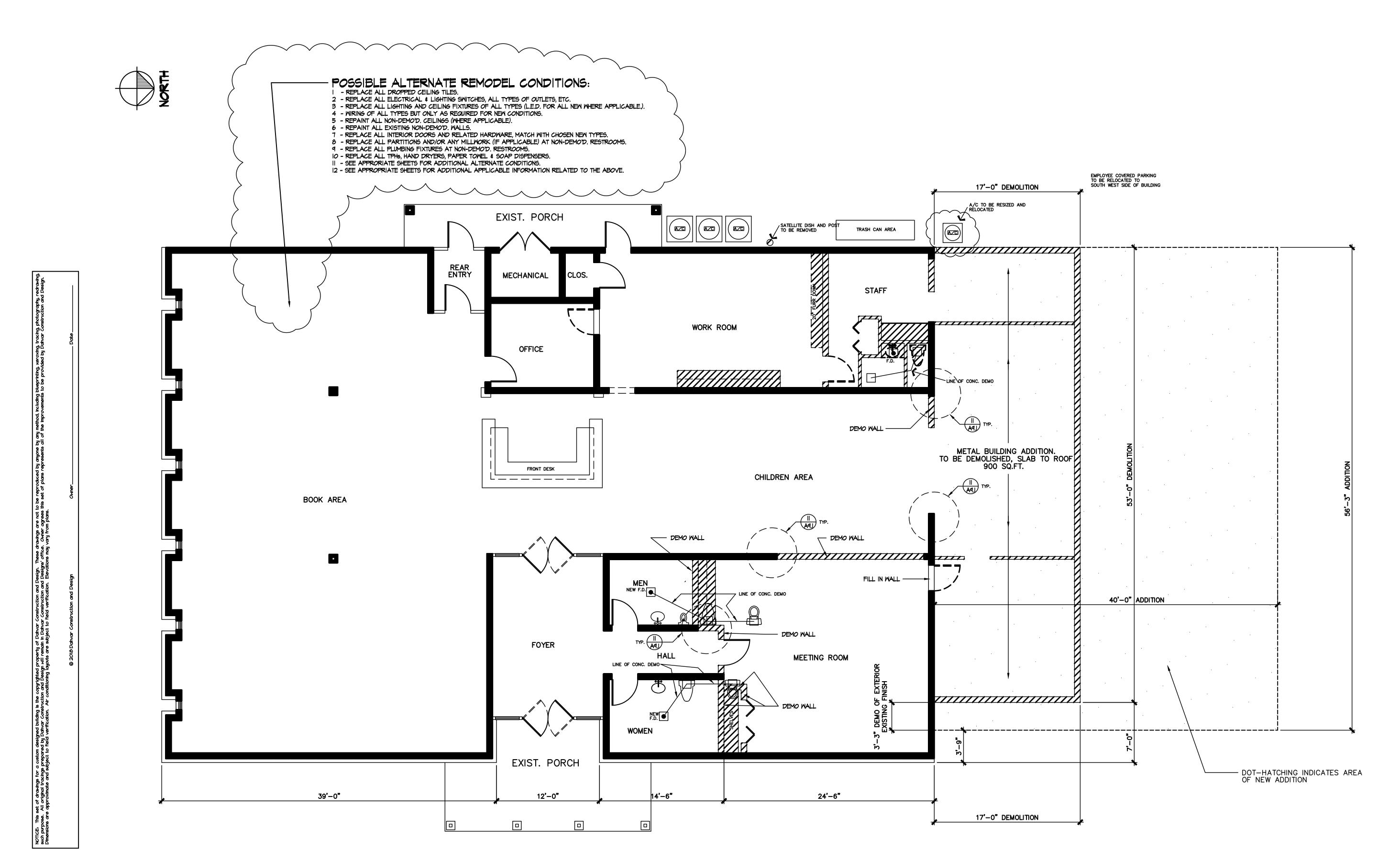
ALLER COUNTY LIBRARY

SHEET
A1.1

BY ENG. DWG.
DUT ONLY

PLOT DATE: 05/10/19

SHEET A2.1



EXISTING & DEMOLITION FLOOR PLAN

3/16" = 1'-0"

TOTAL LINEAR FOOTAGES

BLOCK WALL DEMO	88'-0" L.F.
METAL FRAME WALL DEMO	121'-0" L.F.
CABINETRY STRUCTURES DEMO	41'-0" L.F.
6" SAW CUT CONCRETE	32'-0" L.F.

LEGEND

DEMOLISHED WALLS AND STRUCTURES

EXISTING WALLS TO REMAIN

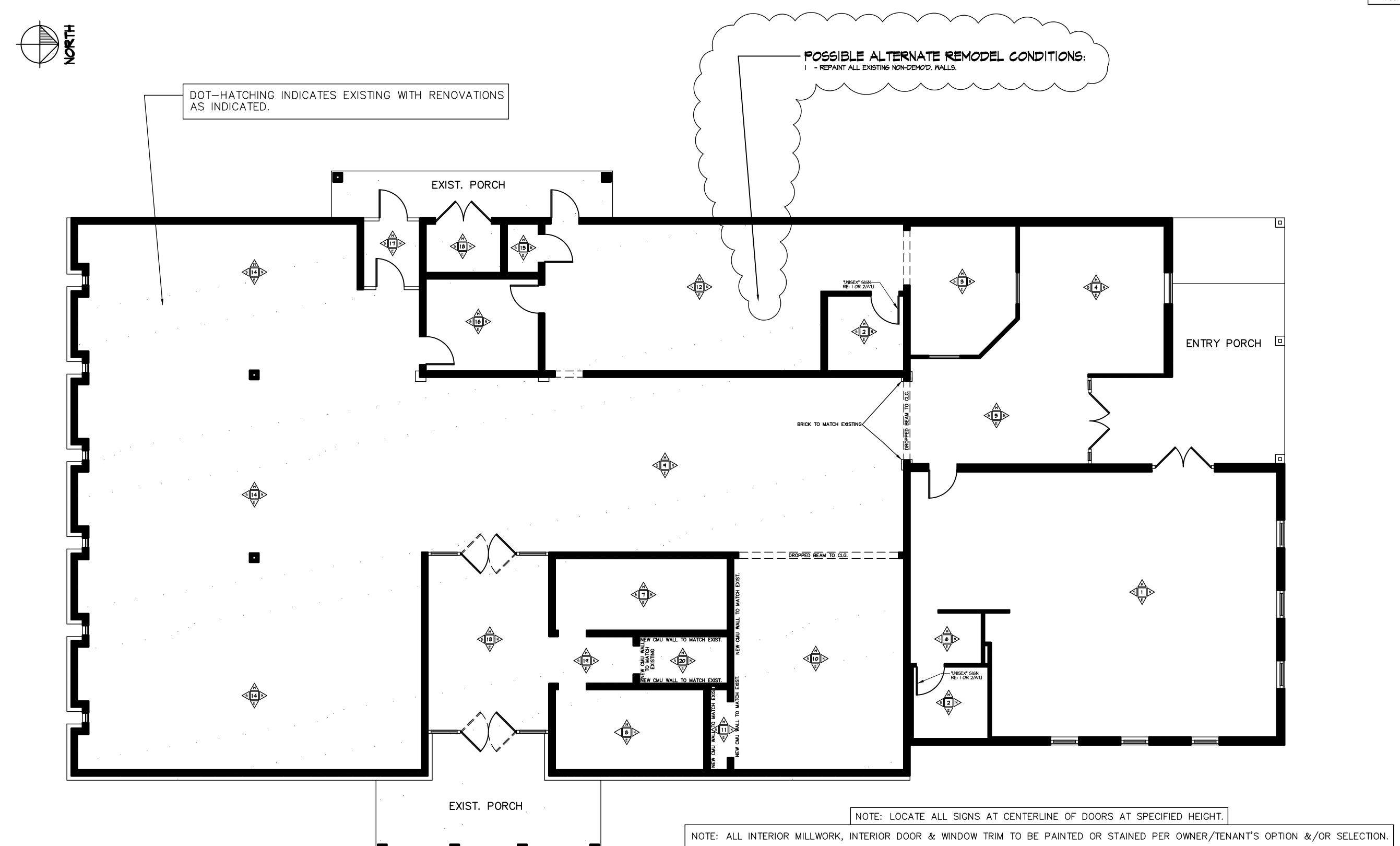
FILLED OPENINGS

FOUNDATION TO COMPLY WITH FOLLOWING:

TO BE SUPERCEEDED BY ENG. DWG. FOUNDATION LAYOUT ONLY

A W

SHEET **A3.2**



ADDITION WALL FINISH PLAN WITH ADA HANDICAP SIGNAGE LOCATIONS 3/16" = 1'-0"

WALL FINISH SCHEDULE on note: all tile design finishes and all door colors selected by owner / tenant								
ROOM OR AREA	NORTH	SOUTH	EAST	WEST	NOTES	TEXTURE	COLOR	POSSIBLE FINAL FINISHES
NEW MEETING ROOM	2 COATS OF SATIN LATEX ON 1 COAT C	OF PRIMER	-			OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
UNISEX RESTROOMS	2 COATS OF SATIN LATEX ON 1 COAT C	OF PRIMER	-		COMMERCIAL GRADE TILE FINISH AT DESIGNATED AREAS	OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
OFFICE	2 COATS OF SATIN LATEX ON 1 COAT O	OF PRIMER	-	-		OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
BUSINESS CENTER	2 COATS OF SATIN LATEX ON 1 COAT C	OF PRIMER	-	-		OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
FOYER 2	2 COATS OF SATIN LATEX ON 1 COAT C	OF PRIMER	-	-		OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
NEW VESTIBULE	2 COATS OF SATIN LATEX ON 1 COAT C	OF PRIMER		-		OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
EXISTING MEN'S RESTROOM	2 COATS OF SATIN LATEX OVER EXISTIN	IG 	-	-	COMMERCIAL GRADE TILE FINISH AT DESIGNATED AREAS	OWNER / TENANT OPTION	OWNER / TENANT OPTION, OTHERWISE NO CHANGE	OWNER / TENANT OPTION
EXISTING WOMEN'S RESTROOM	2 COATS OF SATIN LATEX OVER EXISTIN	IG	-	-	COMMERCIAL GRADE TILE FINISH AT DESIGNATED AREAS	OWNER / TENANT OPTION	OWNER / TENANT OPTION, OTHERWISE NO CHANGE	OWNER / TENANT OPTION
EXISTING CHILDREN, NEW READING LOUNGE/FRONT DESK	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	REFINISH RENOVATED AREAS TO MATCH EXISTING, SEE COLOR	OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
EXISTING MEETING ROOM, NEW HIGH SCHOOL AREA	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	REFINISH RENOVATED AREAS TO MATCH EXISTING, SEE COLOR	OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
STORAGE 2	2 COATS OF SATIN LATEX ON 1 COAT O	OF PRIMER	-		MATCH STORAGE 1, SEE COLOR	MATCH STORAGE 1, SEE COLOR	OWNER / TENANT OPTION	OWNER / TENANT OPTION
STAFF WORK ROOM	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	REFINISH RENOVATED AREAS TO MATCH EXISTING	OWNER / TENANT OPTION	OWNER / TENANT OPTION, OTHERWISE NO CHANGE	OWNER / TENANT OPTION
EXISTING FOYER, NOW FOYER 1	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE				OWNER / TENANT OPTION
EXISTING BOOKS & NEW CHILDREN'S AREA	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE				OWNER / TENANT OPTION
CLOSET	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE				OWNER / TENANT OPTION
EXISTING STORAGE, NOW STORAGE 1	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE				OWNER / TENANT OPTION
EXISTING EMPLOYEE ENTRY	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE				OWNER / TENANT OPTION
EXISTING MECHANICAL	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE				OWNER / TENANT OPTION
EXISTING HALL	N/A	N/A	SEE NOTES	SEE NOTES	REFINISH RENOVATED AREAS TO MATCH EXISTING	OWNER / TENANT OPTION	OWNER / TENANT OPTION, OTHERWISE NO CHANGE	OWNER / TENANT OPTION
STORAGE 3	2 COATS OF SATIN LATEX ON 1 COAT C	OF PRIMER			MATCH STORAGE 1. SEE COLOR	MATCH STORAGE 1. SEE COLOR	OWNER / TENANT OPTION	OWNER / TENANT OPTION

A3.3



ADDITION FLOOR & BASE FINISH PLAN

3/16" = 1'-0"

FLOOR FINISH SCH	EDULE # MATCH PATTERNS & C	OLORS/SHADES,	ETC. AS CLOSE AS POSSIBLE TO	EXISTING IF	EXISTING PATTERN IS NO LONGER AVAILABLE.*
#ROOM OR AREA	FLOOR FINISH & FLOOR PATTERN	TYPE	MANUFACTURER PRO	DUCT STYLE	NOTES
1 NEW MEETING ROOM	MATCH EXISTING INTERIOR FLOORING WITH AREAS WITH NO CHANGE	VCT	IF ORIGINAL EXISTING UNAVAILABLE, MATCH ANOTHER *OWNER	/ TENANT SELECT OPTION	
2 UNISEX RESTROOMS	MATCH EXISTING INTERIOR FLOORING WITH AREAS WITH NO CHANGE	VCT	IF ORIGINAL EXISTING UNAVAILABLE, MATCH ANOTHER *OWNER	/ TENANT SELECT OPTION	
3 OFFICE	CARPET	VCT	IF ORIGINAL EXISTING UNAVAILABLE, MATCH ANOTHER *OWNER	/ TENANT SELECT OPTION	
4 BUSINESS CENTER	CARPET	COMMERCIAL GRADE	*OWNER	/ TENANT SELECT OPTION	
5 FOYER 2	CARPET	COMMERCIAL GRADE	*OWNER	/ TENANT SELECT OPTION	
6 NEW VESTIBULE	MATCH EXISTING INTERIOR FLOORING WITH AREAS WITH NO CHANGE	VCT	IF ORIGINAL EXISTING UNAVAILABLE, MATCH ANOTHER *OWNER	/ TENANT SELECT OPTION	
7 EXISTING MEN'S RESTROOM	MATCH EXISTING INTERIOR FLOORING WITH AREAS WITH NO CHANGE	VCT	IF ORIGINAL EXISTING UNAVAILABLE, MATCH ANOTHER *OWNER	/ TENANT SELECT OPTION	PATCH OR REPLACE WHOLE AREA. MATCH PATTERN WITH EXISTING ADJACENT PATTERN SO AS TO NOT NOTICE A TRANSITION VISUALLY AS BEST AS POSSIBLE.
8 EXISTING WOMEN'S RESTROOM	MATCH EXISTING INTERIOR FLOORING WITH AREAS WITH NO CHANGE	VCT	IF ORIGINAL EXISTING UNAVAILABLE, MATCH ANOTHER *OWNER	/ TENANT SELECT OPTION	PATCH OR REPLACE WHOLE AREA. MATCH PATTERN WITH EXISTING ADJACENT PATTERN SO AS TO NOT NOT NOTICE A TRANSITION VISUALLY AS BEST AS POSSIBLE.
9 EXISTING CHILDREN, NEW READING LOUNGE/FRONT DESK	CARPET	COMMERCIAL GRADE	*OWNER	/ TENANT SELECT OPTION	
10 EXISTING MEETING ROOM, NEW HIGH SCHOOL AREA	CARPET	COMMERCIAL GRADE	*OWNER	/ TENANT SELECT OPTION	
11 STORAGE 2	MATCH EXISTING INTERIOR FLOORING WITH AREAS WITH NO CHANGE	VCT	IF ORIGINAL EXISTING UNAVAILABLE, MATCH ANOTHER *OWNER	/ TENANT SELECT OPTION	PATCH OR REPLACE WHOLE AREA. MATCH PATTERN WITH EXISTING ADJACENT PATTERN SO AS TO NOT NOTICE A TRANSITION VISUALLY AS BEST AS POSSIBLE.
12 STAFF WORK ROOM	CARPET	COMMERCIAL GRADE	*OWNER	/ TENANT SELECT OPTION	
13 EXISTING FOYER, NOW FOYER 1	NO CHANGE	EXISTING	NO CHANGE NO CHAI	NGE	
14 EXISTING BOOKS & NEW CHILDREN'S AREA	NO CHANGE	EXISTING	NO CHANGE NO CHAI	NGE	
15 CLOSET	CARPET	COMMERCIAL GRADE	*OWNER	/ TENANT SELECT OPTION	
16 EXISTING STORAGE, NOW STORAGE 1	CARPET	COMMERCIAL GRADE	*OWNER	/ TENANT SELECT OPTION	
17 EXISTING EMPLOYEE ENTRY	NO CHANGE	EXISTING	NO CHANGE NO CHAI	NGE	
18 EXISTING MECHANICAL	NO CHANGE	EXISTING	NO CHANGE NO CHAI	NGE	
10 EVICTING HALL	MATCH EVISTING INTERIOR ELOOPING WITH AREAS WITH NO CHANGE	VCT	IE ODICINAL EVISTING LINAVAILABLE MATCH ANOTHER *OWNER	/ TENIANT SELECT ORTION	DATCH OF DEDLACE WHOLE AREA MATCH DATTERN WITH EVICTING AD IACENT DATTERN SO AS TO NOT NOT NOTICE A TRANSITION VISITALLY AS DEST AS DOSCIDE

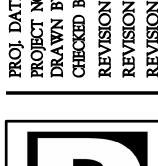
ADDITION REFLECTED CEILING PLAN

RE: SHT. A8.1 FOR LIGHTING & ELECTRICAL SYMBOLS

RE: MEP FOR ALL HVAC SUPPLY AND RETURN LOCATIONS.

3/16" = 1'-0"

OJ. DATE: 04-18
OJECT NO: WCL 13AWN BY: DH/DHS
ECKED BY: DH
IVISION:



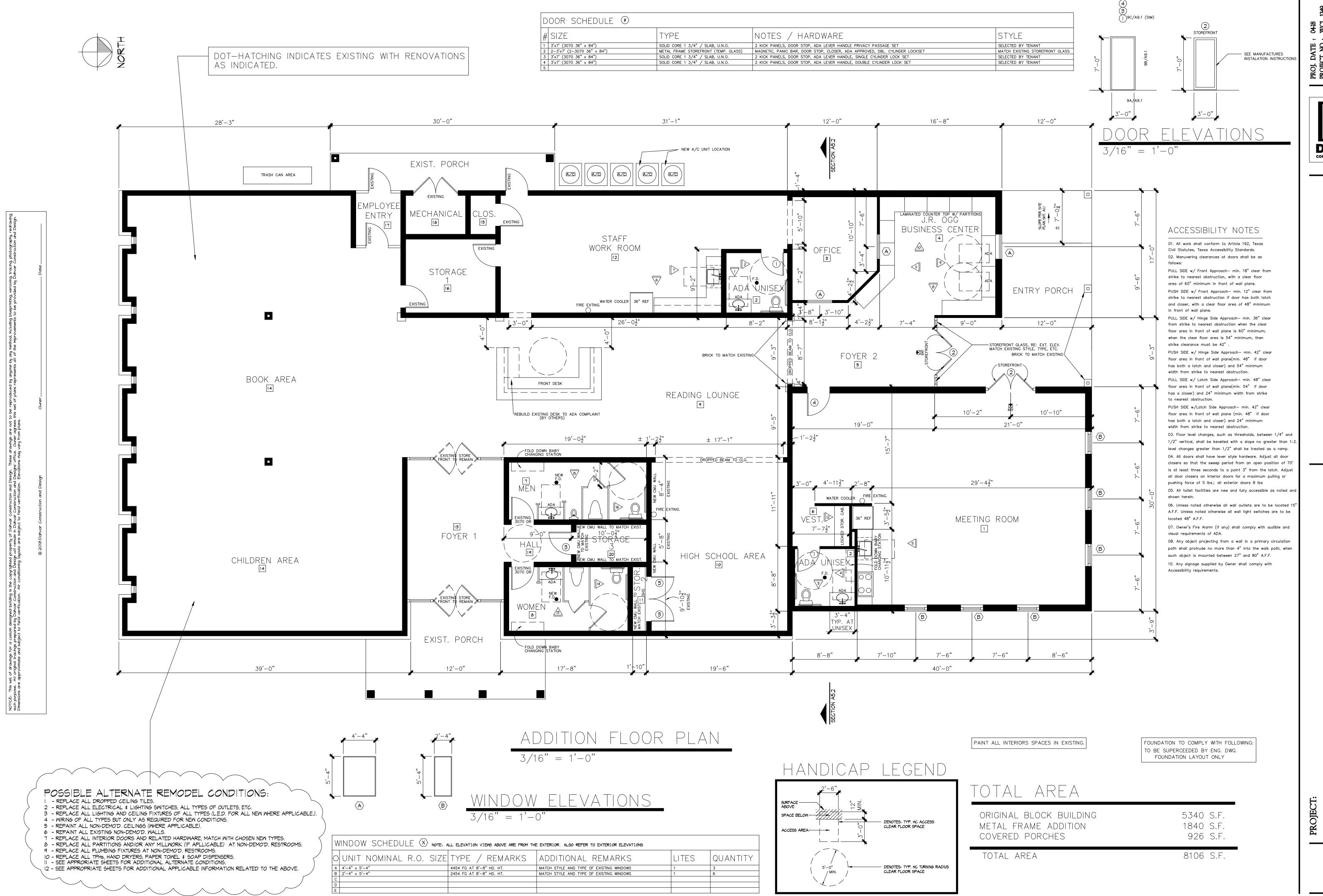


DAHVAR Construction and Designation 279-270-0733 / dahvar@email.com

LER COUNTY LIBRARY ADDITION

SHEET

A3.4



PLOT DATE: 05/10/19



dahvar@gmail.com

979-270-0733

Construction

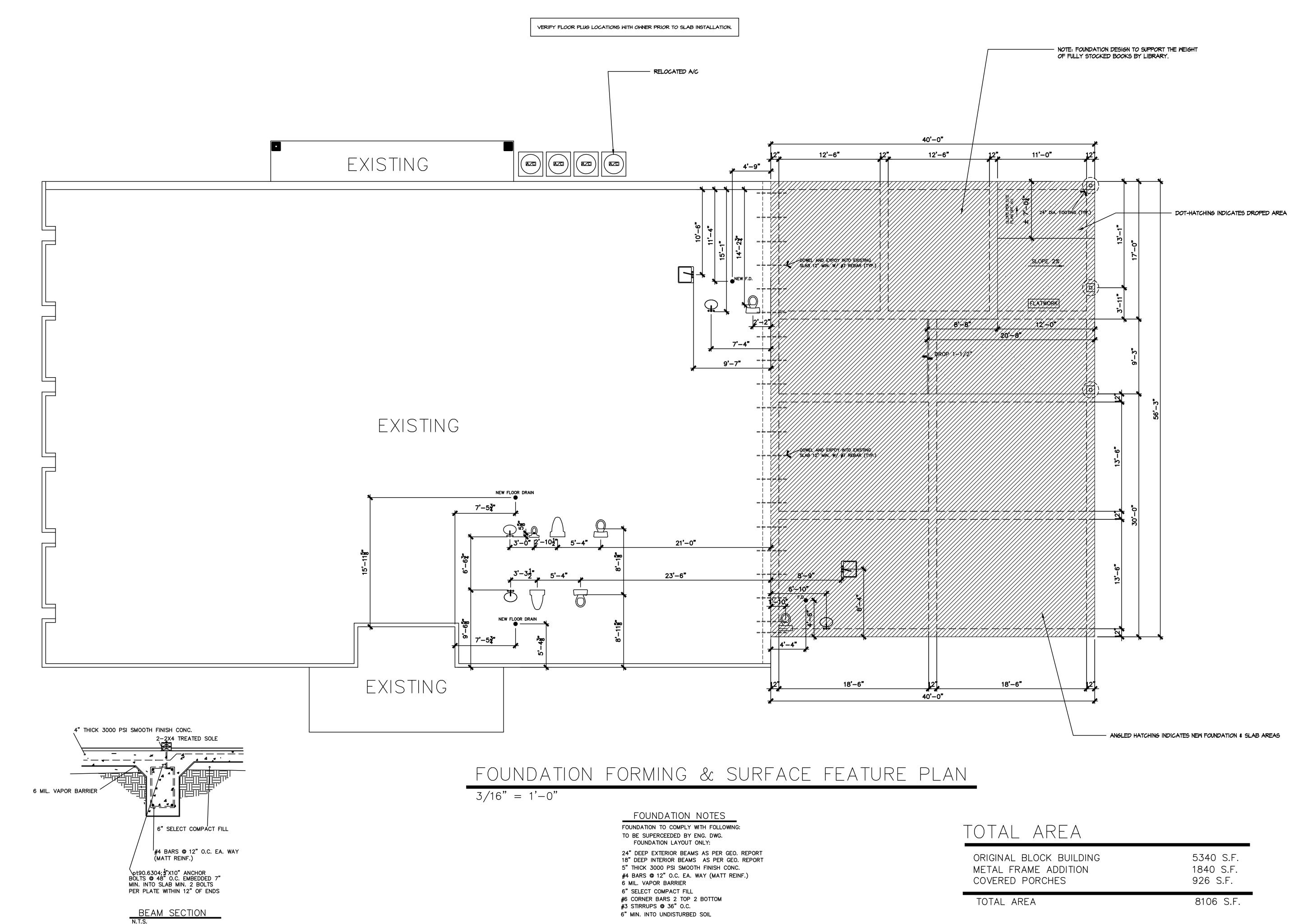
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A3.1

PROJECT:

SHEET **A4.1**

PLOT DATE: 05/10/19

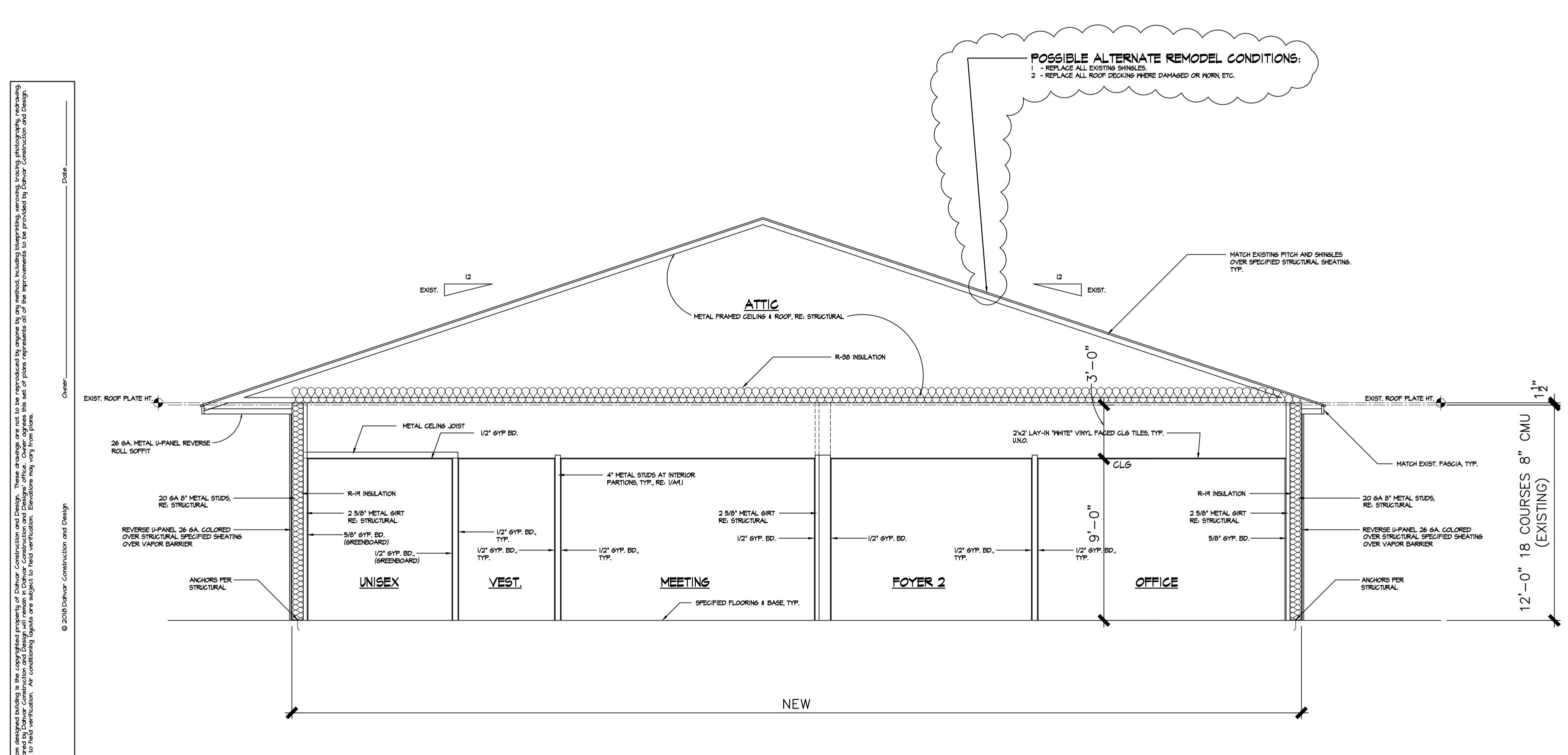


DAHVAR CONSTRUCTION AND DESIGN

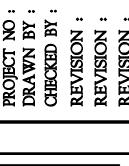
HEMPSTE,

SHEET

A5.2



NEW BUILDING SECTION 3/8" = 1'-0"

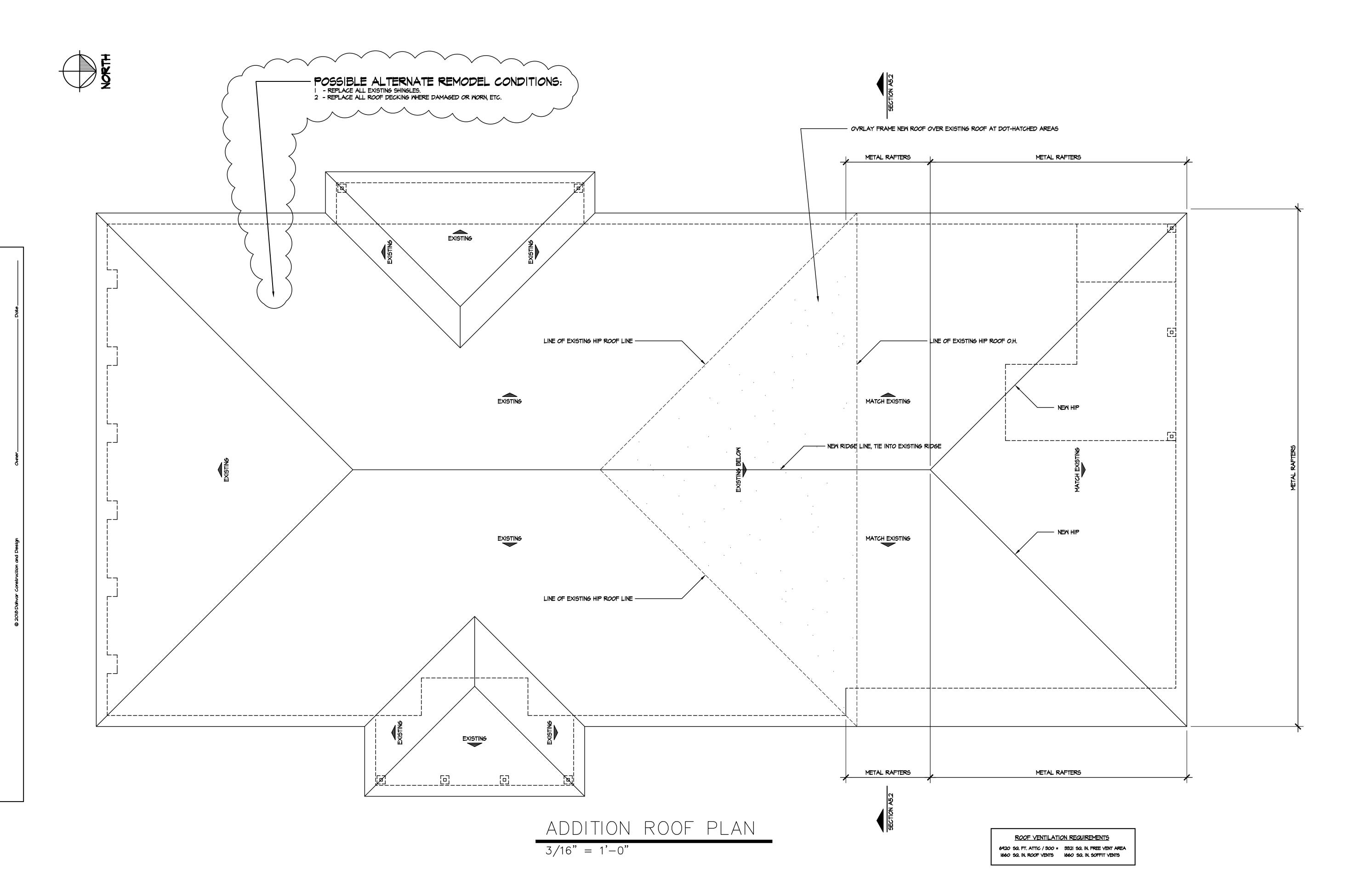




Construction

SHEET

A5.1

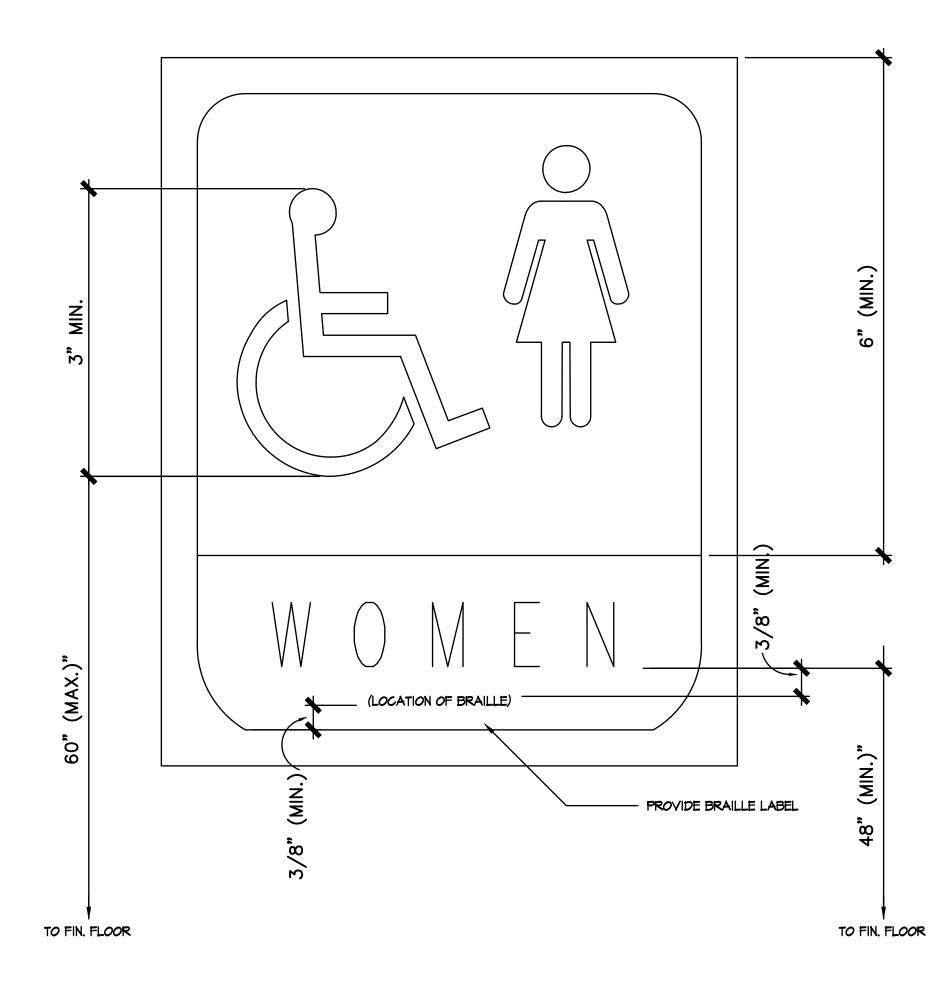


FOUNDATION TO COMPLY WITH FOLLOWING:
TO BE SUPERCEEDED BY ENG. DWG.
FOUNDATION LAYOUT ONLY

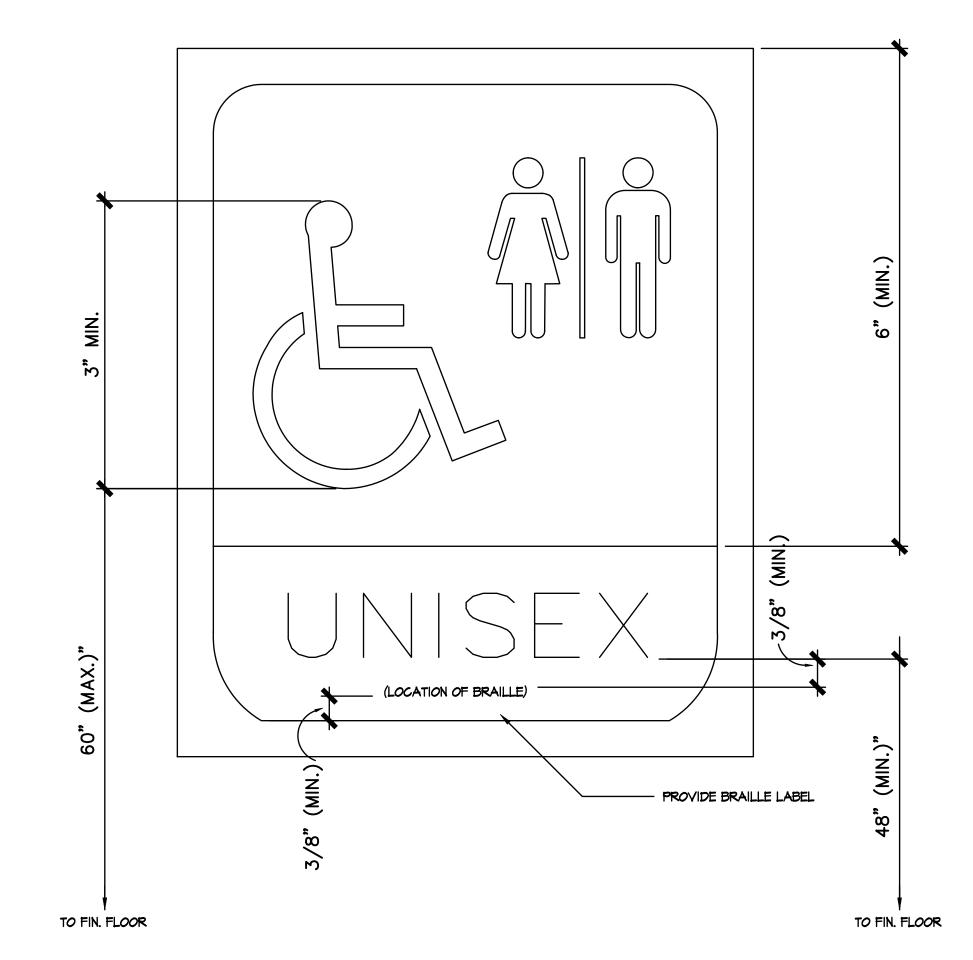
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SHEET

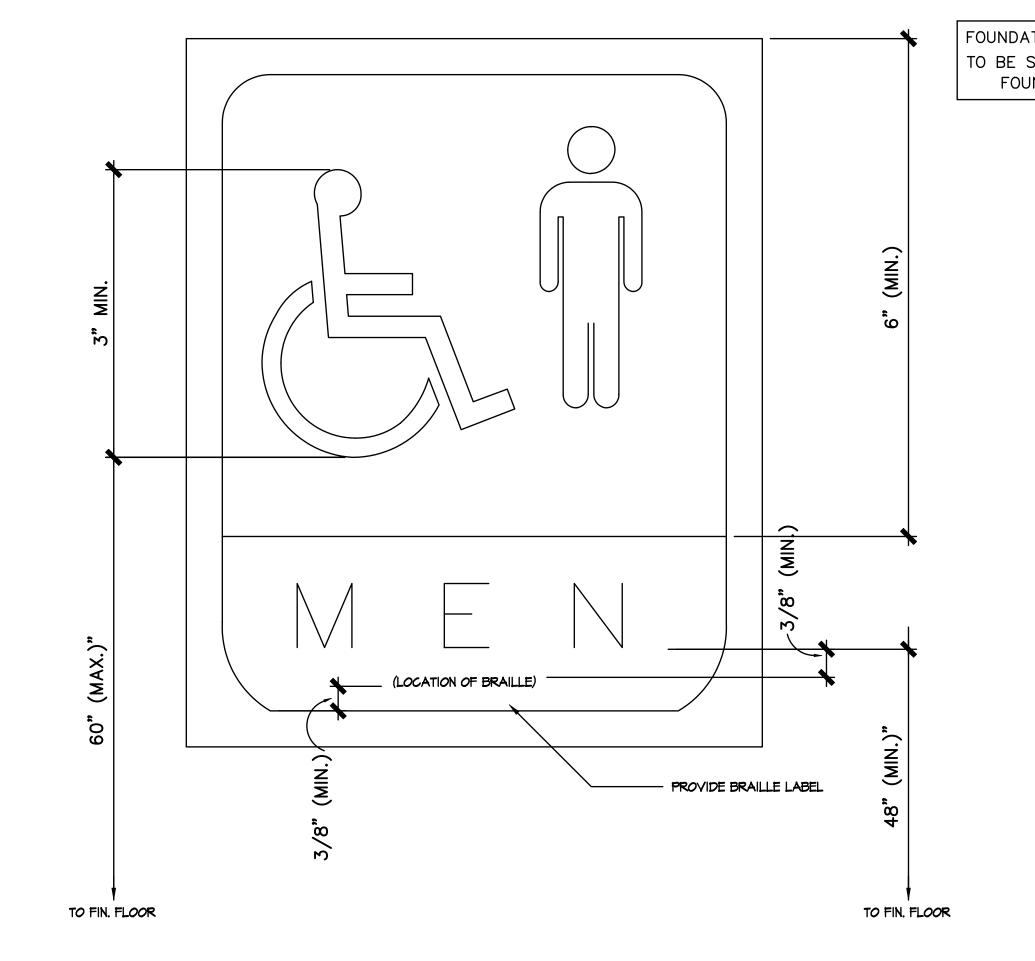
A7.2



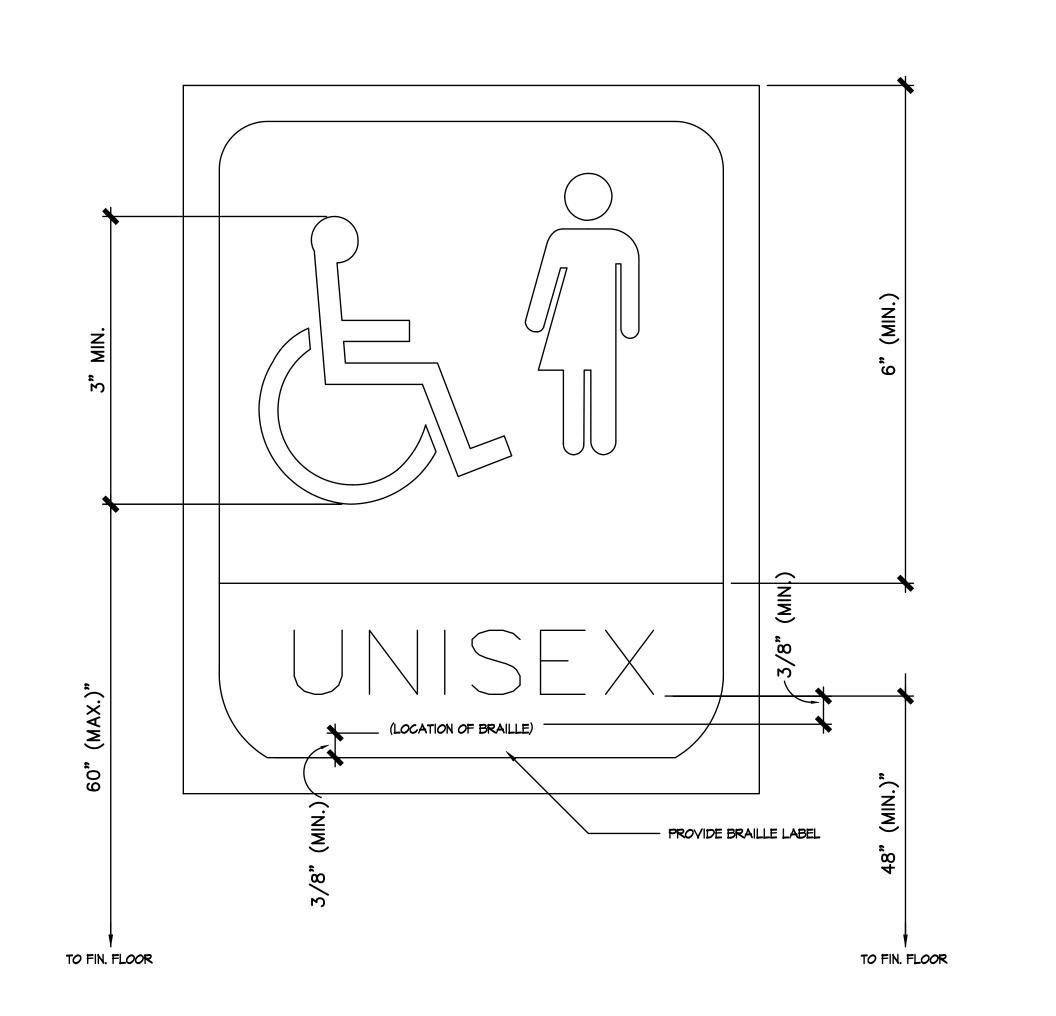
HANDICAP INTERIOR SIGNAGE - WOMEN (RESTROOM)
NTS



2 HANDICAP INTERIOR SIGNAGE - UNISEX RESTROOMS OPT. 2



3 HANDICAP INTERIOR SIGNAGE - MEN (RESTROOM)
NTS



<u>HANDICAP INTERIOR SIGNAGE - UNISEX RESTROOMS OPT. 1</u>
NTS

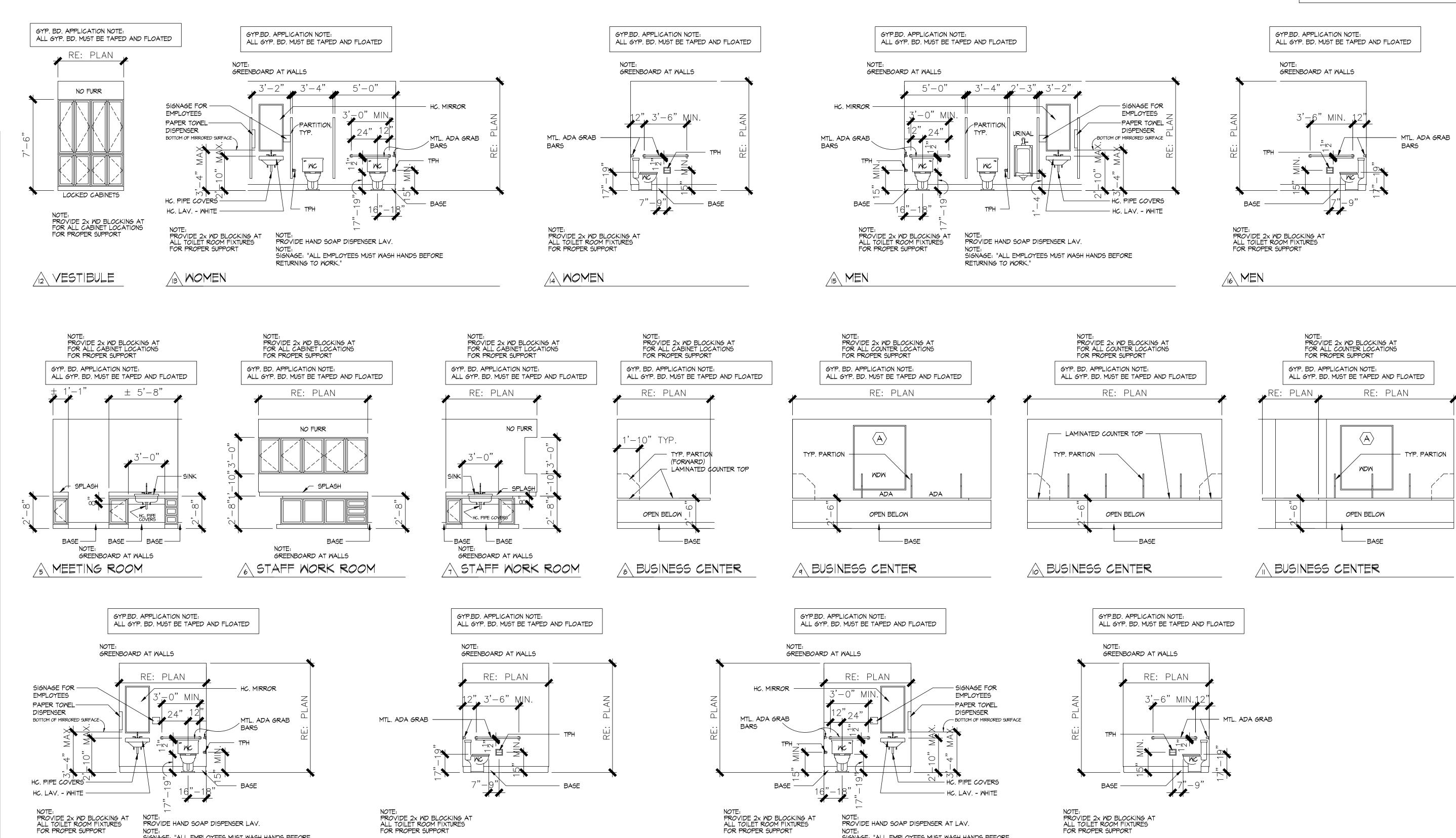


SHEET

PLOT DATE: 05/10/19

SIGNAGE: "ALL EMPLOYEES MUST WASH HANDS BEFORE RETURNING TO WORK."

A UNISEX



NOTE: SEE FLOOR PLAN FOR CLEARANCES OF LAVATORY AND TURNING RADIUS OF MATER CLOSETS.

J UNISEX

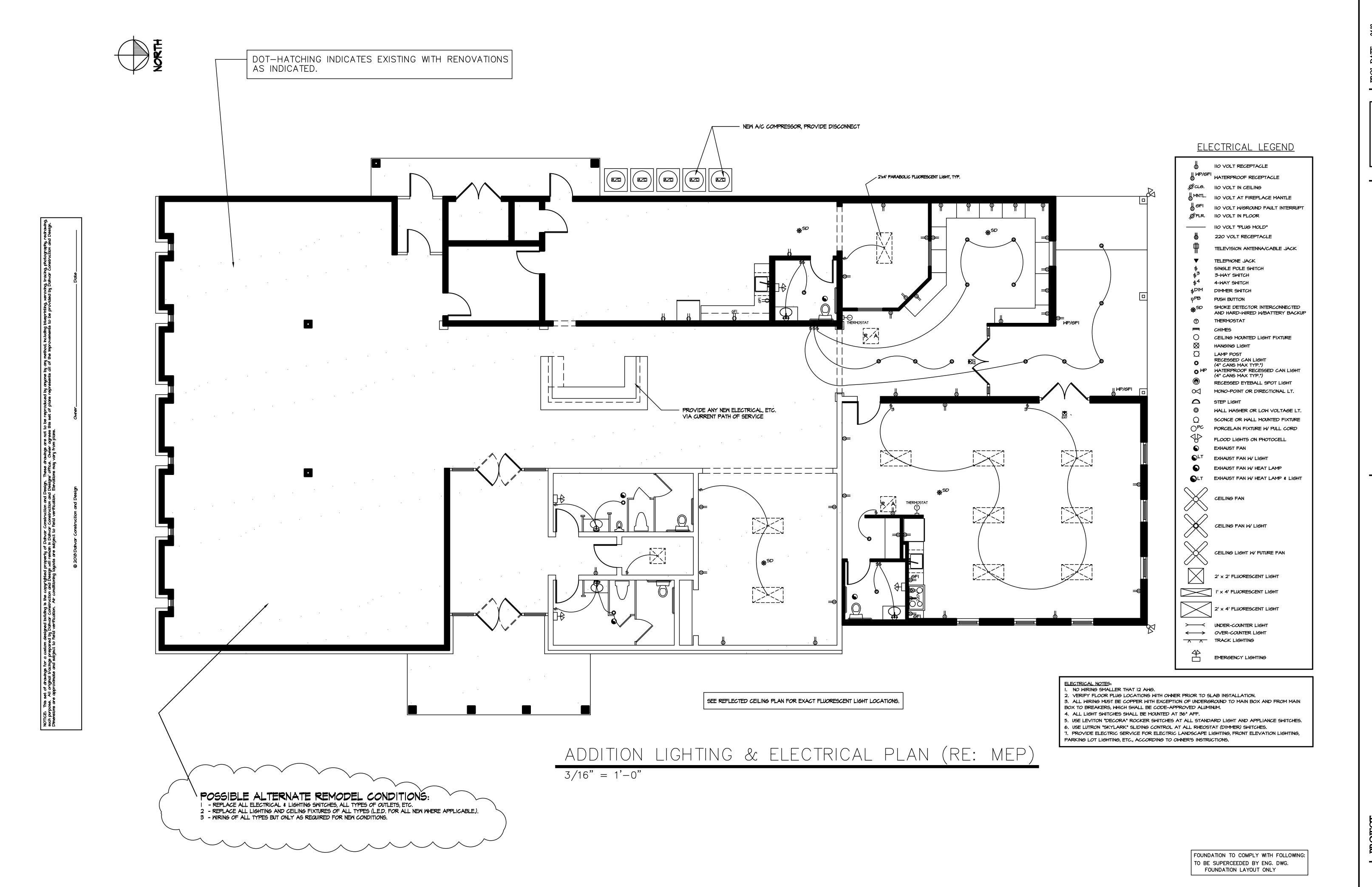
NOTE: FOR SIGNAGE SEE SHEET AT.2

SIGNAGE: "ALL EMPLOYEES MUST WASH HANDS BEFORE RETURNING TO WORK."

/2 UNISEX

↑ UNISEX

SHEET
A8.1



ADDITION



dahvar@gmail.com

Construction

5. CEILING TEE BEYOND

7. 5/8" THICK TYPE "X" GYPSUM BOARD

6. LAY-IN CEILING AS SCHEDULED

1. UNDERSIDE OF DECK ABOVE

3. ANCHOR HEAD & FLOOR TRACK TO

4. SEAL VOIDS WITH FIRE SAFING \$

STRUCTURE @ 24" 0.C.

& BOTTOM TRACKS

ACOUSTIC CAULK

2. PROVIDE ACOUSTICAL SEALANT @ TOP

8. EXTEND TO UNDERSIDE OF STRUCTURAL DECK ABOVE

9. EXTEND TO UNDERSIDE OF CEILING ABOVE

10. BASE AS SCHEDULED

11. FINISH FLOORING AS SCHEDULED

12. "RACO" PRESITIGE CLASSIC SERIES ALUMINUM DOOR FRAME

13. CONTINUOUS CEILING "J" TRIM TENANT SIDES OF PARTITI*O*N

14. BUILDING STANDARD, 1 3/4" SOLD CORE WOOD DOOR

15. LABELED 20 MIN. RATED FIRE DOOR, 1 3/4" SOLID CORE WOOD DOOR

16. LABELED 20 MIN. RATED HOLLOW METAL FRAME, PAINT FINISH

17. 1/4" TEMPERED GLASS

18. HANGER WIRE SUPPORT TO STRUCTURE. ATTACH TO MAIN TEES @ 4" O.C.

19. ALUM. WINDOW FRAME AS SCHEDULED

20. GLAZING AS SCHEDULED. RE: ELEV.

21. FIRE DAMPER IN SHEET METAL SLEEVE AS REQUIRED FOR RETURN AIR. RE: MECH.

22. 2 LAYERS 5/8" THICK TYPE "X" GYPSUM

23. 3 5/8" (18 GAUGE) METAL STUDS @ 16" O.C.

24. 3 5/8" (25 GAUGE) METAL STUDS @ 24" O.C.

25. 3 5/8" (20 GAUGE) METAL STUDS @ 24" 0.C.

26. 3 5/8" OR 5 5/8" (25 GAUGE) METAL STUDS @ 16" O.C.

27. 1/2" THICK GYPSUM BOARD (GREENBOARD AT WET AREAS)

"RACO" PR-1 HEAD TRACK

29. BLOCKING, TYPE "X"

30. PARTITION AS SCHEDULED

31. ALUMINUM DOOR FRAME AS SCHEDULED

32. CONTINUOUS SILENCER BY FRAME MANUF

33. CARPET EDGE GUARD WHERE CARPET IS EXPOSED TO TRAFFIC (OMIT IF NOT SCHEDULED.)

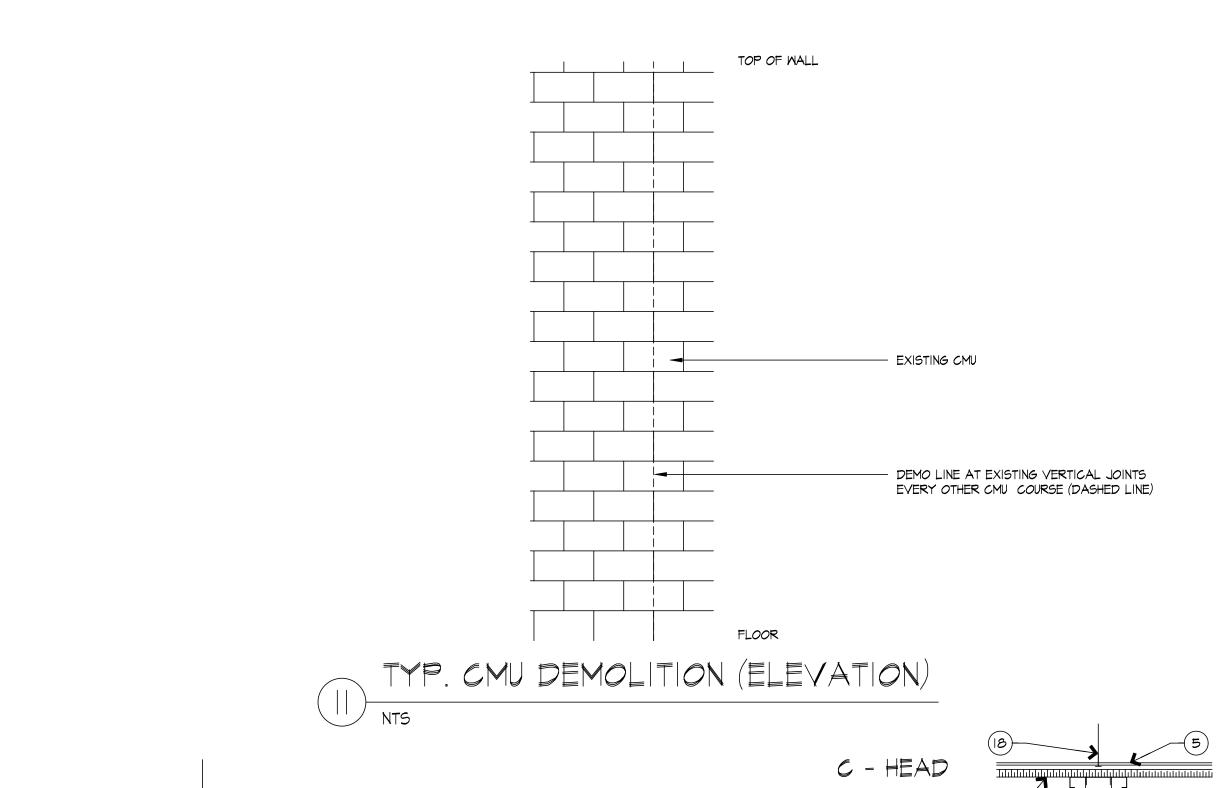
34. DOOR AS SCHEDULED

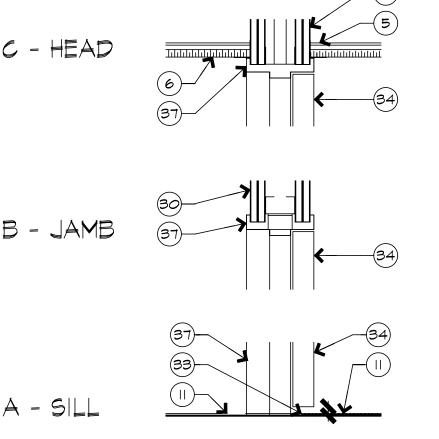
35. 2" SOUND ATTENUATION INSULATED ON TOP OF PARTITION ABOVE CEILING. EXTEND 2 FEET EACH SIDE OF WALL

2-1/2" SOUND ATTENUATION INSULATION

37. HOLLOW METAL DOOR FRAME AS SCHEDULED

38. EXISTING MASONRY

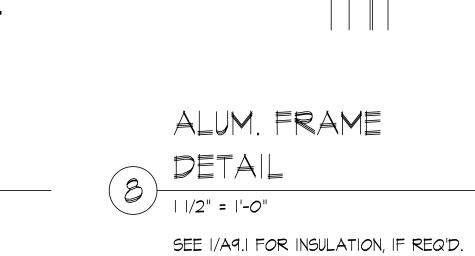


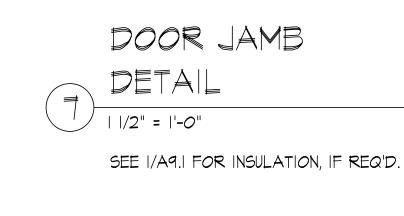


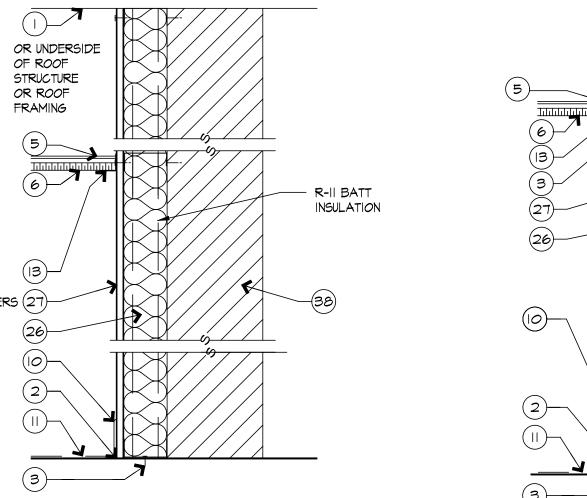
HOLLOW METAL

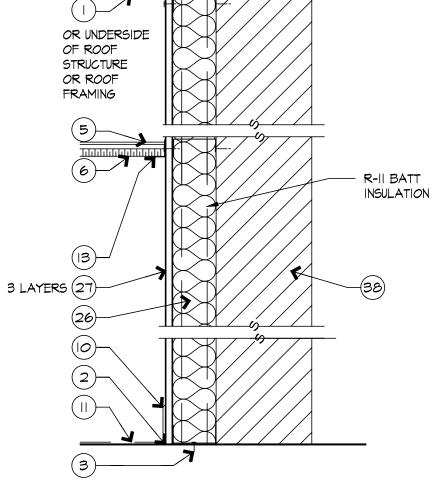
FRAME DETAILS

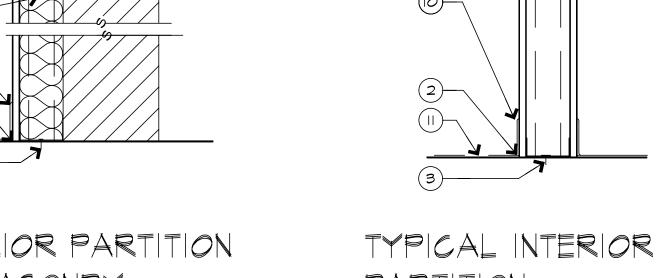
SEE I/A9.I FOR INSULATION, IF REQ'D.











TYP. ALUM.

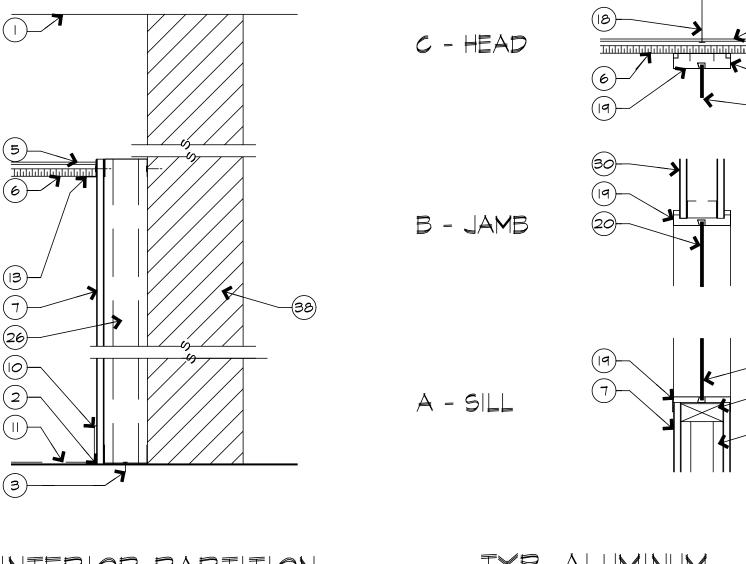
| |/2" = |'-0"

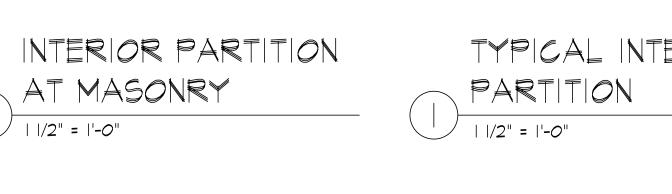
FRAME DETAILS

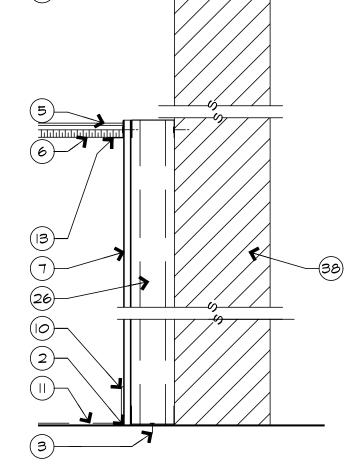
SEE I/A9.I FOR INSULATION, IF REQ'D.



SEE I/A9.1 FOR INSULATION, IF REQ'D.









SEE I/A9.1 FOR INSULATION, IF REQ'D.

PLOT DATE: 02/22/19

SHEET

A9.1