



# EXISTING CONDITION ASSESSMENT

**WALLER COUNTY COURTHOUSE**  
Hempstead, Texas

**836 Austin Street**  
Hempstead, Texas 77445

October 27, 2021







## TABLE OF CONTENTS

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### **I. Introduction**

- Executive Summary
- Goals and Purpose of Condition Assessment
- Methodology

### **II. Historical and Architectural Development**

- Historical Development Summary
- Exterior Architectural Description
- Interior Architectural Description
- List of Character Defining Features

### **III. Evaluation of Existing Conditions**

- Site Conditions Assessment
- Exterior Building Conditions Assessment
- Interior Conditions Assessment

### **IV. Options**

- Preservation Philosophy
- Secretary of Interior's Standards Overview
- Summary of Recommendations

### **V. Appendix**

- A. Bibliography
- B. Historic Photo Index
- C. Existing Condition Photo Index
- D. Herbert Voelker & Associates Architects, 1954 Construction Drawings
- E. Section 442.008 of Texas Government Code (TGC) concerning protection of county courthouses



## I. INTRODUCTION

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### EXECUTIVE SUMMARY

The Waller County Courthouse Condition Assessment is in preparation for Waller County's request to pursue design options for the possible adaptive reuse or demolition of the existing 1955 Courthouse. Pursuant to the provisions of the Texas Government Code, Chapter 2269, Subchapter G, it is the intention of Waller County to move forward with a Design-Build Service for the construction of a proposed new Courthouse Annex, rehabilitation, or demolition of the existing 1955 Courthouse, and other construction activities as identified by a larger comprehensive of County Administrative and Courthouse requirements, led by the prime architects Brinkley Sargent Wiginton (BSW). The comprehensive assessment shall include a Texas Historical Commission (THC) review of the existing Courthouse. All buildings that are serving or have served as the courthouse are protected under a statute entitled, "County Courthouses" as described in the Texas Government Code, Title 4, Chapter 442, Section 442.008. Rules for implementing this law are found in the Texas Administrative Code, Title 13, Part 2, Chapter 17.2, which include specific requirements for Counties if they are initiating any work to an historic courthouse building beyond routine maintenance.

The 1955 Waller County Courthouse sits on the square of the previous 1894 courthouse, which was razed in 1954 for the construction of the existing Courthouse. The 1955 courthouse was designed in the Modern style and, today contains a high level of integrity as there has been slight exterior modifications to structure as well as very minimal modifications to the interior. The Courthouse is now sixty-six years old and is over the fifty-year threshold for being historic as defined by the National Register of Historic Places. The character defining features of the courthouse are all intact and mostly in good condition. Several mechanical, electrical and, plumbing issues throughout the building are present, which is typical of a structure this age. Other significant issues include accessibility and mobility compromises, which are also common in buildings from this era. Additionally, envelope issues are present, primarily at the aluminum and plate glass windows and roof. Although the roof was not accessible at the time and will not be covered by this report, there was evidence from the decking below and through conversations with the staff that there are presently roof issues. Supplementary engineering reports will be provided to THC for further documentation and conditions.

These issues and others will be described in more detail throughout the report and, will require mindful solutions if the County chooses to re-use the courthouse.



## GOALS AND PURPOSE

The goal of the Waller County Courthouse Condition Assessment is to:

- **Document** the building and site's history post-1955 construction completion and to update/verify all the modifications that have been made post-1955 construction.
- **Assess** the existing condition of the building's structure, materials, spaces, systems, and usage to identify problematic areas to provide needed remediation of such areas and elements.
- **Plan** for the future of the building by using the findings as the basis for priorities and options for the County in all possible future projects.

This Condition Assessment will assist in providing the County and, the Texas Historical Commission with guidelines and goals for the ongoing best use of the 1955 Courthouse as well as assist the Design Builder in providing pre-design cost to assess the feasibility of updating and continual use of the existing courthouse.

It is Komatsu's understanding that the Team's proposed strategy to 1955 Waller County Courthouse is to better define the scope of work to be addressed with this Condition Assessment, as a collective assessment effort with Brinkley Sargent Wiginton's (BSW) consulting engineers. This report will take into account BSW's preliminary programming and proposed schematic design tasks. A roof assessment is not part of this report and will be provided as a separate document from the chosen engineer.

## **METHODOLOGY**

The findings of this condition assessment are the result of three phases of review and analysis:

### **1. Research**

With the assistance of County staff and local historians, the project team compiled and reviewed pertinent photographs, drawings, and other historic documentation. Local newspapers and other sources were used in the historic research of this report.

### **2. Field Observation and Assessment**

Komatsu Architecture walked the entire site with a knowledgeable County representative to document and gain access to every part of the building. Conditions were photographed and documented by level of deterioration and extent of needed repairs. Materials and assemblies were assessed for historic integrity and intrusive (non-historic) elements were noted. Komatsu also reviewed the building accessibility, stairs, public circulation routes, and restrooms.

**Interviews** - On-site casual meetings were held with County staff to clarify functional issues and discuss concerns and maintenance/repair issues experienced by the County. The condition of the mechanical, electrical, plumbing systems is the immediate concern. As well as possible envelope issues at the roof and ground floor level.

**Standards** - In addition to documentation of existing conditions, applicable standards were studied to make a functional assessment of the building and inform the recommendations. Standards used included:

- Texas Government Code §442.008 and §442.006, Texas Historic Courthouse Protection Act
- International Existing Building Code, 2018 (Chapter 12: Historic Buildings)
- Texas Accessibility Standards (TAS) 2012
- The Secretary of the Interior's Standards for the Treatment of Historic Properties, 1995

### **3. Recommendations**

Based on the data collected throughout Phase #1 and #2, the rehabilitation and restoration recommendations were developed. The recommendations itemized in general to assist in the cost estimating team identify areas of preservation, restoration, rehabilitation, and possible expansion.



## II. HISTORICAL AND ARCHITECTURAL DEVELOPMENT

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### HISTORICAL DEVELOPMENT SUMMARY

The current Waller County Courthouse in Hempstead, Texas is the third standalone courthouse to serve the county and fourth structure, as the very first courthouse was out of a rented space in the Texas House hotel.<sup>1</sup> The first standalone courthouse was constructed on the Square in 1877 and eventually lost to fire. The second courthouse was built in 1894 and later torn down in 1954, to make way for the current, 1955 courthouse.<sup>2</sup> The 1955 courthouse was designed in the Modern Style by architect, Herbert Voelcker and Associates, and constructed by Baxter Construction Co.<sup>3</sup> Voelcker designed eleven courthouses across the state of Texas from the early 1920s until the mid-1950s, his final design being for Waller County.<sup>4</sup> Voelcker's earlier designs were neoclassical in style, which evolved over time into a clean modern aesthetic following the trends and technology of the time period. This modern aesthetic culminated in the simple, clean lines seen at the Waller County Courthouse today.

Voters approved the current courthouse in a bond election in August of 1953.<sup>5</sup> Construction started a year later in August of 1954. By September 25, 1955, the new courthouse was dedicated and opened to the public. According to The Hempstead News, "the new structure is as modern as possible, having an elevator, completely air conditioned throughout the building, decent and adequate juror's quarters for both men and women and needed larger quarters for all county officials."<sup>6</sup>

### EXTERIOR ARCHITECTURAL DESCRIPTION

The Courthouse is a pristine example of Midcentury Modern design. The building is sited on a Square that occupies an entire city block. The primary façade faces south, and the secondary entrances faces north, with tertiary entrances at the east and west elevations. The four-story courthouse is rectangular in plan and constructed primarily of light red brick and Carthage limestone stone masonry veneer. The main entrance is centered on the primary limestone mass at the south elevation, which is raised on a plinth of concrete steps and brick pavers. Raised landscaping beds are present on either side, which conceals the windows for the first floor or basement level is that partially below grade. The main entrance is comprised of aluminum double doors with sidelines. A gridded transom with a decorative, patterned aluminum grill is present above the doors. The glazing is separated from the limestone by a band of polished granite that is chamfered towards the interior. A relief of the buildings name, "Waller

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<sup>1</sup> Truitt Bell, Waller County Historic Society, President

<sup>2</sup> Texas Historical Commission Atlas; Predecessor is described as a three story wood framed structure with turrets constructed in 1894.

<sup>3</sup> CourthouseHistory.com. "Images for Waller County, Texas."

<sup>4</sup> Leonard G.. Lane, "Voelcker & Dixon, Architects."

<sup>5</sup> The Hempstead News.

<sup>6</sup> The Hempstead News.



County Courthouse”, is carved into the limestone directly above the doors. The only classical ornamentation on the building is located at the upper corners of the limestone mass, in the form of carved reliefs that are Art Deco in style.

The central mass is flanked on either side by wings constructed of brick and aluminum windows. The vertically oriented, casement windows are surrounded and divided by a protruding stone frame that makes the windows appear deeply recessed. The first-floor windows are clearly articulated and separated from the upper-level, double volume windows by a spandrel panel. The brick masses are topped by a thin, stone parapet coping that wraps the entire building.

The other elevations are less monumental than the primary façade and more regular in character. The secondary elevation facing the north has a two-story limestone mass that projects slightly beyond the main brick volume, which recalls the primary façade. The entrance is also raised, though not as high, and the entry doors are double doors made of aluminum and glass with sidelights and a large transom above. The windows on the north façade are vertically oriented and in a regularly spaced rhythm. The first-floor windows are punctured openings with aluminum jalousie frames. The second through fourth floor windows visually function as a single, vertically oriented unit and are surrounded by a stone frame that emphasizes this. The patterned of glazing and spandrel panels is used to indicate interior function. On the left and center vertical units, the glazing and spandrels are laid out in a regular A-B-A-B pattern, which indicates the private dormitory function. On the far right, the spandrel panels were not used on the upper level and the double height glazing indicates the double volume courtroom space.

The east and west facades were originally mirrored twins. Each facades uses the same vertically oriented windows seen on the north elevation in a regular rhythm. The glazing and spandrel panels are again used to indicate interior function based on their pattern. A stone panel is also used at the base of some of the vertical window units. At the first-floor level, punctured window openings with jalousie units are also used. The central opening is a first-floor level door that is accessed by a small areaway with stairs. The raised landscape beds from the south façade wrap a portion of the side facades. Today, the east façade has been altered from its original design, with an additional door to the right of the original, central door. The areaway for the central door has been widened to allow for ramp access. A pole support canopy has been added above.

## **INTERIOR ARCHITECTURAL DESCRIPTION**

The main entrance opens to a mezzanine level lobby. Glass and aluminum double doors lead to the County Clerk and County Auditor (original the County Tax office) offices present on either side. Grand stairs to the second floor are located directly in front of the entrance. The lobby and stair walls are wrapped in full height marble stone veneer that continues in the second-floor corridor. The floors are terrazzo with a inset map of the county.



Spatially, the courthouse is organized by linear, central corridors on each level with the offices, courtrooms, and support spaces on the perimeter. Both courtrooms are on the west side of the building. The original jury dorms were located on the fourth floor. The building has a concrete foundation and column structure with composite steel and concrete floor decking. Terra cotta tile is used to frame the partition walls.

The marble used at the second-floor corridor and lobby has a high contrast veining of light to dark tan with green and orange accents. The floors are complimentary terrazzo. Next to the visual texture of the marble, the County Courtroom, now the Commissioners Courtroom, is austere and utilitarian in design. The walls are a simple plaster finish with a picture rail with vinyl tile floors. The ceiling was originally acoustical plaster but has since been covered with a contemporary drop ceiling. The wood furniture including spectator benches with bright blue upholstery, attorney tables, judge's bench appear to be original. Contemporary task chairs have been added throughout the room.

The marble veneer continues up the central stairs to the third-floor corridor, which has the same finishes as the second. The third-floor courtroom was originally the District Courtroom but is now used as the County Courtroom. Its finishes are more elevated than the second-floor courtroom. The walls are covered in wood paneling throughout the entire room. The original floors have been covered by carpet and the original ceilings have been covered by a contemporary drop ceiling. The original furniture appears to be intact, including the spectator benches with bright blue upholstery, bar, attorney tables, jury box, and judge's bench. The jury box seats, and other individual chairs have been replaced.

Other secondary spaces are still intact in the building. The jury dormitory is intact at the fourth floor, although it is now only used as storage. Simple in design, the original sleeping closets, plumbing fixtures, tile, and plaster appear to be intact. The first floor is partially below grade and functions as a basement. The central corridor is simpler in design than the upper floors. Oversize subway tile in cream and green is used as a wainscot throughout with plaster above. The flooring is terrazzo in complimentary colors to the tile. The original ceiling has been covered by a contemporary drop ceiling.

According to the original drawings, most offices were simple in design with vinyl tile flooring, plaster walls with picture and chair rails, and acoustical plaster ceiling. Some of these features are still visible throughout most offices, but modifications are present. The most common modification is contemporary flooring and / or drop ceiling. The Character Defining Features lists details the full inventory of original finishes and features.

## LIST OF CHARACTER DEFINING FEATURES

### *Exterior*

- Primary South Façade
  - Full height, Carthage limestone central mass
  - Light red brick, stone, and glass wings
  - Raised entrance with brick landscaping beds
  - Central raised concrete and brick stair
  - Vertically oriented, aluminum windows with stone frame and spandrel panels
  - Central aluminum double doors with transom grid and ornate grillwork
  - Polished granite accent around main entrance
  - Carved relief building name and corner ornament
  - Simple stone parapet coping
  
- North Façade
  - Two-story, Carthage limestone central, projected mass
  - Brick, stone, and glass primary volume
  - Raised central entrance
  - Vertically oriented, aluminum windows with stone frame and spandrel panels
  - Central aluminum double doors with large transom
  - Punctured first floor level jalousie windows
  - Simple stone parapet coping
  
- East/ West Facades
  - Brick, stone, and glass primary volume
  - Sunken, minor first floor doors
  - Vertically oriented, aluminum windows with stone frame and spandrel panels
  - Punctured first floor level jalousie windows
  - Simple stone parapet coping

### *Interior*

***\*Note – This list was developed by comparing the original architectural drawings and the current conditions. If original elements cannot be seen, they are listed as original.***

- First Floor Corridor
  - Central corridor
  - Terrazzo floors
  - Large subway style tile from floor to halfway up wall with plaster above



- Original acoustical plaster ceiling now covered with contemporary drop ceiling
- Mezzanine Lobby / Grand Stair
  - Terrazzo Floors with county map in lay
  - Full height, natural stone veneer walls
  - Wood and glass doors to Tax Collector and County Clerk offices
  - Terrazzo stairs leading up to the second-floor corridor
  - Aluminum handrail
  - Acoustical plaster ceiling
- Second Floor Corridor
  - Central, linear space
  - Terrazzo Floors
  - Full height, natural stone veneer walls
  - Wood and glass doors
  - Acoustical plaster ceiling
- Second Floor Courtroom
  - Simple and utilitarian in design
  - Vinyl tile floor with rubber base
  - Plaster walls with picture rail
  - Original acoustical plaster ceiling now covered with contemporary drop ceiling
  - Wood dais and wood benches
- Third Floor Corridor
  - Central, linear space
  - Terrazzo floor
  - Full height stone veneered walls
  - Wood doors with large glass panes
  - Acoustical plaster ceiling
- Third Floor Courtroom
  - Original vinyl tile with rubber base, now covered with carpet floor
  - Wood paneled walls
  - Original acoustical plaster ceiling now covered with contemporary drop ceiling
  - Wood furniture benches, bar, jury box partitions, judge's bench. Original Jury box seats have been replaced.

- Jury Dormitory at Fourth Floor
  - Now used as storage
  - Vinyl tile floors with rubber base
  - Plaster walls
  - Acoustical plaster ceiling with surface mounted light fixtures
  - Plumbing fixtures and sleeping closets intact
  
- Typical Office
  - Vinyl tile floors with rubber base, original flooring has been covered in several spaces
  - Plaster walls with picture rails and chair rails
  - Floor mounted radiators
  - Original suspended, acoustical plaster ceiling now covered with contemporary drop ceiling in most offices

## **SIGNIFICANCE AND INTEGRITY**

Today, the Waller County Courthouse does not hold any historic designations but appears to be eligible for both the National Register of Historic Places and designation as a Recorded Texas Historic Landmark based on the following evaluation. For more information on the National Register Criteria, please visit: <https://www.nps.gov/subjects/nationalregister/how-to-list-a-property.htm>

### **Significance**

The Waller County Courthouse is over fifty years old and is a pristine example of midcentury modern architecture in the County and surrounding area. It is also possibly the last courthouse design by Herbert Voelcker. Further research is needed, but last or not, Voelcker was a significant Texas architect.

The time period of construction and the social and economic events and trends surrounding that time could also add to the Courthouse's significance. Further research would need to be conducted to develop a historical context for the county and building. Until that time, the period of significance is the original date of construction, 1955.

### **Integrity**

In order to be designated, a building must be able to convey its significance through physical integrity, meaning does the building look much as it did during the period of significance. The National Register uses the following seven aspects to analysis integrity:

1. Location – The building remains in its original location
2. Setting – The Courthouse Square is intact. The raised landscape beds, lighting, monuments, and other site features visible in the original design drawings are intact today. The public approach and access to the building have not changed.
3. Design – All exterior character defining features remain intact. The east façade has been altered, but the modifications do not detract from the overall design. The original interior spaces and volume are intact. Some of the original functions have moved rooms or left the building, but the physical spaces have been minimally changed.

4. Materials – The majority of historic materials are intact on both the exterior and interior. Some have been covered or are in varying degrees of deterioration.
5. Workmanship – The care and craftsmanship of the original construction is evident, especially in the stonework on the exterior and interior veneer.
6. Feeling – The building provides major county services to the public and is regularly utilized by the community. The public continues to experience the building as it was originally intended. The square and exterior are still used to today as a ground for public events and gatherings.
7. Association – The building is an artifact of the well-known Texas architect Herbert Voeckler and is potentially his last courthouse design. Further research into the historic development of the building could reveal additional information about historic events or people.

Based on the seven aspects, the Waller County Courthouse has a high degree of integrity. Komatsu believes that the building's significance and integrity make it eligible for the designation. A formal determination must be given by the Texas Historical Commission.



### III. EVALUATION OF EXISTING CONDITIONS

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In this section, the project team has evaluated each piece of the courthouse building and site to determine its existing condition and needed repairs or alterations. Deteriorated elements or “deficiencies” are outlined in the narrative and photos that follow each section. The recommendations in Section V. were developed based on this condition assessment.

The condition of each building element has been rated based on the following scale:

- **Excellent** – Like new. This item requires no work.
- **Good** – Finishes show normal wear. The item requires no immediate work.
- **Moderate** - The item is wearing or beginning to sustain damage/loss of finish or integrity. It should be scheduled for periodic maintenance or repairs.
- **Poor** - The item is sustaining damage of the base material. Repairs and/or refinishing should be scheduled for the near future.
- **Severe** - The item has sustained serious deterioration and poses imminent threat of loss of historic fabric. The possibility of potential danger to occupants or users of the structure is the greatest concern.

Overall, the Waller County Courthouse is in moderate to good condition and retains a high degree of integrity, meaning most of the original architectural design is intact and most of the original materials are in place. The building also retains a moderate degree of functional integrity as all courtrooms still house a court program and several of the primary county services, such county clerk, still occupy the same office spaces as originally planned.

#### SITE CONDITIONS ASSESSMENT

The Courthouse Square appears to be in a similar proportion as it was originally in 1885, according to a Sanborn map. The Square sat between Austin and Wilkins Street as its North and South boundary, 9<sup>th</sup> street as its East boundary and what appears to be a private road not labeled as its West boundary. The Square did evolve over the early years through 1901, as it expanded to a much larger square for the newer 1894 Courthouse that immediately predated the existing 1955.

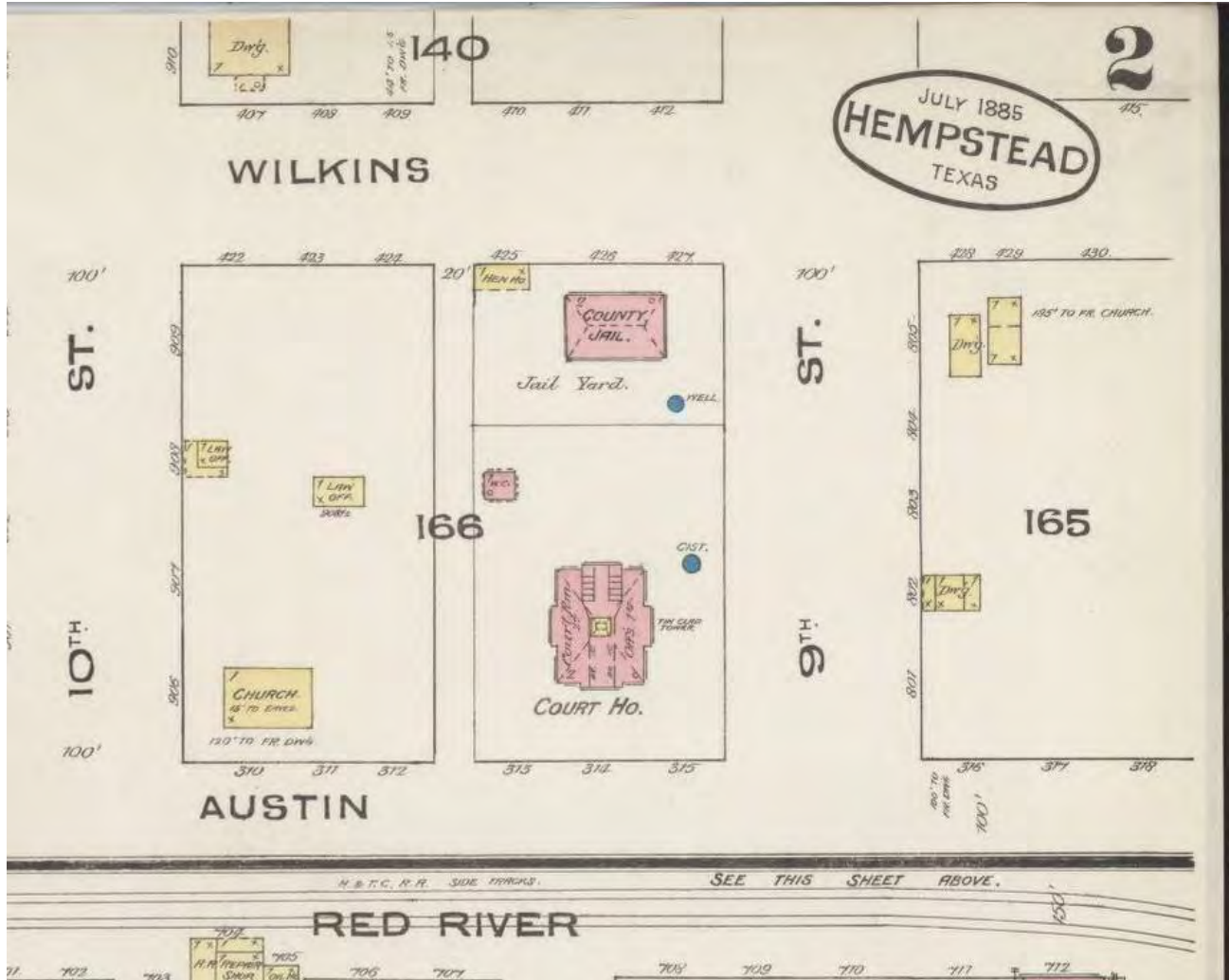


Figure 1. 1885 Sanborn Map

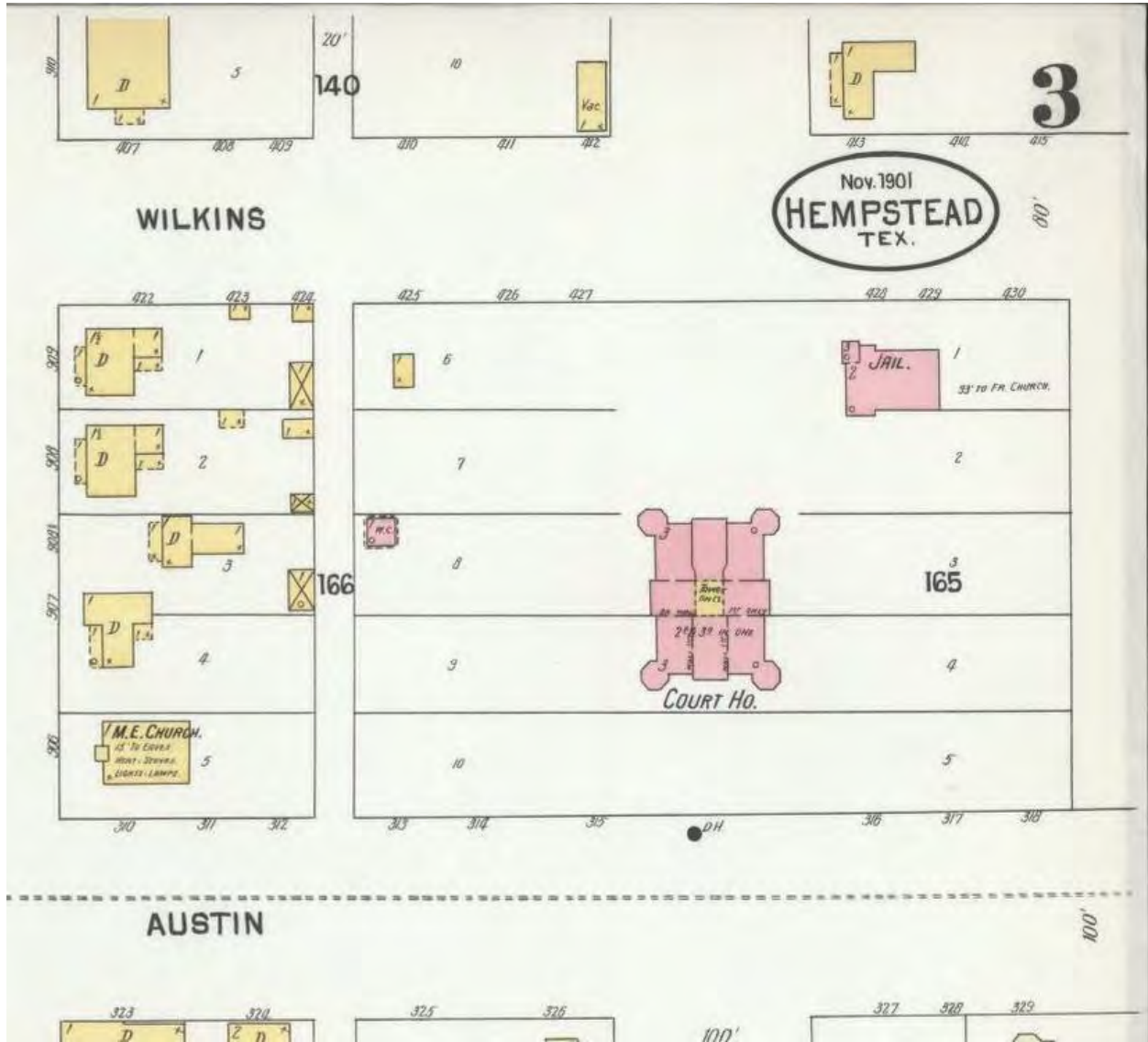


Figure 2. 1901 Sanborn Map



*Figure 3. Current Aerial View of Courthouse*

### **Pedestrian Circulation, Sidewalks, and Hardscaping**

The entire Square is flanked on all sides with accessible concrete sidewalks. There are four concrete walkways that are centered on each elevation of the courthouse. Each of these walkways align to an original entrance on that elevation. The walkway on the south side of the courthouse is the main entry. That entry walkway is approximately twenty feet wide, and stair steps up to the main doors. The two platform levels before you enter the building contain brick pavers that are similar in color to the building and laid out in a herringbone pattern. The platforms also contain solid gray limestone steps and at the last platform level to the finished floor inside the building is a limestone paver platform. The limestone pavers are in good condition with very little settling, cracking and mostly appear to have moisture staining. The concrete walk is in moderate condition and the pavers are in moderate condition with moderate moisture staining and biological growth at the mortar joints.

Flanking on both sides of the main south walkway are retaining walls clad in a brick masonry that matches the body of the courthouse and capped with a limestone coping that matched the limestone pavers. There are also two cheek walls in similar configuration that ride along the first steps up to the initial brick paver platform. These cheek walls return to the main retaining walls to create a large



planter. There is only soil and no evidence of appropriate plantings currently in the planters, which is evidence that the maintenance are likely poor soil conditions and maintenance is too great for the County staff to maintain.



**Figure 4. (Left) South walkway entrance with limestone steps and clay pavers. Figure 5. (Right) South walkway entrance masonry cheek wall with planter**

These two retaining walls extend along the entire south elevation in both directions, then turn 90 degrees north along the east and west elevations and terminate into another retaining wall, only a few feet away from the face of the building. This retaining wall creates an area well along the entire south face of the building. It appears to be in moderate to poor condition. The area wells themselves are in poor condition as ponding water was observed as well as large plant growth, compromising the concrete base. The wall continues running north and then ends directly adjacent to the entrances on both elevations.

The outside retaining walls are in moderate/poor condition as the outside corner of the retaining walls are beginning to fail and buckle slightly. The mortar joints are failing and on the high side of the wall in the inside corners the ground is settling creating unsafe holes in the soils. There are also sink holes at the base of the foundation wall in which the County has had to place caution cones to prevent any injuries to pedestrians. There is also a high degree of biological growth on the masonry mortar joints. There is evidence of a recent intervention at the failing joints of the coping stones that show a white sealant along the entire perimeter of the wall.



***Figure 6. area well on west façade, showing wild planting and ponding of debris***



***Figure 7. South lawn inside corner of cheek wall and east retaining wall, where there has been soil erosion***



On the southwest corner of the site stands a monument dedicated to the previous demolished courthouse dating from 1894. The monument is a contemporary structure with four large columns matching the 1955 courthouse masonry and infilled with a storefront system at the base. There is a copper roof enclosing the space at the base and a copper roof at the upper clock tower and bell level. This clock tower was salvaged from the 1894 courthouse and restored by Lloyd Larish out of Fairbault, Minnesota. Construction for this monument began in 2004, but it was not capped with the bell, clock, and top roof until 2010. The bell and clock were restored and installed into this tower monument in 2010. This project was spearheaded by the local Waller County Historical Society and supported by hundreds of citizens that donated to the project funds by purchasing brick pavers. The copper and masonry on this monument are in good condition and the landscape grounds directly around it are all well-kept.



**Figure 8. (Left) Monument dedicated to the historic 1894 courthouse. Figure 9. (Right) Veteran’s monument**

Sitting centered in the east lawn is a Veterans’ Memorial monument. It is a large monument that takes up around fifty percent of the entire southeast lawn. It was built to honor the military veterans of Waller County. Its construction was completed in November of 2020 and was designed by a U.S. Marine Corp veteran, Michael L. Emerson. The monument is comprised of a square concrete slab in plan aligned with pink granite benches on the west, south and east border. The north border is lined with large black rectangular stone slabs that individually list and celebrate each branch of the military. Centered in the square is a flagpole and an “X” delineated in the concrete is centered on the flagpole. Each branch of the X has a large rectangular pink granite slab that commemorates each major American war. The monument is in very good condition and seems to be a pride of joy for locals that contributed to its construction fund and celebrate its completion. According to photographs the flagpole appears to be original to the 1955 site plan design.

On the north side of the Courthouse Square, there are only four smaller individual monuments peppered around the grounds. Centered on the main walkway going into the buildings north entry is a large pink granite slab as a memorial to the state of Texas for serving the Confederacy. The monument is in good condition though an installation date has not been determined. The lettering is difficult to read and the stone is starting to contain a large amount of biological growth on the top and all down the face of the monument.



**Figure 10. (Left) Monument dedicated to Texas service in the Confederacy. Figure 11. (Right) Monument dedicated to Waller County formation.**

To the northeast of the site is monument to the formation of Waller County. It is a large pink granite roughed stone block that sits on a smooth raised concrete slab. It contains two bronze plaques. One faces the side of the monument identified as a simplified Texas seal, with the dates 1936 centered on Texas and 1966 along the circular border that says “restored”. The 1966 reference is unclear. The top of the stone block contains the description of how and why Waller County was formed. It is in moderate condition and the bronze has a high level of patina. Just north of this monument is a sign dedicated to the 200<sup>th</sup> birthday of the United States Freedom. It was erected by the Waller County Bicentennial Committee and dedicated in 1976. It is in moderate condition and has a patina on the bronze sign. On the opposite side of the Square along the northwest border is the Texas Historical Commission marker dedicated to the former Waller County Post Offices. It was erected in 1977.





**Figure 12. (Left)Plaque dedicated to the 200th birthday of the United States. Figure 13. (Right)Plaque by Texas Historical Commission dedicated to the Post Office**

Located at the northeast corner of the square is an approximately six-foot-high wooden fenced area with a single gate. Inside the fenced area is an older cattle guard type iron fencing. And centered in the space appears to be a gas line and meter. The wooden fence is in moderate condition and the older iron fencing is in poor condition.



**Figure 14. Wooden fence protecting exposed gas lines**

The north side of the courthouse contains a large number of mature trees. There are approximately seven to nine mature trees ranging from a few large oaks, pecans, and tall pine trees. These trees all appear to be in good condition. If possible, the mature trees should be saved for any future modifications to the site.



**Figure 15. North lawn with mature Oak and Pecan trees to be protected**

The light standards around the site are deceiving, as the style does not coordinate with the style of architecture found on the courthouse. Upon review of the original design drawings the light standards were originally installed as part of the design for the 1955 courthouse; even though they look more appropriate for the previous courthouses that have been demolished. Komatsu can only assume this might have been an owner's request as they do not fit or match the style of the 1955 courthouse architecture or are even aligned to the walking paths. They are spread around the courthouse in the open lawn areas, and some have even been lost by either age or storm damage.



*Figure 16. North lawn with light standard and concrete benches in the rear*



Along the north border to the west and east of the Square sits two concrete slabs with cast concrete picnic table and benches. Both are intelligently placed beneath large shade trees and out of site mostly. They appear to be in good condition; however, they are not of any significance or architecturally fitting to the site. There are not paths to them and no signs of dirt trails in the grass, which would lead to the conclusion that they do not get used often.



*Figure 17. Edge of North lawn with concrete picnic table and benches on a concrete slab*

Close to the table and benches to the west sits a large concrete slab and chain linked fenced in electrical yard. The yard appears to contain a large backup generator and distribution panels. It is tucked into the northwest corner of the site. While it is mostly out of site from most viewpoints of the courthouse, future work should relocate this off the Square completely if feasible.



*Figure 18. Chain linked fence electrical yard, for backup generator at northwest corner*

**Parking and Vehicular / Pedestrian Circulation**

The parking areas are along the entire border of the Square. There are diagonal parking spaces available along the east and west boundaries and parallel parking spaces available along the north boundary. The parking spaces to the north all are reserved. The fire lane sits just outside of them. There are two accessible parking spaces on the northwest corner of the Square, both of which are non-compliant.



*Figure 19. Non-compliant handicap parking spaces at northeast corner of square border*

**Site Drainage**

The south and north lawns of the courthouse contrast greatly. The north lawn is fairly flat and is only a few feet from the interior finished floor level, while the South lawn contains a large retaining wall that creates a continuous light well for the south façade first level windows. The south lawn finish grade below the retaining walls is more leveled and aligned to the north lawn finish grade. There was no ponding on the site and while being flat there seems to be just enough drop and slope to the grade to provide enough positive drainage. This will need to be confirmed by as topographic survey and civil engineer. There is evidence of some negative sloping on the north side of the building along the concrete walkway adjacent to the building face. There is erosion occurring along the walkway. Overall, the most problematic area seems to be the area wells and retaining walls along the south façade.



*Figure 20. soil erosion occurring along north elevation walkway*



## **EXTERIOR BUILDING CONDITIONS ASSESSMENT**

### **Masonry**

The brick masonry body is a reddish clay face brick laid out in a Flemish bond pattern with flush gray mortar. The Bricks are nominal twelve inches stretcher and four inches in header. They are most likely Roman style type bricks.

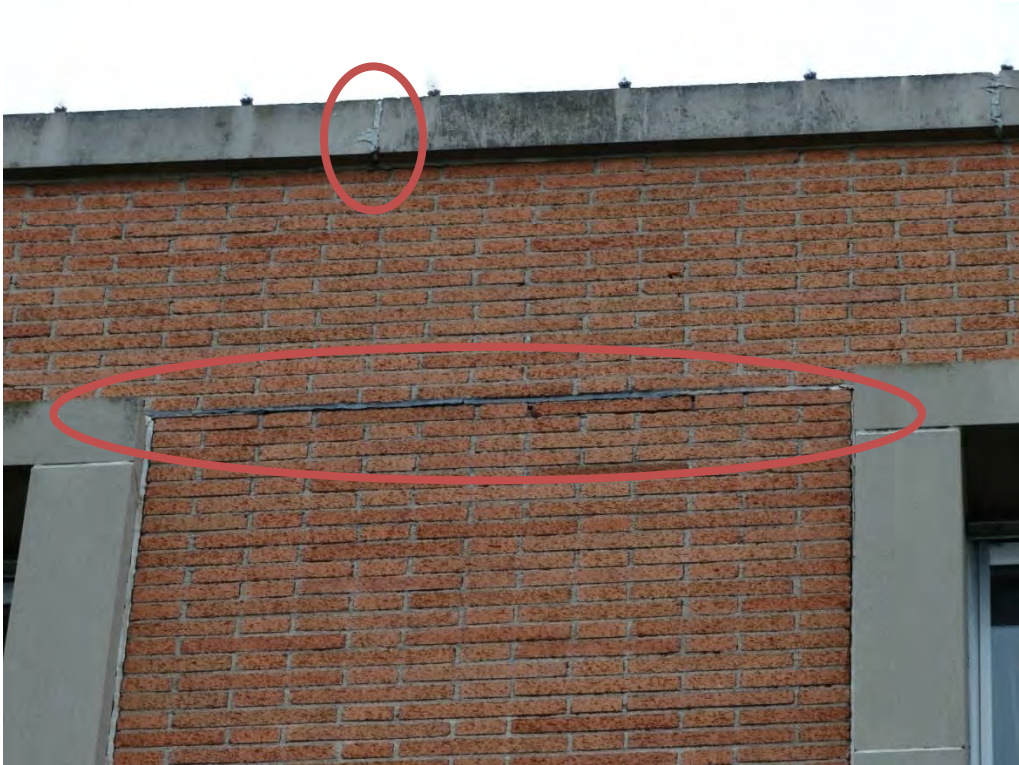
The masonry face brick is in overall good condition. There are a few areas of cracking, spalling, and failed mortar but approximately eighty percent of the masonry appears to be in good condition. There also seems to be very little mortar replacement completed as well. The areas where most of the damage is occurring appears to be in areas that shelf angles and flashing are likely in place.



*Figure 21. Typical face brick masonry*

The limestone coping at the parapet appears to be in moderate condition. While it all seems to be intact, there is a high level of moisture staining and biological growth. All of the joints seem to have been repaired and caulked in the past, which means that they will likely need to be refastened and flashed properly.

“Carthage” limestone veneer is used as an accent stone and trim stone for the major architectural features. It clads the building whenever an element or part of the building projects out from the rectangular formed plan. They are large smooth faced stone, gray in color in a running bond or stacked pattern. The limestone is in good condition with most of the issues revolving around the curtain wall cantilevered projections and the south facing entry massing. There is little to no deterioration of the stone. The issues appear to be mortar joint failure, and possible substrate anchoring failure. The sills, cap stones, and headers all have some level of moisture staining and possible biological growth. Where mortar joints began to fail in and around the curtain wall projections a non-compatible white caulking has been applied, likely over the original mortar or voided joint. The non-compatible caulking will all need to be removed and in-kind mortar will need to be used for all repointing.



*Figure 22. signs of mortar deterioration and non-compatible replacement on north facade*



*Figure 23. North façade entrance limestone massing*





**Figure 24. Limestone mortar and movement damage on south façade masonry**



**Figure 25. Limestone mortar replacement with non-compatible caulking, typical at all windows**

Located only on the north and south elevations, the building uses a pink granite stone as an accent banding only around the entry curtain walls. The stone joints align to the adjacent limestone masonry and is in overall good condition. The mortar joints on the north elevation are in poor condition and have deteriorated and spalled out. There is around fifty percent of the mortar that needs to be repointed. The south accent banding is in better condition than the north, with only a few areas that need to be repointed.



*Figure 26. Typical mortar joint deterioration at north pink granite entry*

## Doors

The courthouse has four main entrances. All appear to be centered on each elevation, with the main entrances on the north and south. The only public entrance with a ramp is on the west elevation and the ramp is not compliant. The north and south main entry doors are original, and the east and west doors look to have been replaced with standard aluminum storefront door and frames. The north and south door appear to have all the original hardware and do not show any signs of major alterations. The original doors have pivot hinges and plate glass. They are both in good condition. The only minor modification is a narrow keypad on the right jamb of the double doors.



*Figure 27. Keypad modification at original north entry doors*

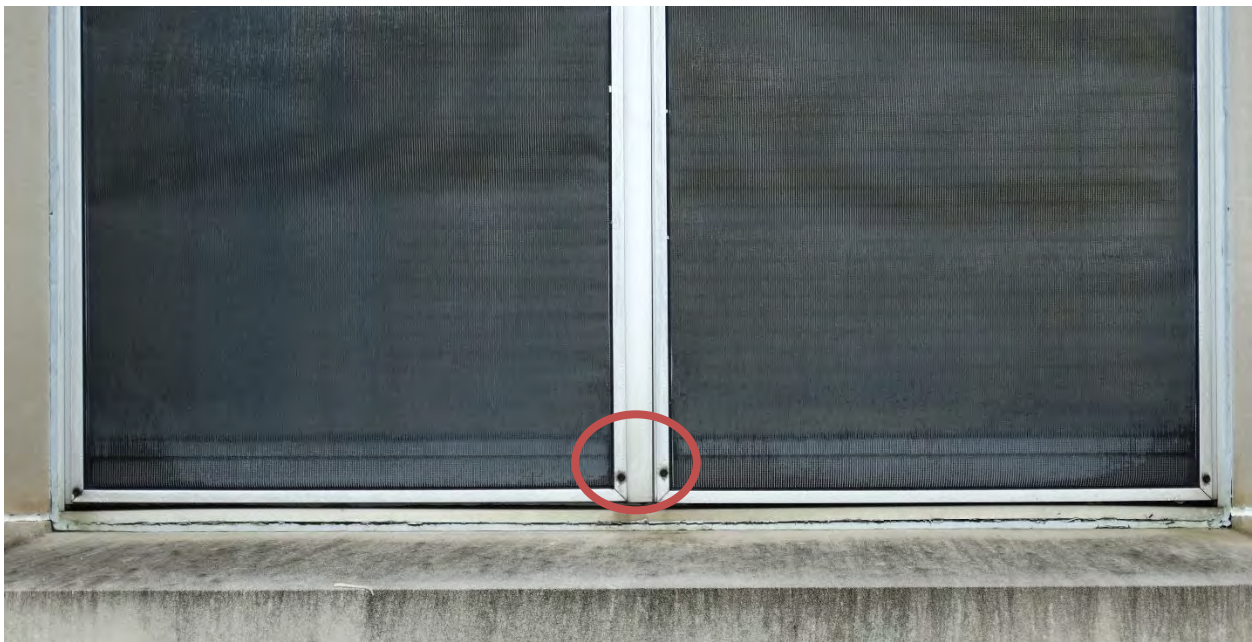


*Figure 28. Existing south entry doors*



## Windows

The reinforced aluminum and plate glass windows all appear to be original with no modifications, except for the addition of an aluminum framed shade screens applied to the exterior of the window frames. The aluminum shade screens do match the character of the building, but also have exposed fasteners which are drilled directly into the original frames, compromising their integrity. The screens were not detailed in the original documents. Their installation date is currently unknown and further research is required. The fasteners for the screen frames are beginning to rust and stain the adjacent frames. The screens themselves appear to be in moderate condition as no holes or tears were found in them.



*Figure 29. Existing windows with non-original aluminum screens*

The windows are in moderate condition. It was observed from the interior, that large amounts of condensation builds up on the exterior face of the plate glass. Which is likely causing the visible biological growth to occur on the lower sash railing throughout the building. This is also the place where most of weathering of the windows appear. The hardware all appears to be original and in moderate condition. The modifications that occurred on the interior were mostly window treatments/blinds/curtains and additive wood stools, which was observed in a few offices. Most of the stools were still stone or tile as delineated in the original drawings.



*Figure 30. staining and biological growth at lower window sash*



*Figure 31. Biological growth occurring at window lower sash, typical.*



On the fourth floor there was a large wasp infestation. At the time of the site visit, the wasps did not appear active, but were able to get into the storage space on the fourth floor somehow. This leads to the conclusion that there are presently envelope issues at those windows.



*Figure 32. Wasp infestation at fourth floor windows, not active*

The most significant window formation is the main entry on the South Elevation. It is a reinforced aluminum curtain wall system with a custom aluminum grille that rest inside the door frame below and side jambs.

The aluminum grille has gray inserts that match the spandrels on the rest of the building. There is presently a void octagon at the upper center of the grille. It was the previous location of a clock, that first appears in a 1958 photograph. It was not originally delineated in the drawings provided. A similar clock form is found on the North elevation above the entry centered on the stone. In the 1958 photo, there is also evidence of no shade screen install as well as what the original interior window treatments were.



*Figure 33. South façade curtain wall with aluminum shade grille and missing clock*



*Figure 34. Courthouse in 1958.*

## **INTERIOR CONDITIONS ASSESSMENT**

The interior of the courthouse retains a high degree of integrity of historic materials, architectural elements, and spatial relationships based on comparison of the existing conditions to the original design. The floors, walls, doors, and finishes all appear to be mostly intact. The most significant modification that has occurred throughout the building was the introduction of a contemporary suspended acoustical lay-in ceiling grid and tiles, most of which appear to be in place to create a plenum space for the existing HVAC system. Evidence of the original acoustical plaster (a.c. plaster) remains in place. There have also been several wall and floor finish changes throughout the Courthouse which is typical for a building of this age.



*Figure 35. Original acoustical plaster ceiling and possible color*

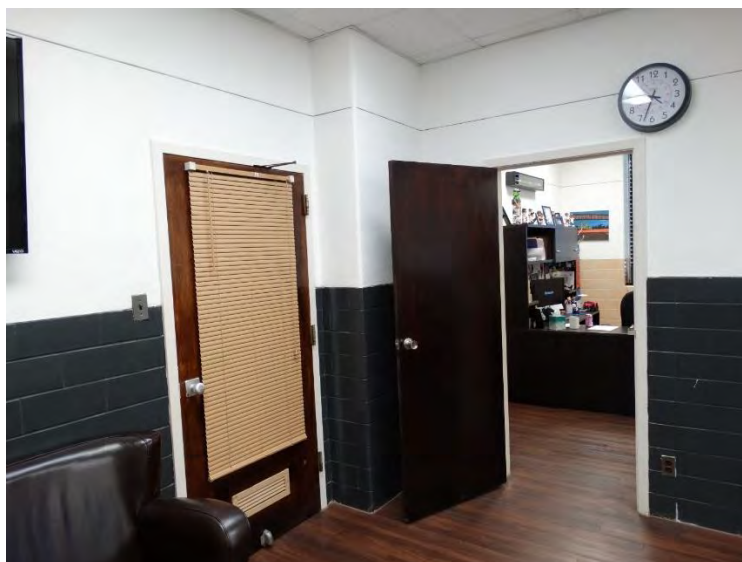


### **First Floor**

The original first floor mostly exists in its original formation based on the original floor plans. The main corridor has its original terrazzo flooring and wainscot glazed structural wall tile. Doors and hardware all appear to remain intact and in good condition. Some of the structural wall tile found behind the corridor in offices have been painted. In these office spaces there is also interventions on the floor, with contemporary vinyl floor material. Most of these changes occur in the northwest quadrant of the floor plan. These spaces are not of high historic significance.



*Figure 36. Existing first floor corridor, terrazzo and glazed structural wall tile*



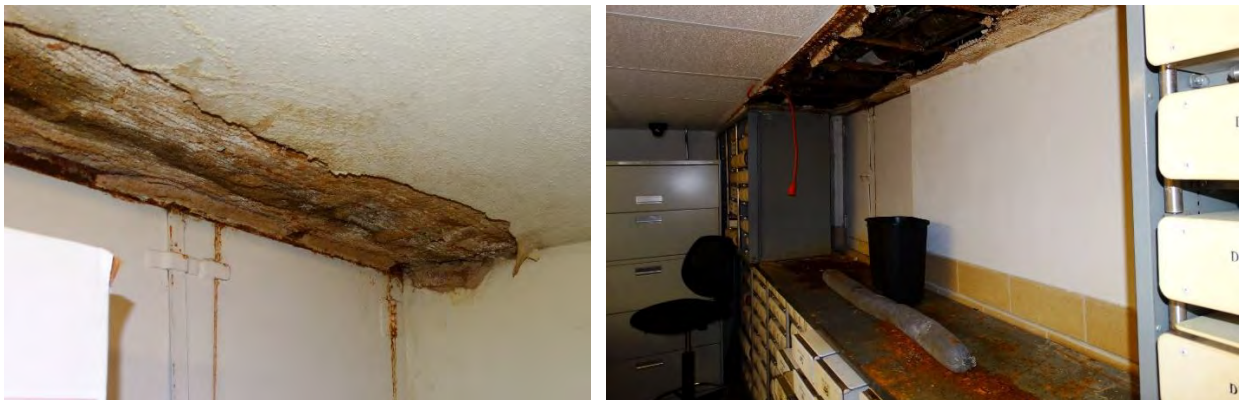
*Figure 37. Typical office on first floor, with applied vinyl flooring and painted wall tiles*

The first-floor restrooms, while not code compliant, do remain intact and original. There are stone toilet partitions, that could be salvaged and possibly reused for any future projects. The most significant space on the first floor is an assembly space on the northeast quadrant of the floor plan. Other than the lay-in ceiling, it also appears to be in-tact and in good condition.



*Figure 38. Existing first floor assembly space*

The County Clerk and County Auditor each have storage spaces on the first floor. However, they are only accessible from the second level offices. These spaces contain the highest level of moisture damage found throughout the building. These spaces are not significant and contain a low level of integrity.



*Figure 39. Existing first floor damage at County Clerk storage and County Auditor Storage*

## Second Floor

The original second floor corridor has terrazzo floors, and full height marble walls with a plaster ceiling. The wood doors mostly appear to be original with a few minor hardware and security interventions. The ceiling in the corridors contain the most damage. They are stained, and in one area the plaster has begun to spall off from what appears to be a condensation issue caused by the mechanical system. The corridor walls are high quality with book matched marble slabs throughout. There was some mortar damage and minor repointing will be needed throughout the corridor, but otherwise the stone is in good condition. The light fixtures are not original. There is no evidence of any original light fixtures in the corridors and the drawings specify an incandescent light fixture. More research will be needed to find out what was originally there.



*Figure 40. Existing first floor corridor*

The three main spaces on the second floor are the County Courtroom, County Clerk, and County Auditor space, which was originally the County Tax Office. The County Clerk and County Auditor are technically located on the first floor, but can only be accessed from the South Entrance and the second-floor corridor through the central stair, which we are referencing as mezzanine level. The County Courtroom is now the Commissioners Courtroom. It is located on the west terminus of the corridor. All original finishes appear to be intact, except for the dropped lay-in ceiling system, which covers the original plaster ceiling.

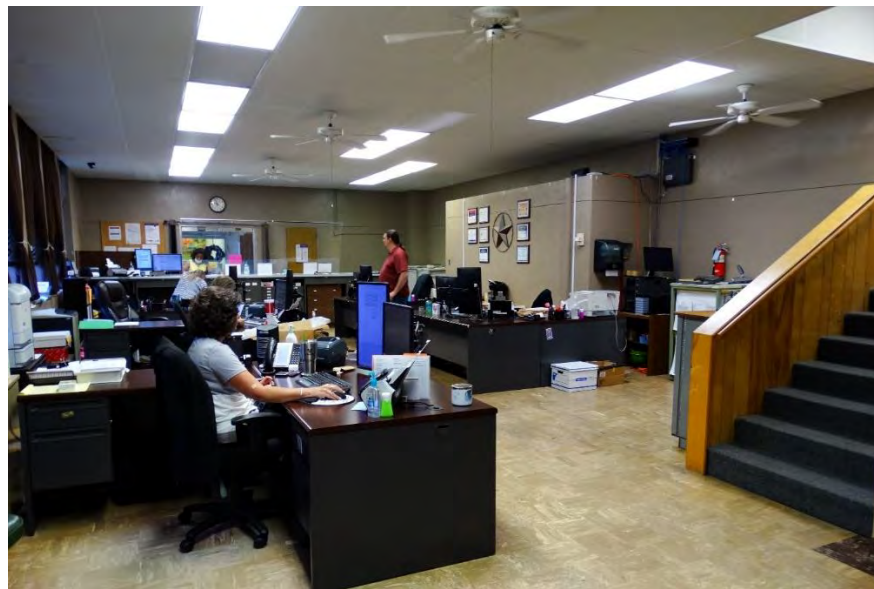




*Figure 41. Existing County Commissioners Court*



The County Clerk office contains the same vinyl flooring as the Commissioners Courtroom and similar wall base. In addition to the dropped lay-in ceiling tiles, there is an additional stair found on the east side of the space that does not appear in any of the original drawings. All the stone stools on the windows are intact. The non-original stair leads up to more private office spaces for the County Clerk. This office space on the east elevation, contains the highest level of moisture damage at the ceiling and exterior wall and is in poor condition. The County Auditor office does appear to have changes from the original layout, creating more private office spaces within the larger space. There has also been carpet installed on the flooring and an acoustic lay-in ceiling system.



*Figure 42. Existing County Clerk office*



*Figure 43. Existing moisture damage at County Clerk office*

The south entry lobby space between the County Clerk and Auditor, has a high level of integrity and contain a custom detailed map of Waller County, designed into the terrazzo flooring. This is also the same space that has regular leaks from the ceiling and contains plaster failure. Please refer to the photo index.



**Figure 44. Existing mezzanine lobby/south entrance lobby terrazzo floor map**



### Third Floor

The third floor originally housed the District Courtroom, the District Clerk office, Library, District Judge office, and Jury room spaces. The District Courtroom has been moved to the New County Annex building located at the new Justice Center. The historic District Courtroom is presently being used as the County Court-at-Law courtroom. This space was originally delineated with flush wood panel walls with a wood crown molding, vinyl floor tiles, and plaster ceiling. The room currently has carpet flooring and the space originally extended to the extents of the south exterior wall. It now has office spaces along the south exterior wall. At this time, it is unclear if the existing wood paneling is original or not, as the south wall is a very close match to all the other wood paneled walls. There could have possibly been construction change and the south wall possibly added during construction. The doors on the south wall do look to be from a different period than the other doors, so this leads more towards that the conclusion that the south wall was not original. More research will be needed to be conclusive on this matter.



*Figure 45. Existing County Court at Law courtroom, looking north*

The opposite end of the third-floor corridor was originally labeled as a work room, but is now the County Treasurer. This space has carpet and some biological growth occurring on the ceiling along the east wall. This is a severe and very urgent situation and should be addressed immediately as it could be a health hazard to the users. Please refer to the photo index.

The southeast quadrant, which was originally the Library, is now the District Clerk office. This space has high ceilings similar to the County Court-at-Law courtroom. It has carpet over what was originally vinyl flooring and a dropped lay-in ceiling. This space overall has low integrity but is a significant space.



*Figure 46. Existing District Clerk office, previously the Library*



### **Fourth Floor**

The fourth floor is only a half floor and is all currently being used as storage but was originally the Jury Dormitory and mechanical space. The space appears to be intact from its original design. All the restrooms and dorm spaces exist as time capsules, filled with files and general storage items. The only access is from the private stair at the County Court-at-Law Judges office. The stair exists likely how it was originally constructed. The plaster finish is also likely original, but in poor condition, as there are signs of stress, as large cracks and moisture trails were visible throughout the stair well.



*Figure 47. Existing damage at the private stairs to the fourth floor*



*Figure 48. Existing fourth floor, storage, previous jury dormitories*

### **Central Stairs**

The central stairs have solid marble walls with terrazzo treads and marble risers from the first floor through the third floor. The fourth floor is only accessible from private stairs in the County Court-at-Law Judge's office. The handrails are an extruded aluminum profile up on aluminum post that sits on a continuous solid aluminum cap. The stairs and railings are in good condition with only a few areas in the risers and landings where cracks were found. All of which are easily repairable. The stairs are not code compliant per Texas Accessibility Standards.



*Figure 49. Existing Central stair well leading down to the mezzanine level*



## IV. OPTIONS

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### **PRESERVATION PHILOSOPHY**

Reusing existing buildings is a best practice in the field of historic preservation, as well as the larger architectural umbrella of sustainability. The sustainable practice of recycling an existing building, and the amount of embodied energy saved in reusing a building is proven and is a time-tested practice. However, the scales can be tipped when fiscal, and feasibility implications come into question on the value of time, energy, and cost. The first option below is provided assuming the optimal scenario of cost, time, and energy savings of rehabilitating the existing 1955 County Courthouse in lieu of demolition. In the case that the broader feasibility study deems that the cost, time, and energy savings are low, then additional steps are outlined to guide the Owner and architect on the path of demolition and new construction.

Rehabilitation *“is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.”*<sup>7</sup> If circumstances permit, rather than assuming the potential of pristine restoration and “taking back” a structure to its earliest date, the goal will be to embrace the normal occurrence and often necessity of modifications in the structure’s life to move it forward for the next fifty years.

*“Demolition of a building means to remove, in whole or part. Demolition of historical or architectural integrity includes removal of historic architectural material such as, but not limited to, material in the following categories: site work, concrete, masonry, metals, carpentry, thermal and moisture protection, doors and windows, finishes specialties, equipment, furnishings, special construction, conveying system, mechanical and electrical.”*<sup>8</sup>

The most desirable “preservation ethic” is one of balance - a sustainable and ongoing continued use of an historic structure as well as feasible and responsible use of public funds and time. The Courthouse has been adapted to meet the needs and continuous use of the County over the years. It is a primary goal of the finalized scope of work to continue the County’s legacy. The goal of moving the “site” towards a continued use, activity, and role to contribute of the economic life of the community.

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<sup>7</sup> US Department of the Interior, *The Secretary of the Interior’s Standards for the Treatment of Historic Properties*, P.2

<sup>8</sup> Texas Administrative Code, *Review of Work on County Courthouses*, Section 17.2





## **SECRETARY OF THE INTERIOR'S STANDARDS OVERVIEW**

The Secretary of the Interior's Standards for the Treatment of Historic Properties (Department of the Interior regulations, 36 CFR 67) are a series of concepts about maintaining, repairing, and replacing materials on a historic building, as well as designing new additions or making alterations. They provide a framework and guidance for decision-making about improvements or modifications to a historic property. The Standards can be applied to historic properties of all types, materials, construction, sizes, and use. They include both the exterior and the interior and extend to a property's landscape features, site, environment, as well as related new construction. The Standards are to be applied to projects in a reasonable manner, taking into consideration economic and technical feasibility.

The Standards offer four distinct approaches to the treatment of historic properties:

- **Preservation** - maintenance and repair of existing historic materials and retention of a property's form as it has evolved over time.
- **Rehabilitation** – preservation + acknowledges the need to alter or add to a historic property to meet continuing or changing uses while retaining the property's historic character.
- **Restoration** - depicts a property at a period in its history, while removing evidence of other periods.
- **Reconstruction** - recreates vanished or non-surviving portions of a property for interpretive purposes.

Each treatment type incorporates eight to ten standards and has supporting guidelines for each standard that provides additional information.

Any future rehabilitation projects at the Courthouse, will be a combination of each treatment. Where historic materials are intact, they will be preserved and restored if feasible. Where modern convenience is needed, such as heating/air conditioning or an electronic sound system, partition walls and doors, accessibility requirements, compliant restrooms, sensitive, thoughtful, and compatible modifications will be made to the historic space following the rehabilitation guidelines. Additional spaces or structures will only be considered after determination that space requirements for continued use cannot be successfully met by solely altering the non-significant interior spaces of the courthouse. All new additions should preserve the buildings historic character, form, significant materials, and features. It should be compatible in massing, size, scale, and design of the historic building while differentiated from the historic courthouse. Any new addition should also be designed and constructed so that the essential form and integrity of the existing courthouse would remain if the addition were to be removed in the future.



## **SUMMARY OF OPTIONS**

### **Option: Adaptive Reuse of Existing 1955 County Courthouse**

The following option is provided for feasibility purposes for the adaptive reuse of the existing 1955 Courthouse. It is as an itemized list based on observations through site visit and analysis of historic documentation and are not in any way a conclusive scope of work. Further investigation and research will need to be conducted as a next phase of design directive deliverables. A definitive scope for all rehabilitation will further include any vetted new proposed construction and reallocation of program spaces. The repairs are not in any phasing sequence and would be phased appropriately during construction with detailed specifications.

In consideration for the adaptive-reuse; all character defining features of the Courthouse, and Square are to remain, and be restored in-situ. If it is found that programming interventions will be needed for programming, functional and life safety purposes then each intervention will be dealt with separately and coordinated with the Texas Historical Commission during pre-design phases.

### **Exterior**

- Masonry
  - Clean all exterior masonry.
  - Remove all invasive mortar or joint sealants.
  - Repoint all masonry as needed.
  - Possible removal and resetting of parapet coping stone with all new pin anchors and flashing.
  - Possible new header flashing to be installed at fenestrations.
  
- Site
  - All monuments and plaques are to remain and be restored.
  - All large trees are to remain and be protected.
  - South retaining walls are to remain and be modified to assure proper drainage is occurring with the installation of a French drain system and weeps.
  - All site is to have positive drainage away from the building.
  - TAS compliant accessibility ramp should be installed following the Secretary of Interior's Standards.
  - Remove east entry cover.
  - North entry patio and railings maybe removed.
  
- Fenestrations



- All original doors shall remain and be restored, moderate security and hardware modifications will be considered and coordinated with THC.
- All original windows shall have their exterior screens removed and all windows shall be inspected by an envelope specialist to identify if the windows have been compromised.
  - If windows have been compromised, then compatible replacement shall be installed.
  - If windows are not compromised, then specified window repairs, cleaning, UV and thermal upgrading shall be provided by possible removable interior storm windows.

### **Interior**

- Corridors
  - All corridors are character defining feature and shall be retained and protected.
  - All marble walls shall be cleaned, and selective compatible repointing shall occur as needed.
  - All terrazzo floors shall be cleaned and repaired as needed.
  - Glazed structural tile shall be retained and cleaned.
- Grand Central Stair
  - Clean all marble walls and risers and repair as needed.
  - Clean all terrazzo treads and landings and repair as needed.
  - Provide code compliant compatible guardrail and handrail in coordination with THC.
- Spaces
  - All courtrooms are to remain and be cleaned and restored.
  - Adaptive reuse of courtrooms shall be permissible according to rehabilitation guidelines of the Secretary of Interior's Standards.
  - County Clerk's office shall be restored and all character defining features shall remain. adaptive reuse of the space shall be permissible according to rehabilitation guidelines of the Secretary of Interior's Standards.
  - Assembly space on first level shall be restored and all character defining features shall remain. Adaptive reuse of the space shall be permissible according to rehabilitation guidelines of the Secretary of Interior's Standards.





### **Demolition of Existing 1955 County Courthouse**

In the case that the adaptive reuse of the existing 1955 courthouse is deemed not feasible by the County and architect from a cost, time, and energy standpoint, then demolition of the structure may be considered by the County. The demolition request of the structure will have to be directly requested by the County Judge in the form of a letter that briefly describes the project, along with construction documents, sketches or drawings which adequately describe the full scope of project work and photographs of the areas affected by the proposed changes to the Texas Historical Commission.<sup>9</sup> All County Courthouses fall under the protection of the Texas Government Code, Chapter 442, §442.008, which give the Texas Historical Commission time to review any changes to existing Courthouses and opportunity to comment and more. This section of the Texas Government Code is below:

Sec. 442.008. COUNTY COURTHOUSES. (a) **A county may not demolish, sell, lease, or damage the historical or architectural integrity of any building that serves or has served as a county courthouse without notifying the commission of the intended action at least six months before the date on which it acts.**

(b) If the commission determines that a courthouse has historical significance worthy of preservation, the commission shall notify the commissioners court of the county of that fact not later than the 30th day after the date on which the commission received notice from the county. A county may not demolish, sell, lease, or damage the historical or architectural integrity of a courthouse before the 180th day after the date on which it received notice from the commission. The commission shall cooperate with any interested person during the 180-day period to preserve the historical integrity of the courthouse.

(c) A county may carry out ordinary maintenance of and repairs to a courthouse without notifying the commission.

Additional information about these regulations can be found at the THC's website - <https://www.thc.texas.gov/preserve/projects-and-programs/texas-historic-courthouse-preservation/review-compliance>.

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<sup>9</sup> Texas Administrative Code, *Review of Work on County Courthouses*, Section 17.2 (B)

## V. APPENDICES

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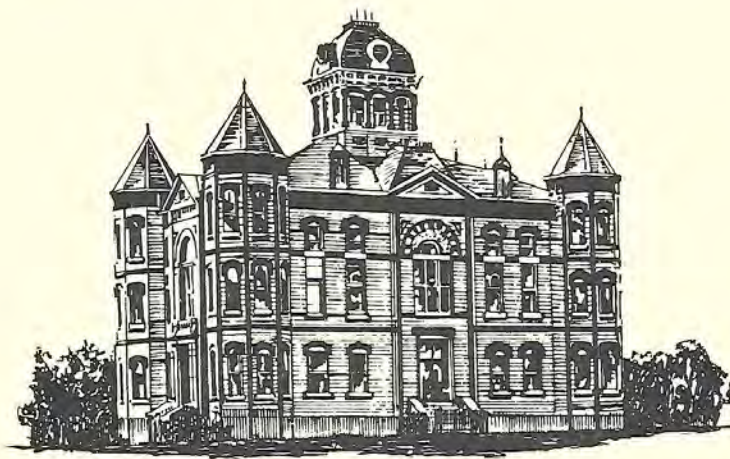
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## **B. HISTORIC PHOTOS**





Waller County Courthouse, 1893 - 1954

The original courthouse burned in 1892 and the following year a new one was erected. This historic building in Hempstead, Texas, whose interior walls were pockmarked by bullets from a 1905 shoot out, was razed in 1954 to make way for the present structure which was completed in 1955.

Artist: Thomas Shelton

Photo: Rendering of 1894 Courthouse

VOL. 6, ISSUE 49, WEDNESDAY, JULY 18, 1990



*Pictures from the past such as this one of the Waller County Courthouse can be seen this coming Saturday at the Hempstead Theatre during the Watermelon Festival. You may recognize some of the faces of some of Waller County's leading citizens as they looked back in 1950. Take the opportunity to see how our area has changed over the past 40 years. See you at the Watermelon Festival!*

Photo: Photo of 1894 courthouse, taken in 1950





### PROPOSED NEW COUNTY COURTHOUSE



Photo: Rendering of 1955, circa 1954 newspaper article

### THIS IS HOW OLD BUILDING LOOKED IN 1907

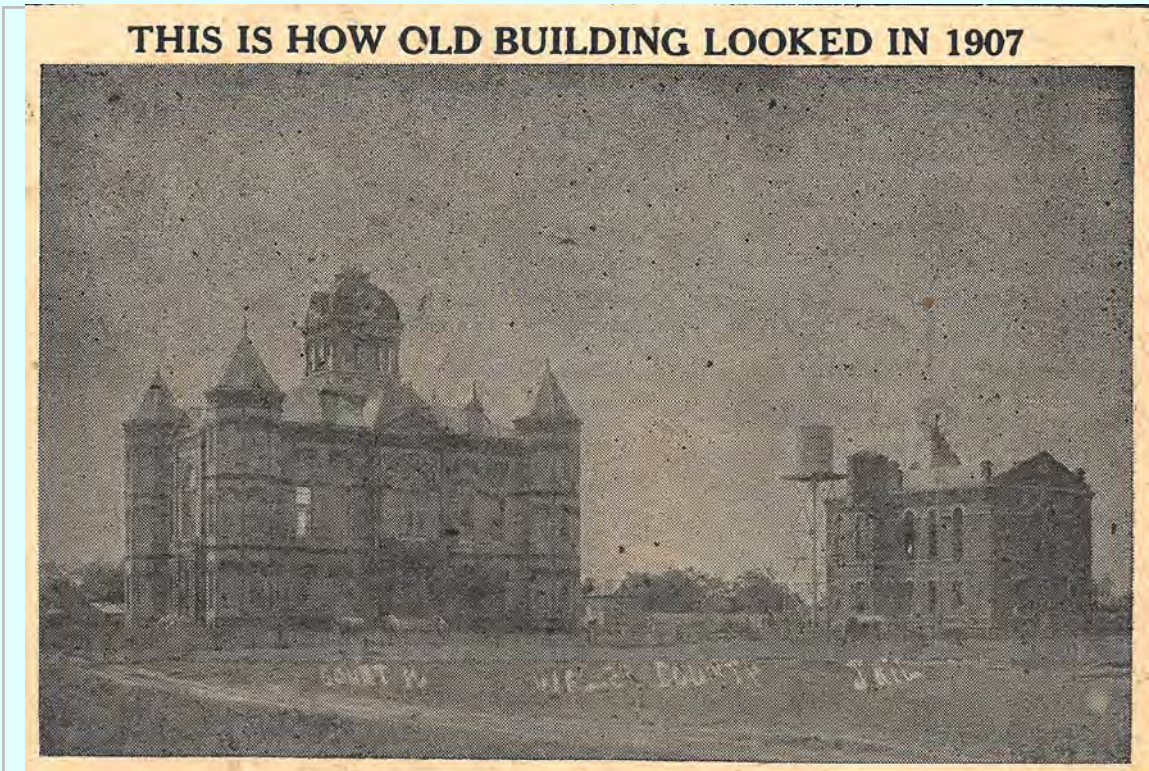


Photo: Photo of 1894 courthouse in 1907, circa 1954 newspaper article



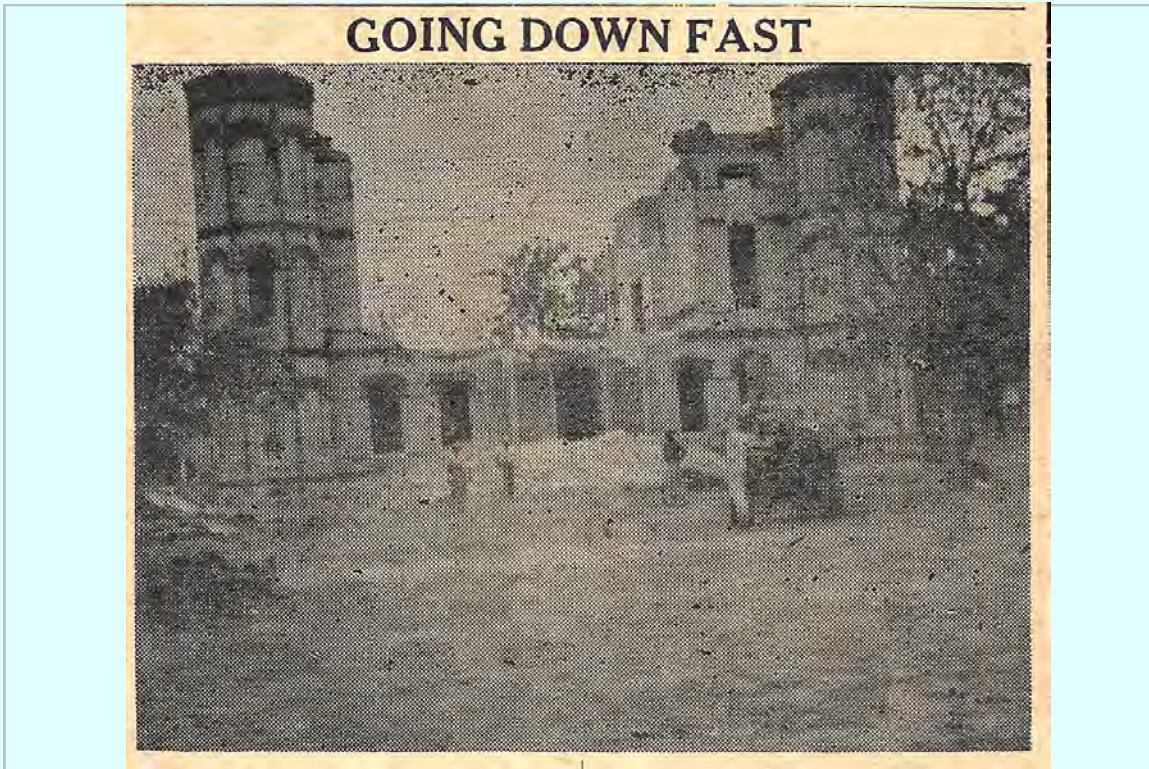


Photo: Photo of 1894 courthouse being demolished, circa 1954

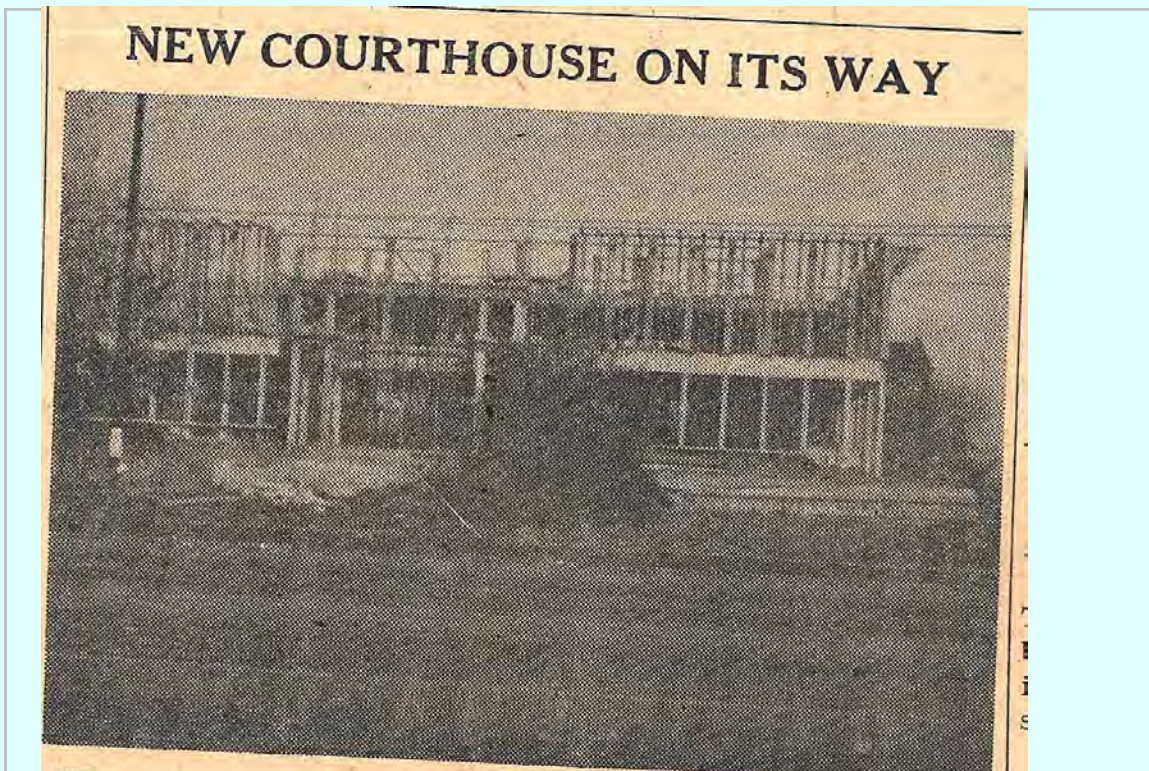


Photo: Photo of 1955 courthouse in construction, circa 1954



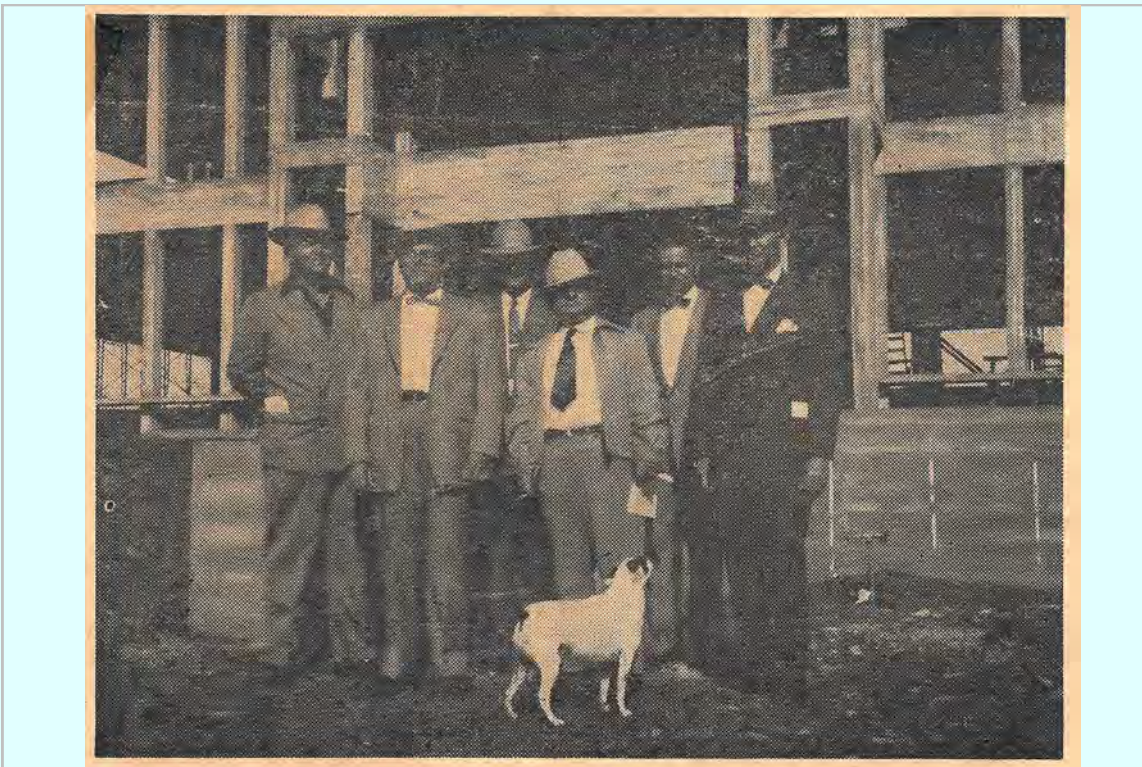


Photo: Photo of 1955 courthouse, circa January 1955



Photo: Photo of 1955 courthouse in construction, circa March 1955



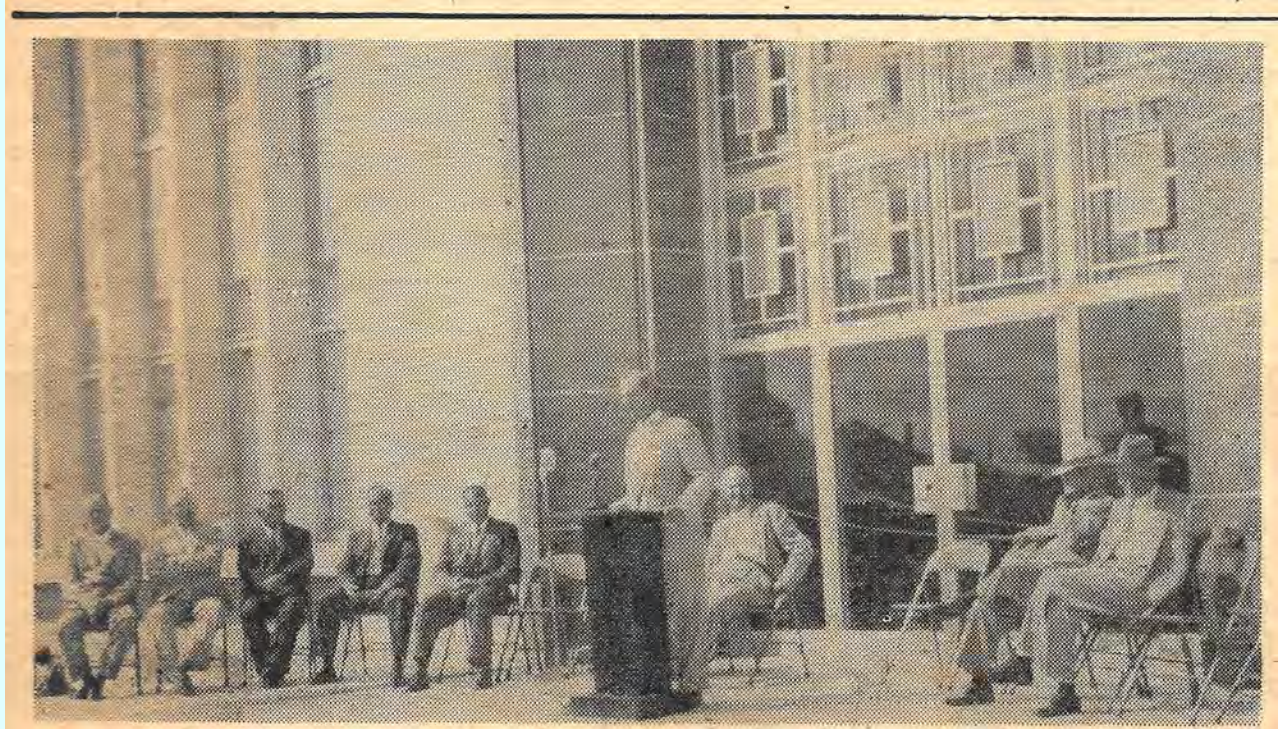


Photo: Photo of 1955 courthouse, circa September 1955



Photo: Photo of 1955 courthouse in construction, circa 1958





Photo: Rendering of 1955 Courthouse

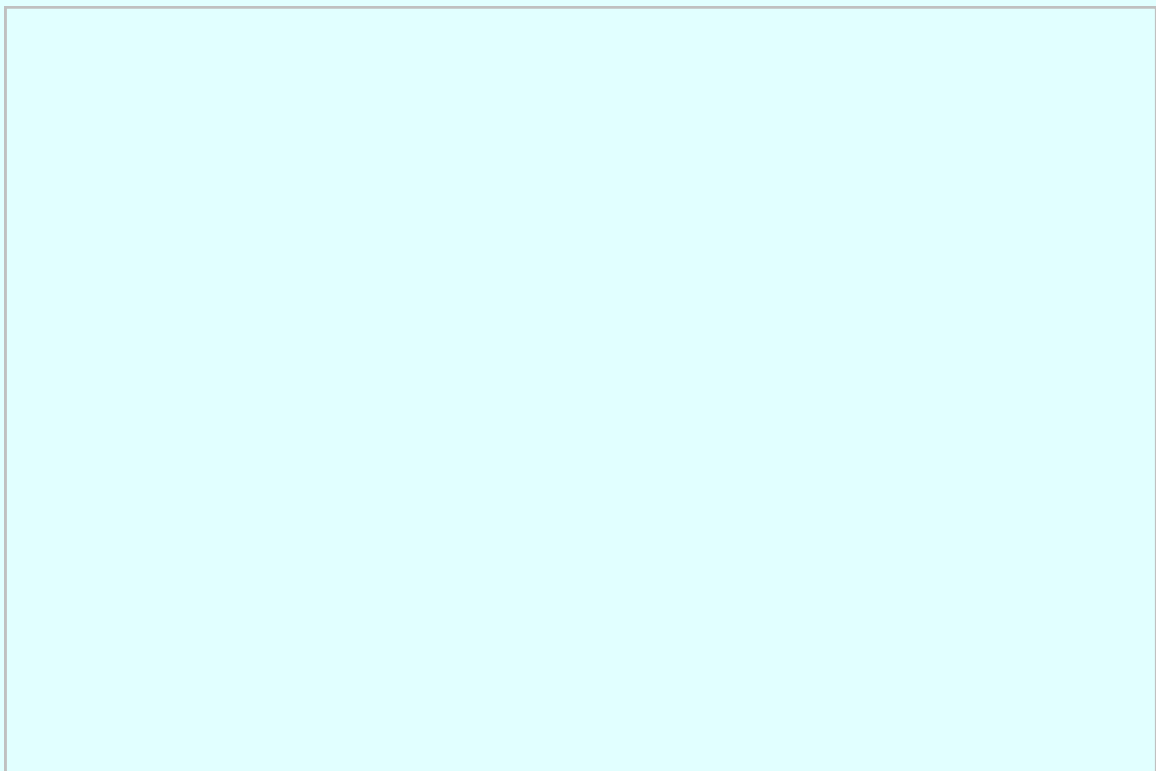


Photo:



## **C. EXISTING CONDITION PHOTO INDEX**



Photo: Looking North East

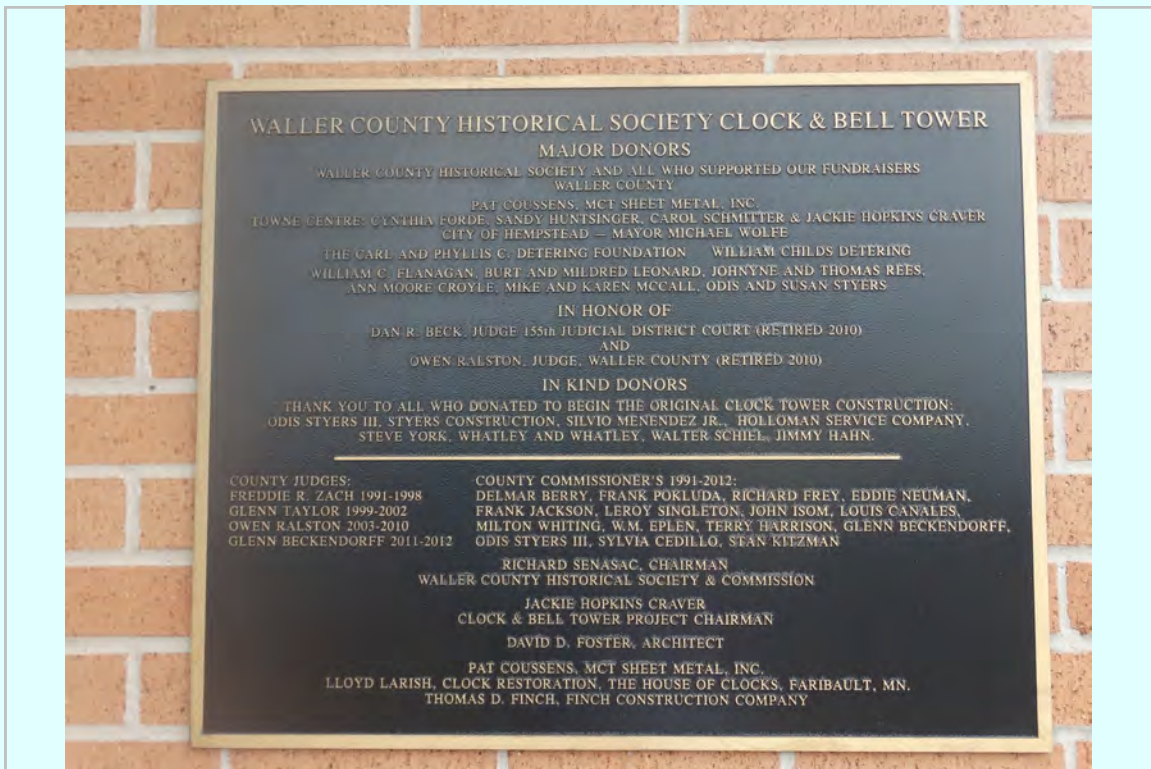


Photo: Historical Plaque to the Clock and Bell Tower of the Original Courthouse



Photo: Restoration and New construction of clock and bell tower



Photo: Clock and Bell Tower Base





Photo: Southside, looking North West



Photo: Looking towards the veteran memorial from the edge of the square



Photo: Southeast corner looking North



Photo: Looking towards the veteran memorial from the edge of the square





Photo: South entry East retaining wall and erosion



Photo: Site erosion/drainage pot hole





Photo: South entry limestone steps



Photo: Waller County Time capsule





Photo: South entry address marker



Photo: South entry retaining wall planters, coping joints failing and mortar deterioration





Photo: South entry clay pavers condition



Photo: South entry clay paver existing condition





Photo: South entry retaining wall condition



Photo: South entry retaining wall cracking and coping joint failing





Photo: South entry patio stone condition



Photo: South entry patio stone joints failing and moisture staining



Photo: South entry retaining walls at stair juncture failing



Photo: South entry patio stone joints failing and moisture staining and cracking





Photo: South entry patio stone paver condition



Photo: South entry retaining wall and erosion





Photo: South west retaining wall lawn

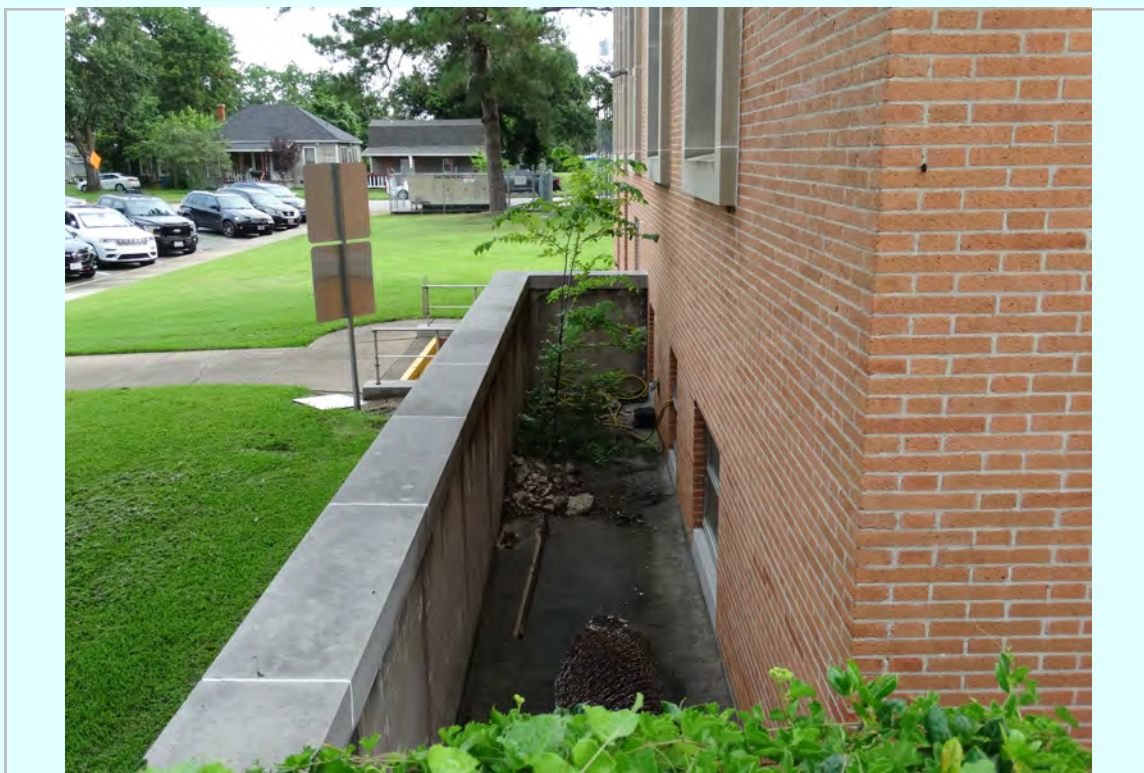


Photo: West entry retaining wall at light wells





Photo: South west lawn area drain



Photo: South entry East retaining wall outside corner, failing





Photo: Similar era structure at property north of the square



Photo: Dedication plaque





Photo: Monument

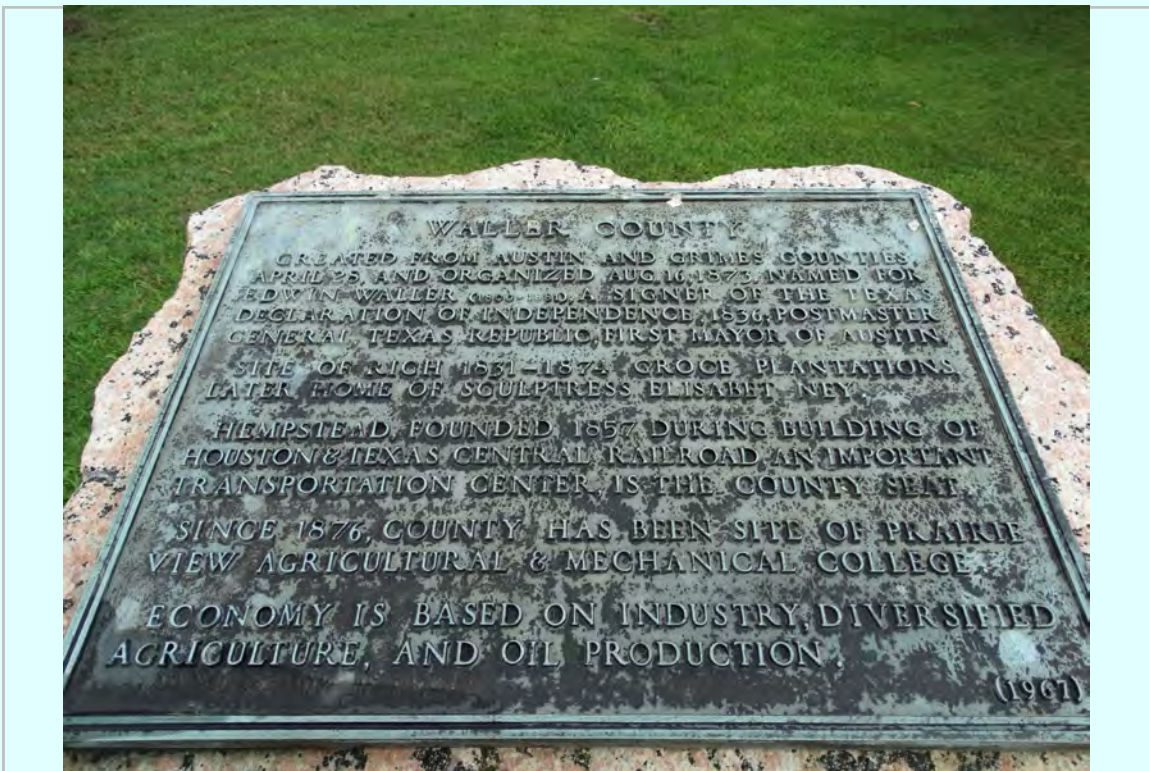


Photo: Monument plaque





Photo: Wood utility yard fencing



Photo: Utility Yard





Photo: Mechanical Yard at north west corner of square

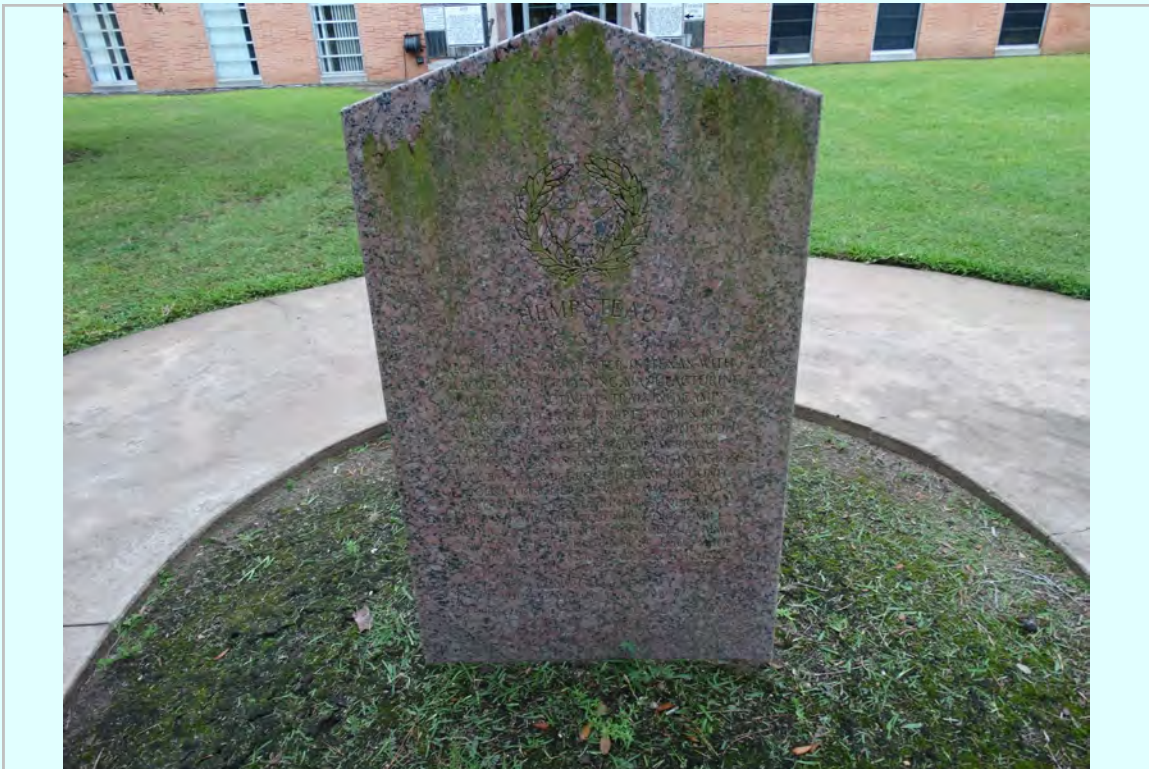


Photo: Existing Monument





Photo: THC marker for Waller County Post Offices



Photo: Existing light standard from circa 1955





Photo: Modifications to light standards



Photo: Remains of a light standard, circa 1955





Photo: Modifications to light poles,



Photo: Light post arms



Photo: Light post labels

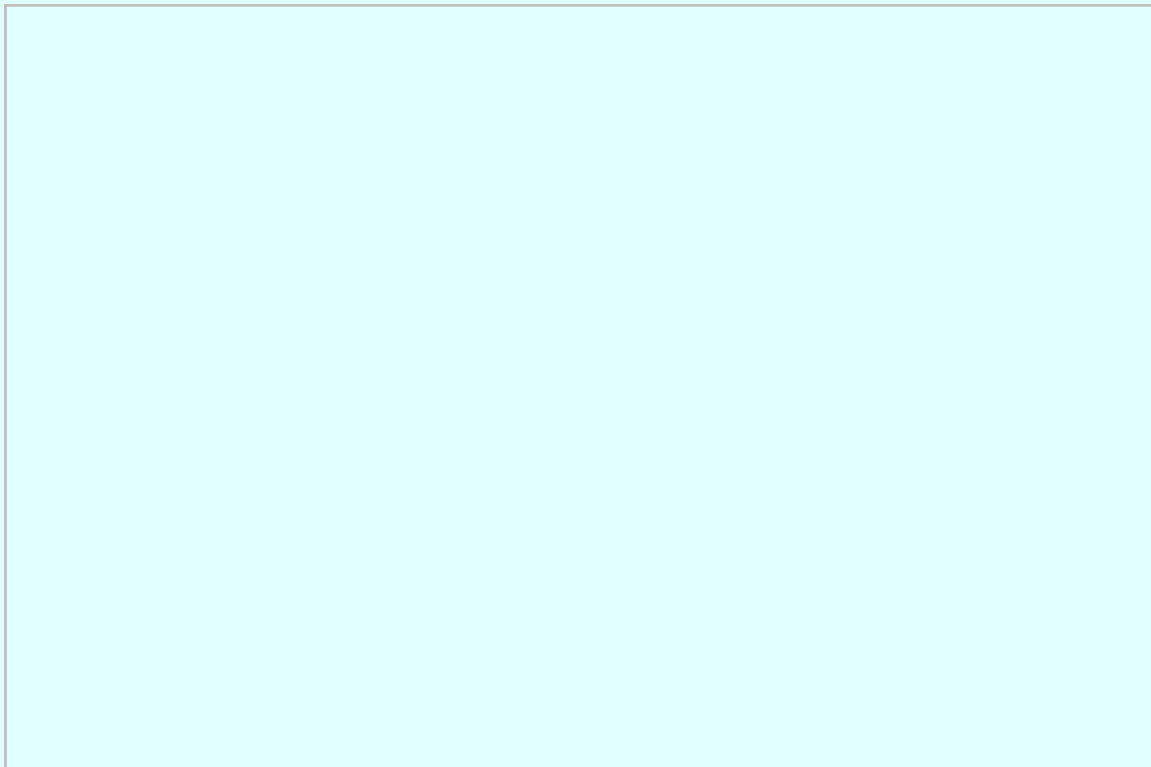


Photo:





**Photo:** North Elevation



**Photo:** North Elevation



**Photo:** North Elevation



**Photo:** Deterioration, masonry joint and coping staining





Photo: North Elevation ground floor windows and site erosion



Photo: North Entry Patio



Photo: North entry patio



Photo: North Entry , missing clock, masonry staining



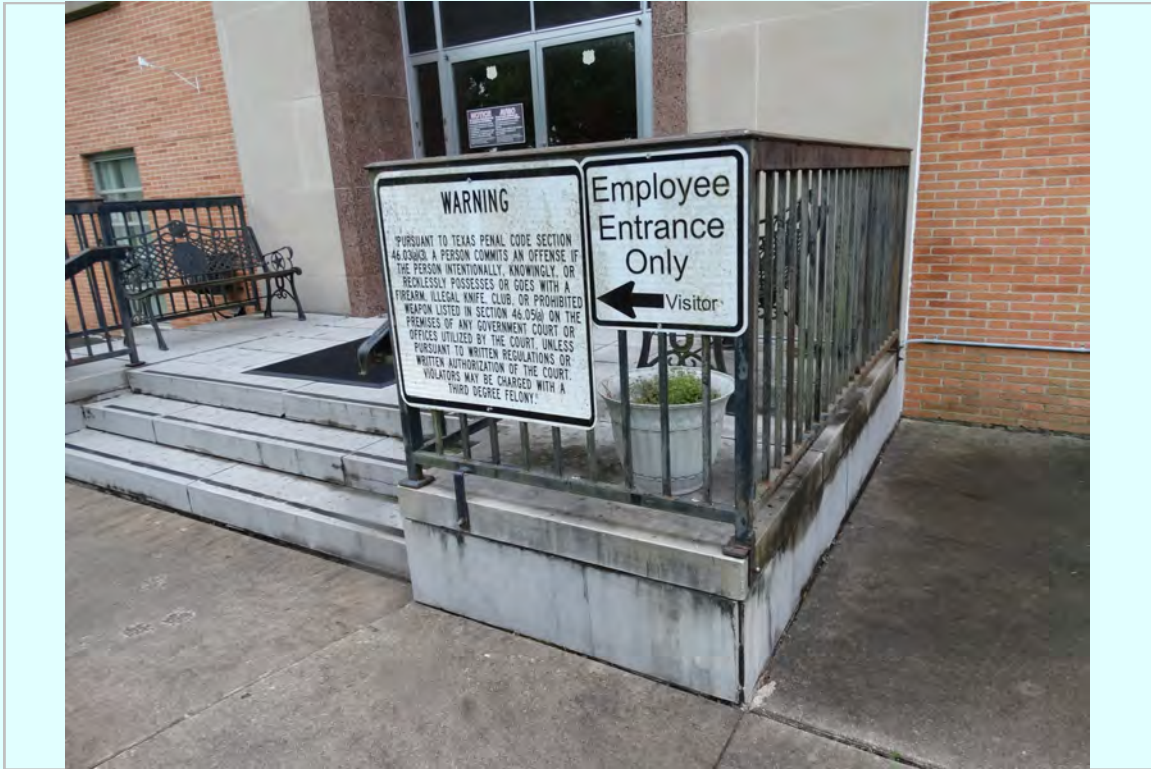


Photo: North entry patio



Photo: North Entry , non compliant railing



Photo: North entry, missing element, coping moisture staining and biological growth

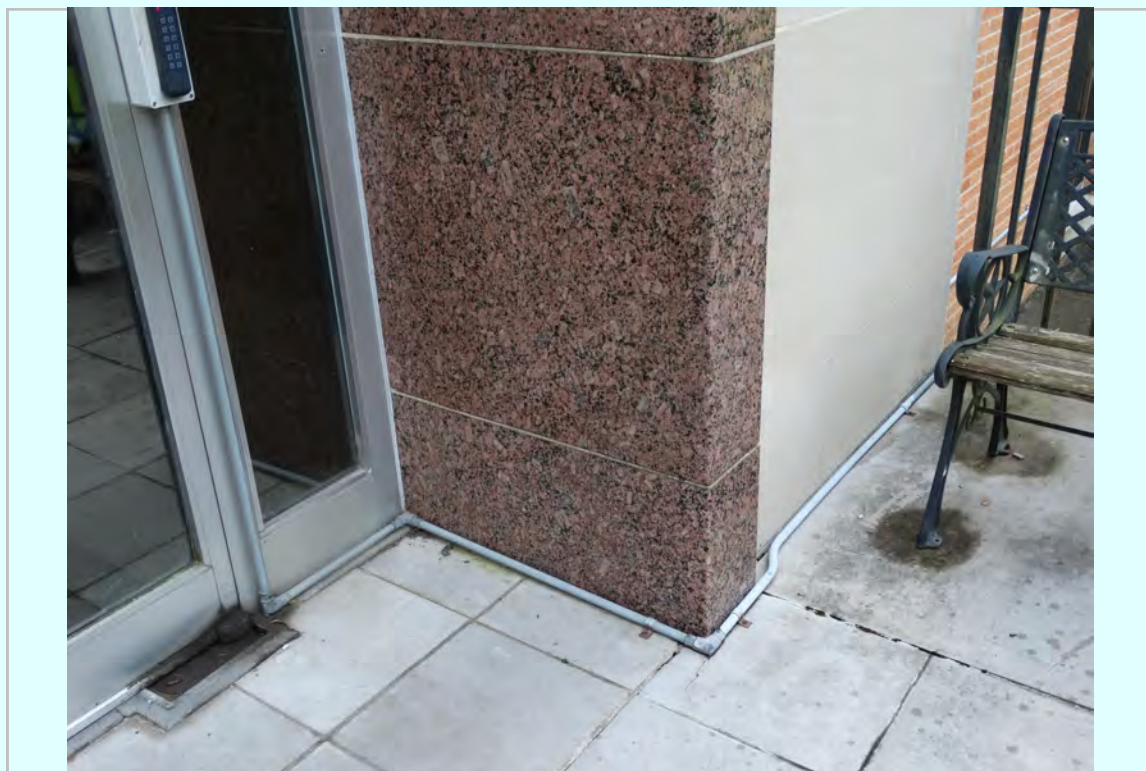


Photo: North Entry , exposed conduit,



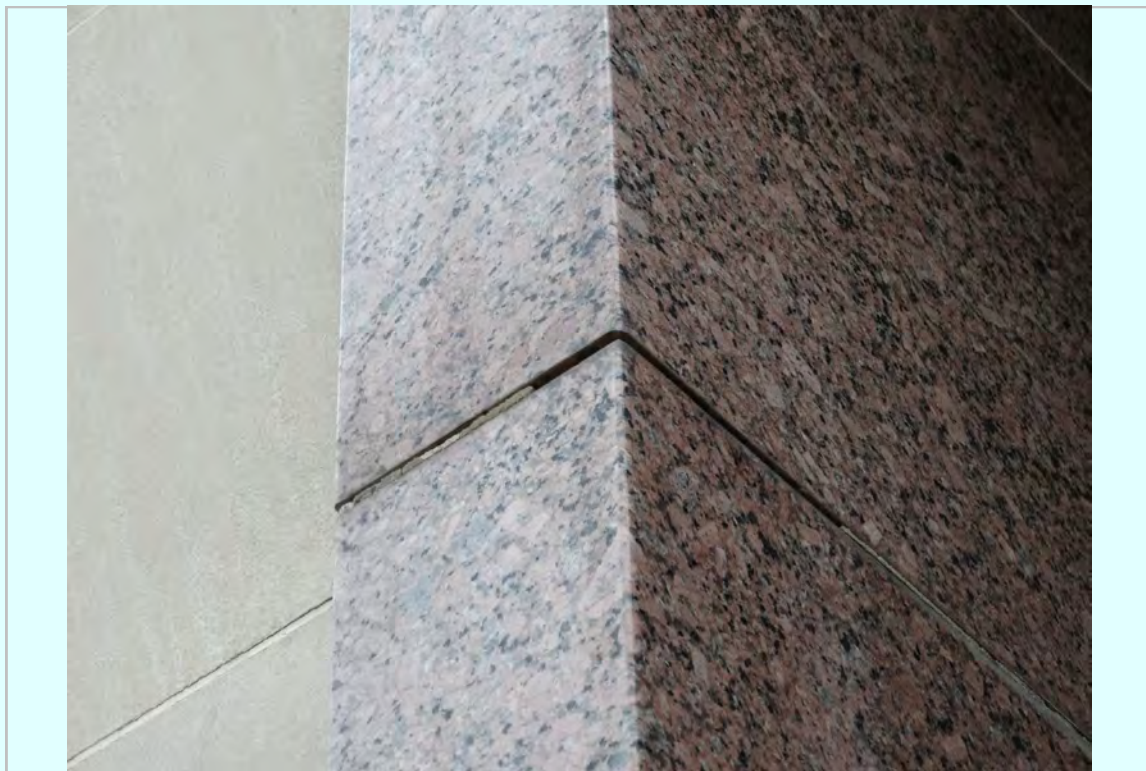


Photo: North entry, mortar deterioration at granite



Photo: North Entry , moisture staining at masonry and biological growth, exposed conduit



Photo: North Elevation



Photo: North Elevation, masonry cracking, mortar joints failing





**Photo:** East Elevation



**Photo:** East Elevation, shelf angle joint deterioration



Photo: East Elevation, ground floor entry



Photo: East Elevation, non original entry canopy, at window sill





Photo: East Elevation, ground floor entry



Photo: East Elevation, thru wall scupper, assuming original

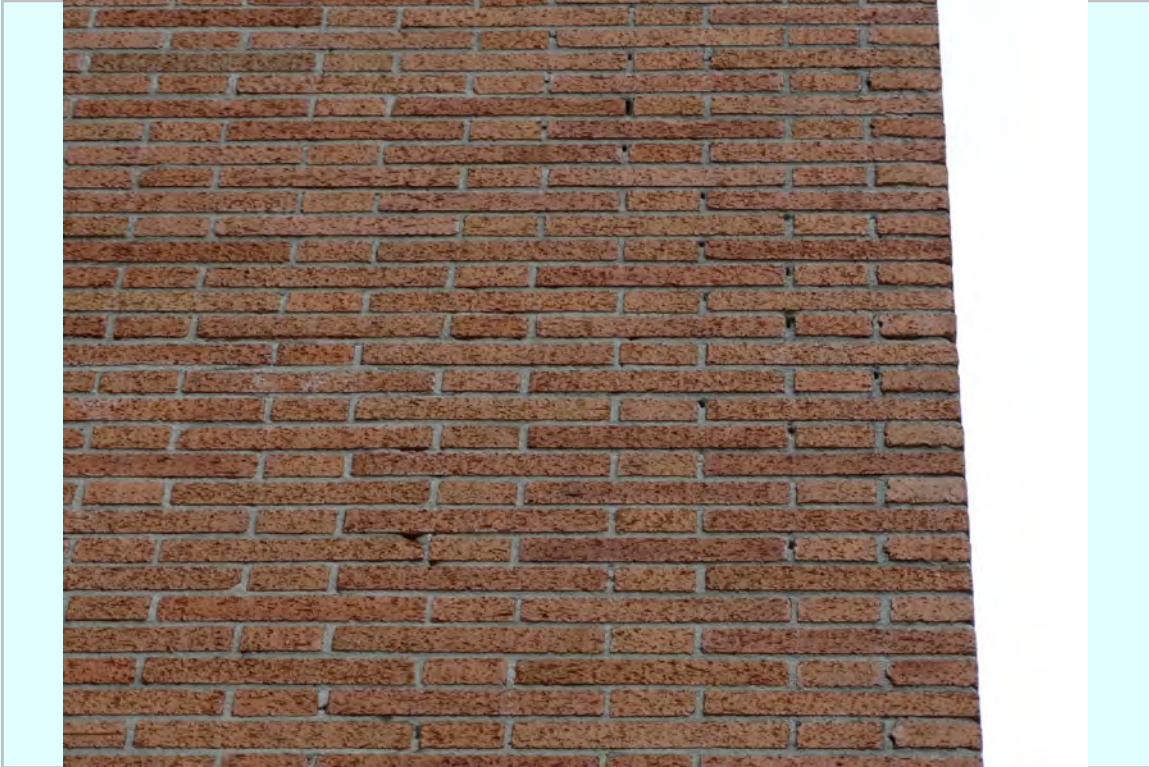


Photo: East Elevation, spandrel panel, assumed original, failing masonry joints



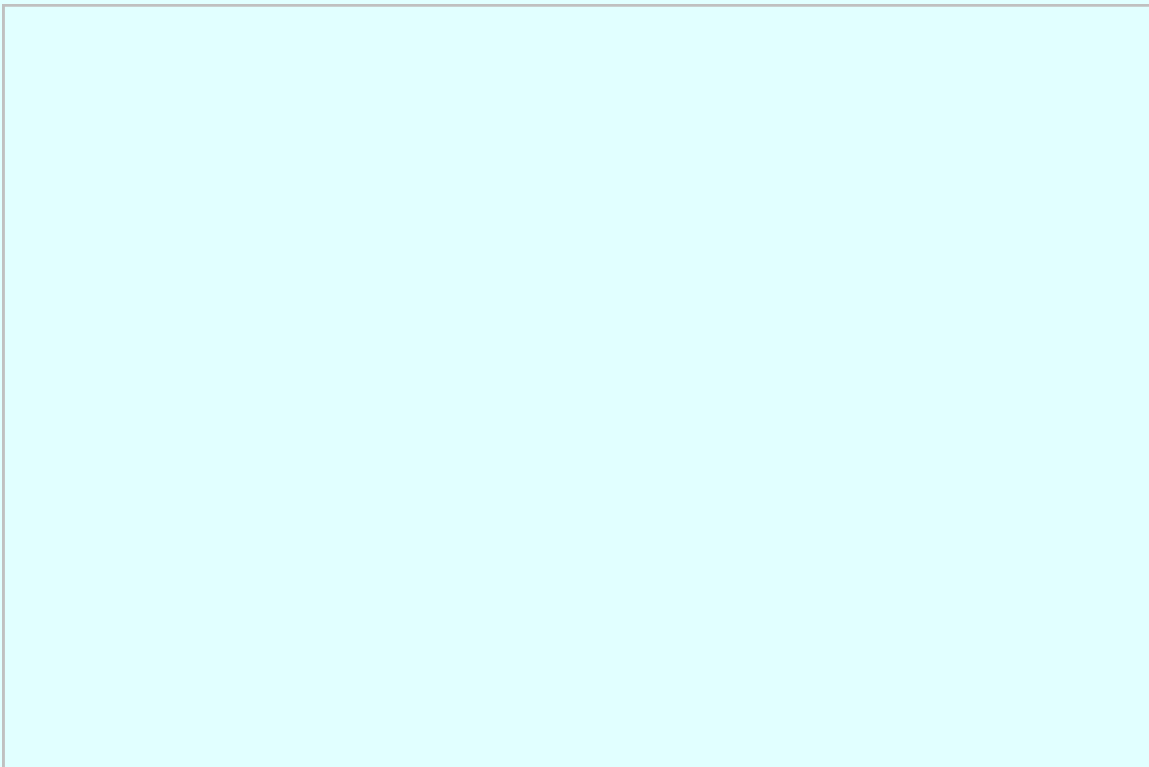
Photo: East Elevation, mortar joint deterioration





**Photo:** East Elevation, mortar joints deterioration

---



**Photo:** Not Used



**Photo:** South Elevation



**Photo:** South Elevation





**Photo:** South Elevation, curtain wall



**Photo:** South Elevation, masonry juncture failing, replacement sealant failing



Photo: South Elevation, masonry mortar failing



Photo: South Elevation, masonry junction failing, replacement sealant failing





Photo: South Elevation, entry detailing



Photo: South Elevation, pink granite mortar joint failing



Photo: South Elevation, entry

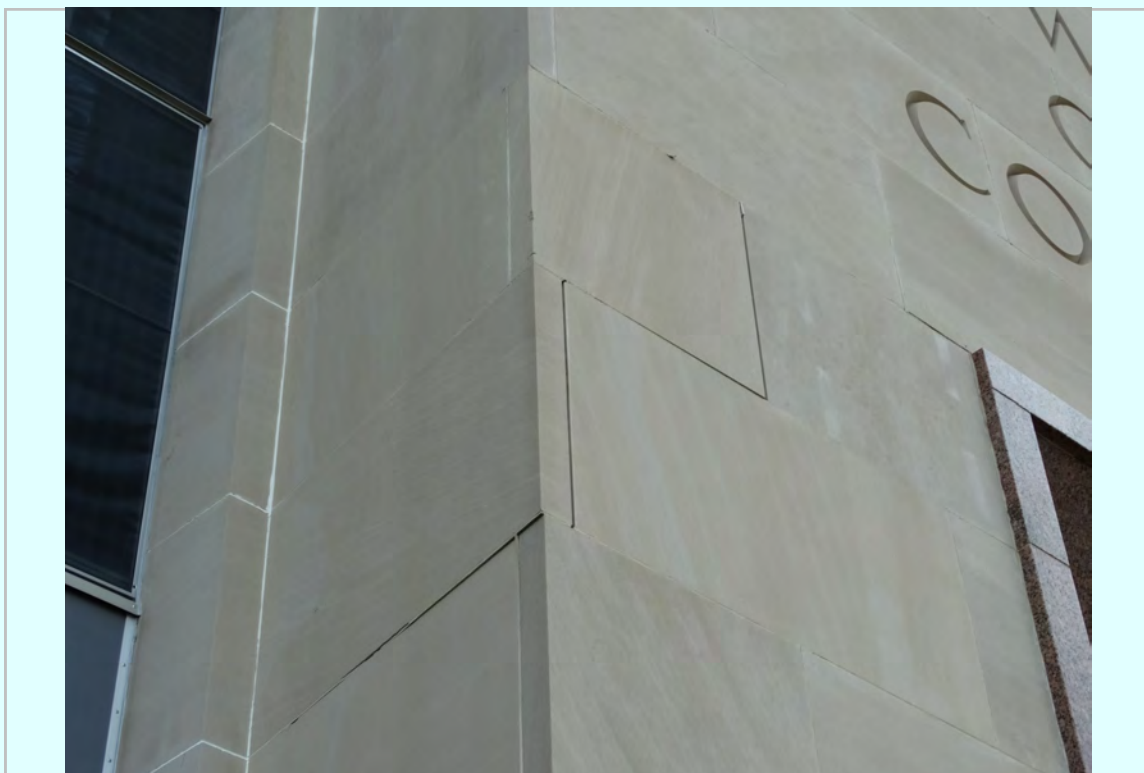


Photo: South Elevation, entry stone joints failing





Photo: South Elevation, entry stone joints failing

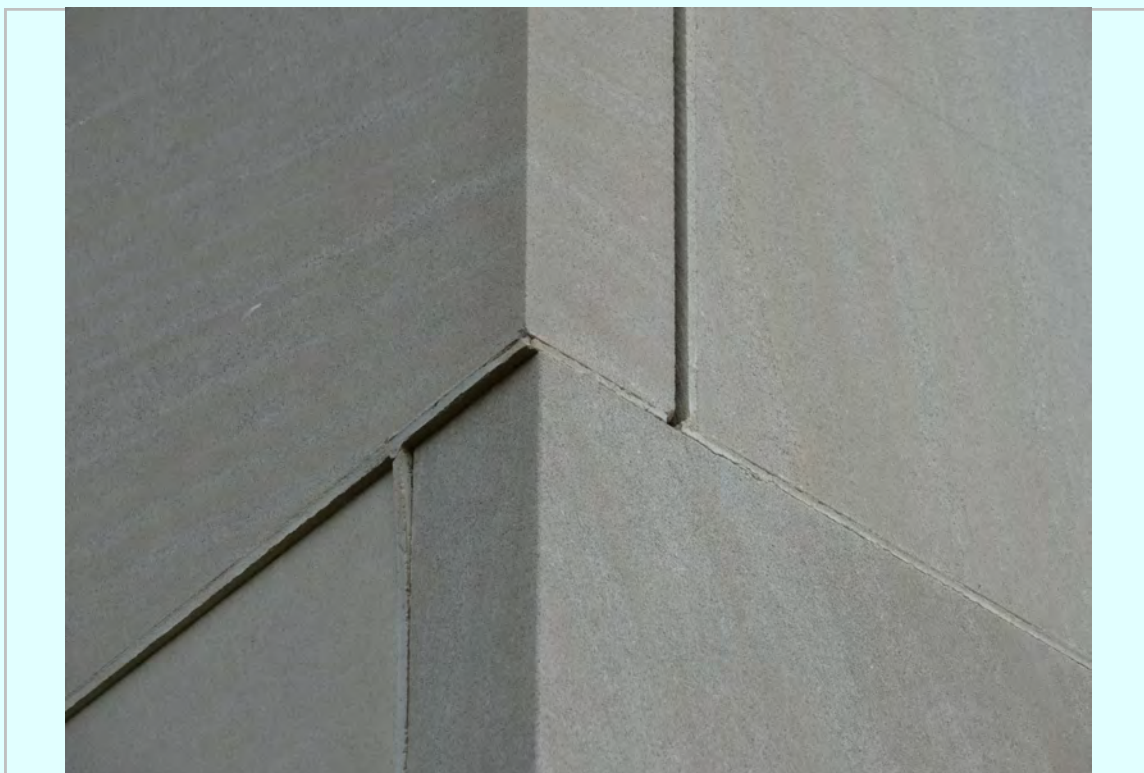


Photo: South Elevation, entry stone joints failing



**Photo:** West Elevation



**Photo:** West Elevation, from across the street





**Photo:** West Elevation



**Photo:** West Elevation, masonry control joint, discolored clay bricks



Photo: West Elevation, entry, non accessible



Photo: West Elevation, retaining wall





Photo: West Elevation, spandrel panel joint mortar replacement

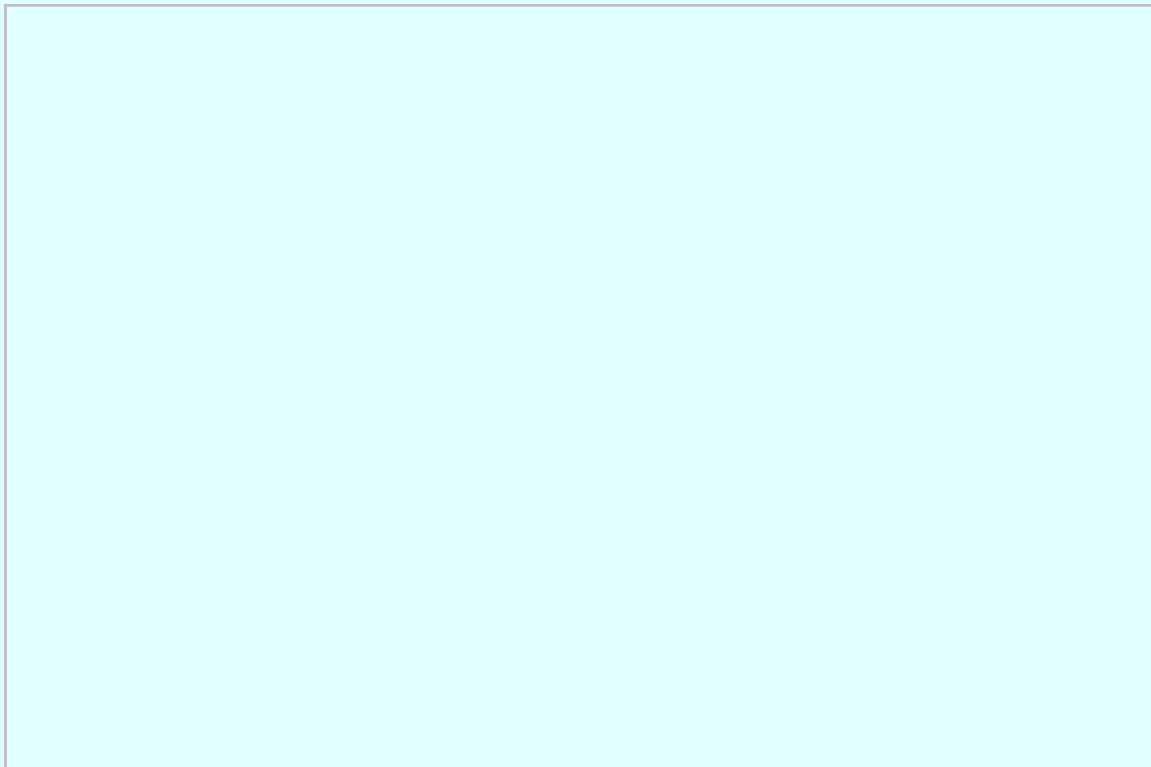


Photo:



Photo: Original Curtain wall entry door



Photo: East elevation aluminum and glass door





Photo: North elevation curtain wall and original glass door entry



Photo: West door from the interior



Photo: South elevation curtain wall from interior



Photo: South entry curtain wall from interior





Photo: North elevation curtain wall from interior

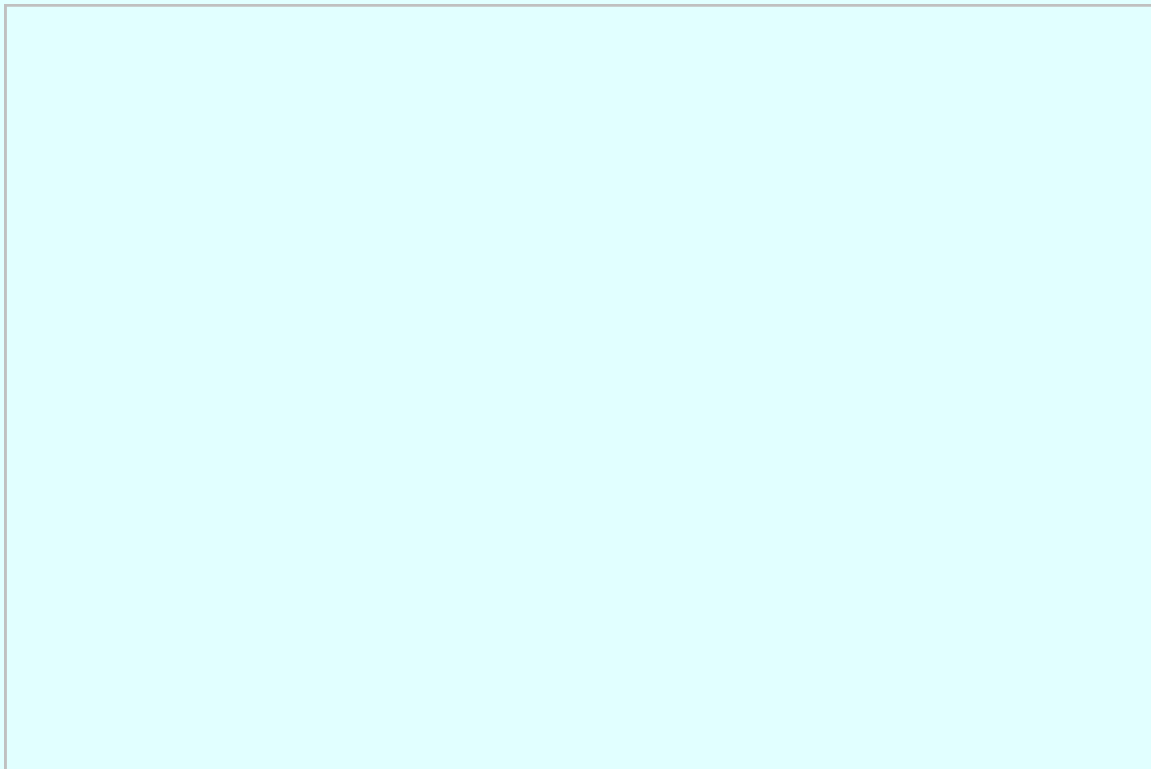
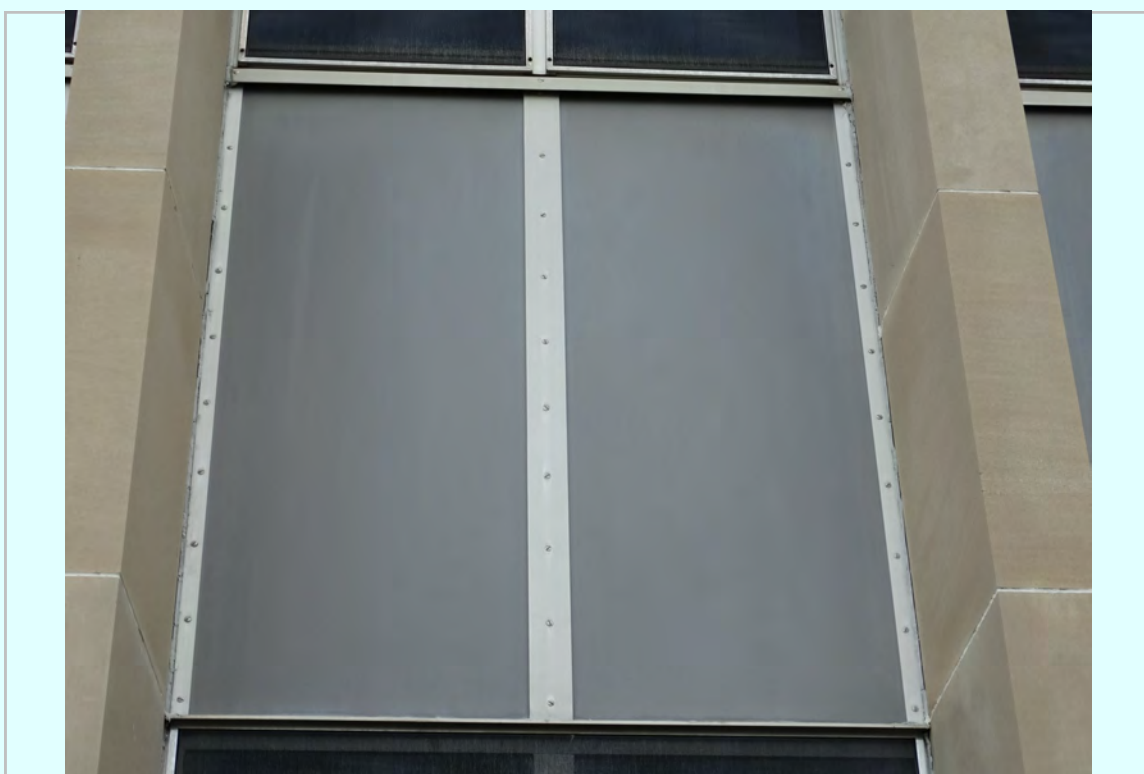


Photo:



**Photo:** Typical Curtain walls at North and South elevations



**Photo:** Typical spandrel detail at curtain wall





Photo: Typical screens and stone condition at curtain wall

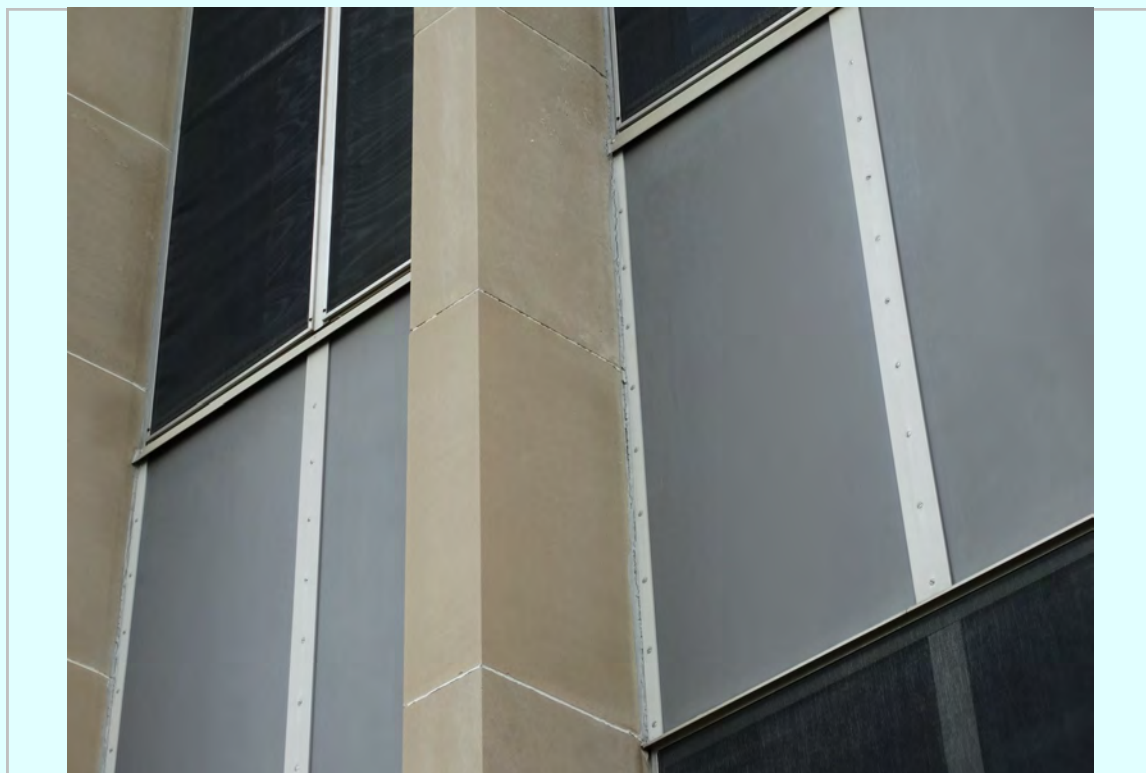


Photo: Typical spandrel detail at curtain wall



Photo: South Entry at curtain wall with aluminum screening



Photo: Typical sill condition





Photo: South Entry aluminum screen detailing



Photo: Typical sill condition at certain areas



Photo: 1st floor window existing condition



Photo: 1st floor window existing condition





Photo: 1st floor window existing condition



Photo: 2nd floor window existing condition, stone stool



Photo: 2nd floor existing window pocket



Photo: 2nd floor window existing condition, stone stool





Photo: 2nd floor existing window stool



Photo: 2nd floor window existing condition at jamb





Photo: 2nd floor existing window operator



Photo: 2nd floor window existing condition at operator hardware





Photo: 2nd floor existing window condition



Photo: 2nd floor window existing moisture intrusion



Photo: 2nd floor existing window condition



Photo: 3rd floor existing window at stool





Photo: 3rd floor existing window condition



Photo: 3rd floor existing window at stool



Photo: 3rd floor existing window condition



Photo: 3rd floor existing window moisture infiltration and damage





Photo: 3rd floor existing window pocket at ceiling



Photo: 4th floor existing window failure and insect infestation



Photo: 4th floor existing skylight

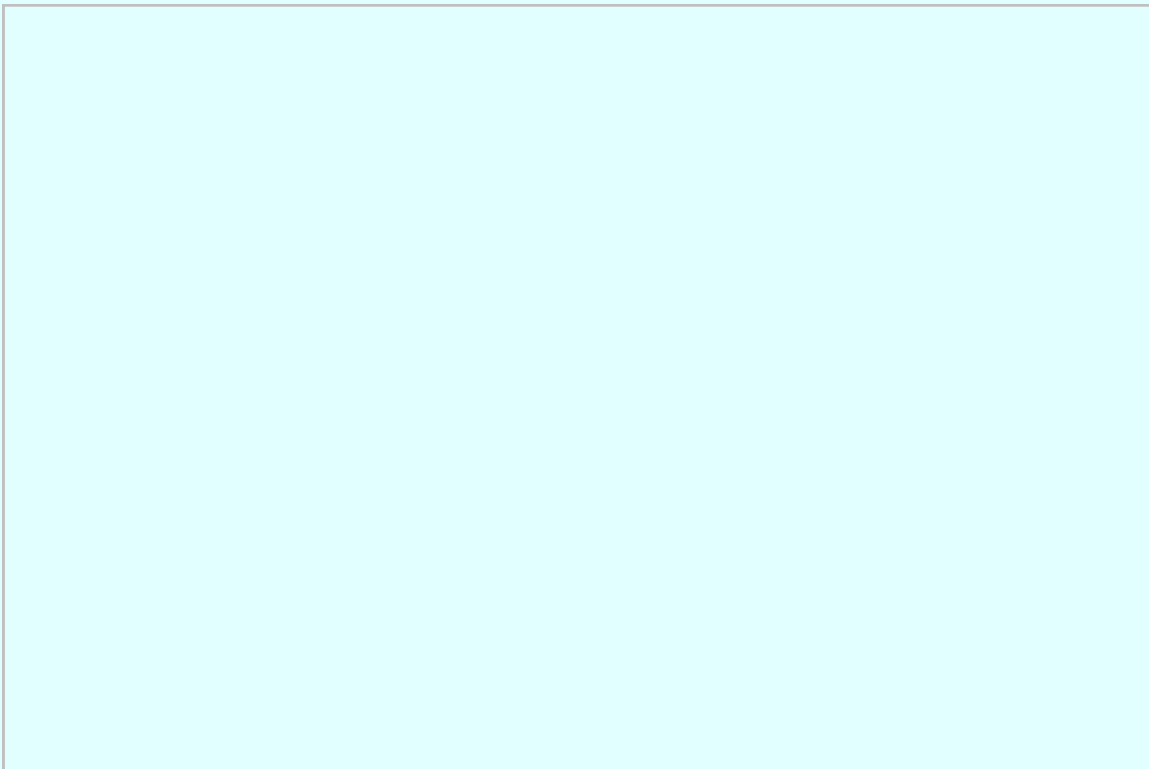


Photo:





Photo: First floor corridor



Photo: First floor plenum and original structure



Photo: First floor corridor



Photo: First floor janitor closet





Photo: First floor typical restroom



Photo: First floor office space



Photo: First floor office space



Photo: First floor plenum and possible original ceiling





Photo: First floor office space



Photo: First floor office space



Photo: First floor office space



Photo: First floor office circulation space





Photo: First floor storage space



Photo: First floor office HVAC improper supply vent, missing grille



Photo: First floor storage



Photo: First floor office space





Photo: First floor ceiling moisture damage and biological growth



Photo: First floor corridor



Photo: First floor access to central stair

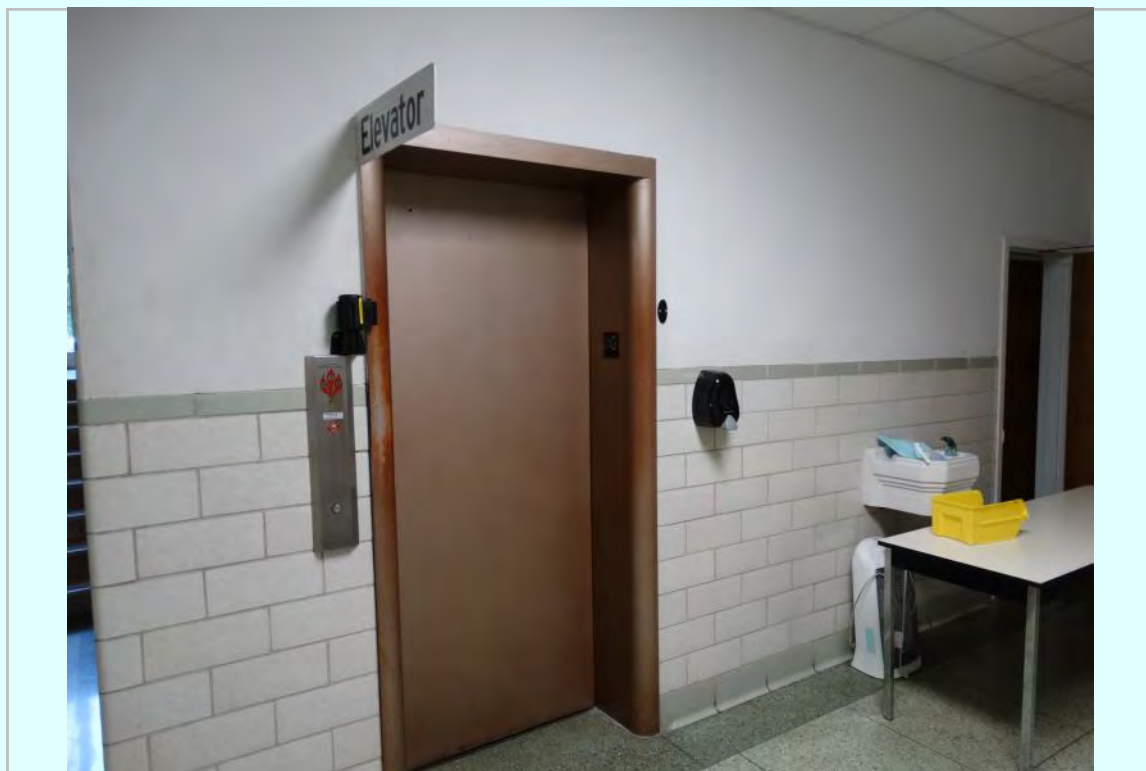


Photo: First floor elevator door





Photo: First floor corridor

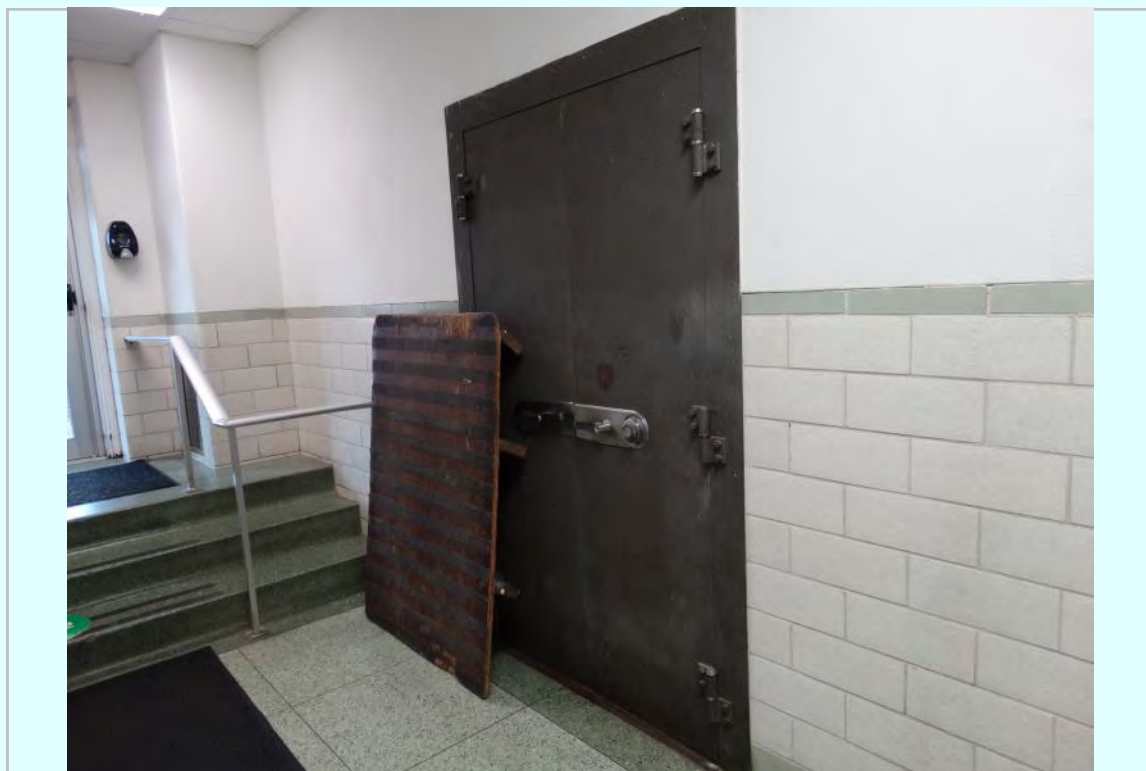


Photo: First floor vault door



Photo: First floor meeting space



Photo: First floor meeting space, opposite side





Photo: Mezzanine lobby ceiling, damage and supply vent rusting



Photo: Mezzanine lobby ceiling damage



Photo: Mezzanine lobby terrazzo floor



Photo: Mezzanine lobby entrance to office





Photo: Mezzanine office entry



Photo: Mezzanine office, damage at window jamb



Photo: Mezzanine office space



Photo: Mezzanine office, private stair down to storage below





Photo: Mezzanine office space



Photo: Mezzanine office, private stair down to storage below

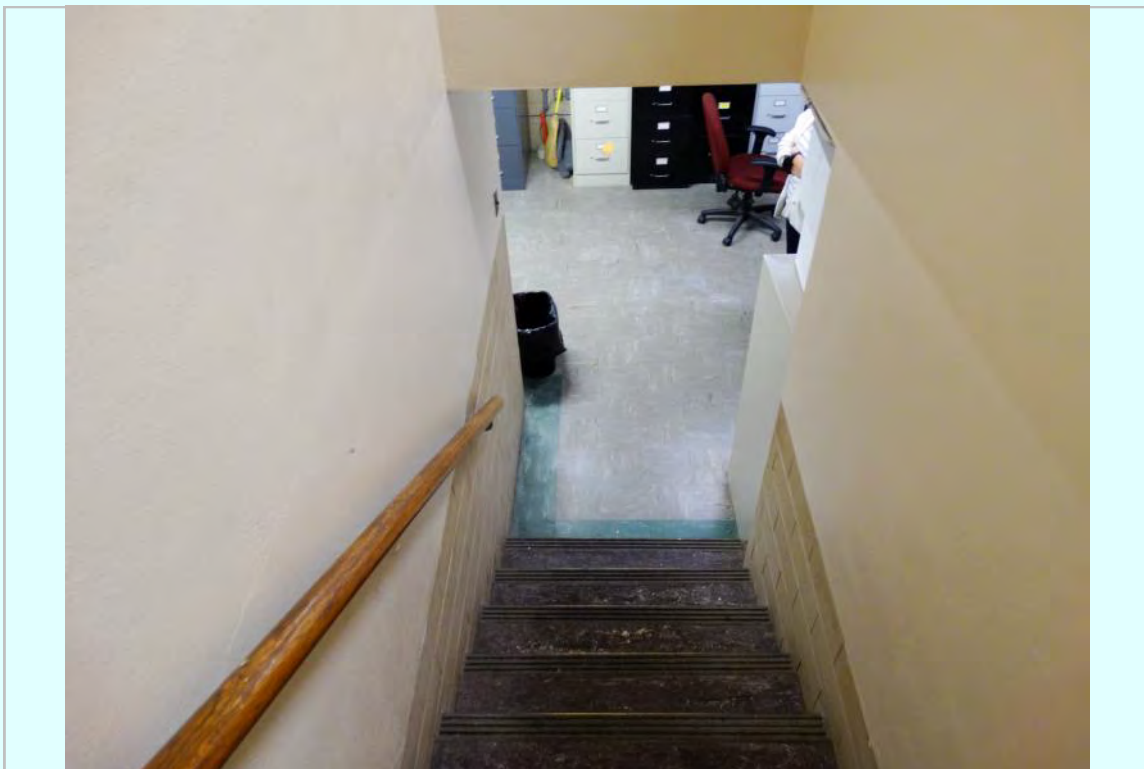


Photo: Private stair down to storage below



Photo: Extreme moisture damage at ceiling in storage space below County Auditor





Photo: Severe moisture damage at ceiling in storage space below County Auditor



Photo: Severe moisture damage at ceiling in storage space below County Auditor



Photo: Mezzanine Level to County Clerk Office



Photo: Door detailing





Photo: Mezzanine Level to County Clerk Office pivot door detailing



Photo: County Clerk office wall damage and poor repairs



Photo: Mezzanine Level to County Clerk Office space



Photo: County Clerk office space and private stairs





Photo: County Clerk private stairs and vault door to storage below



Photo: County Clerk office space and private stairs



Photo: County Clerk storage below and mechanical equipment

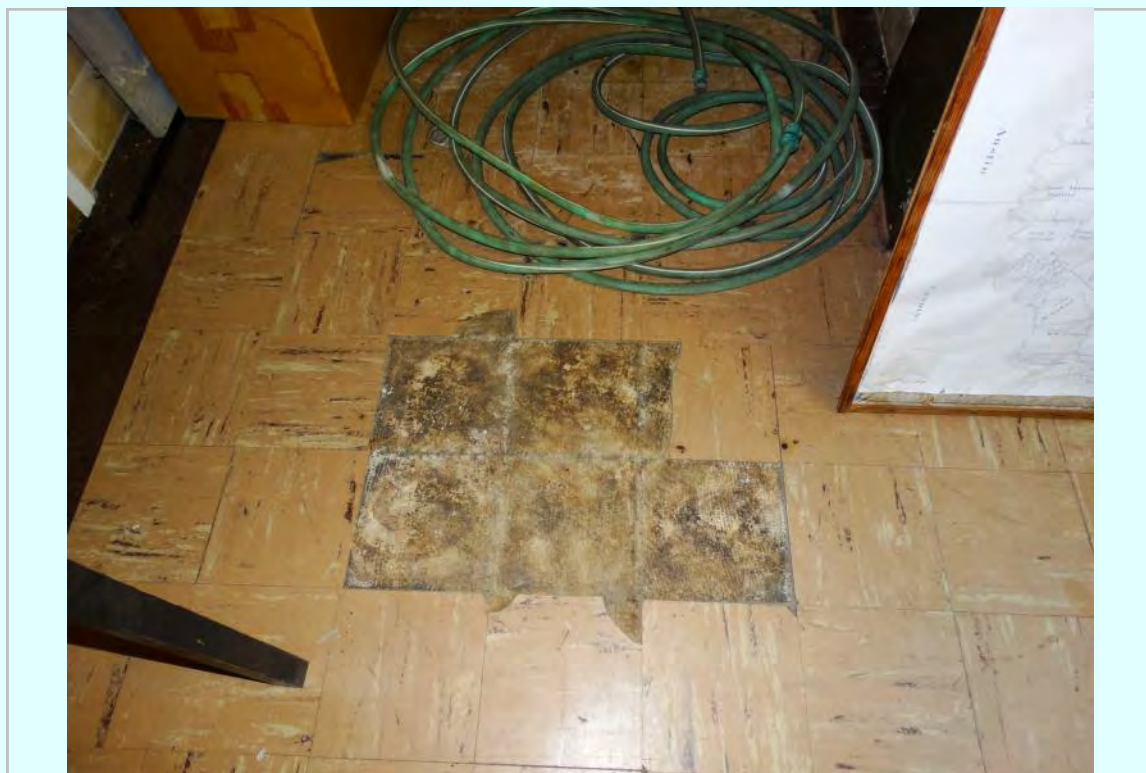


Photo: Storage space below County Clerk floor damage and possible asbestos





Photo: Storage space below County Clerk



Photo: Storage space below County Clerk , typical ceiling



Photo: Storage space below County Clerk, window security panels



Photo: Storage space below County Clerk , ceiling damage, from moisture





Photo: Storage space below County Clerk, rust from moisture damage



Photo: Storage space above County Clerk from half level



Photo: Storage space above County Clerk , moisture damage from HVAC



Photo: Storage space above County Clker





Photo: Second floor corridor

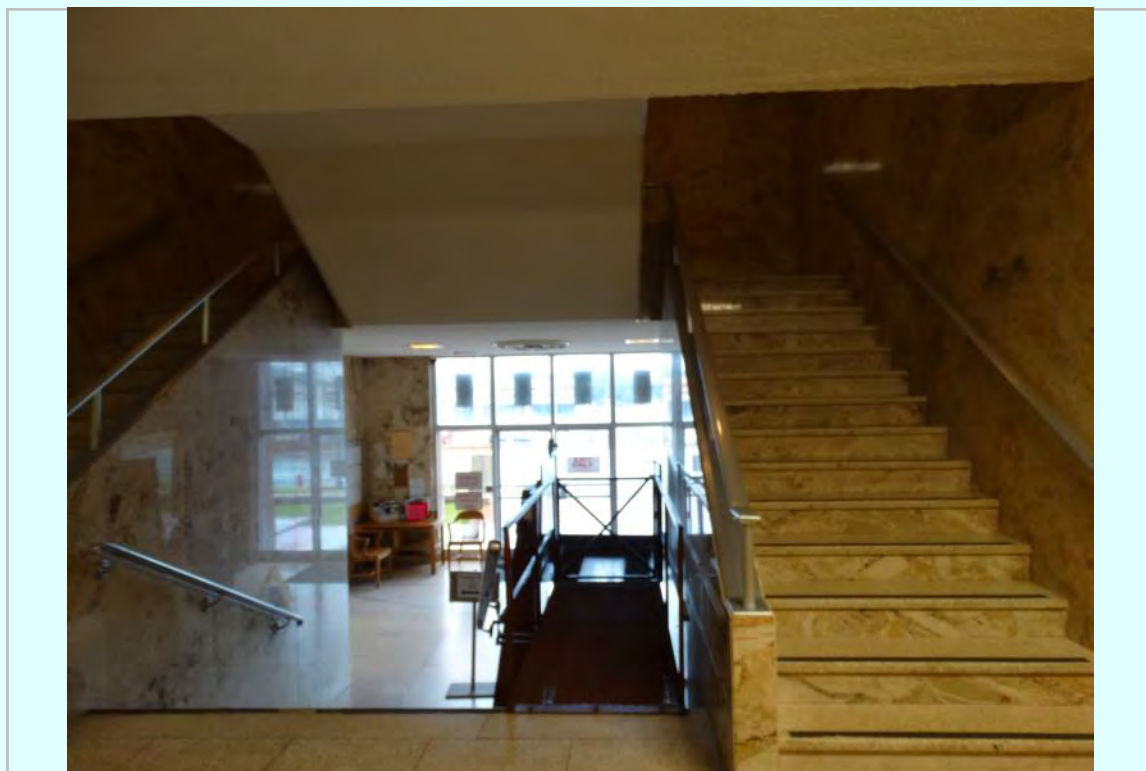


Photo: Second floor central stair access and stair down to mezzanine level



Photo: Second floor corridor

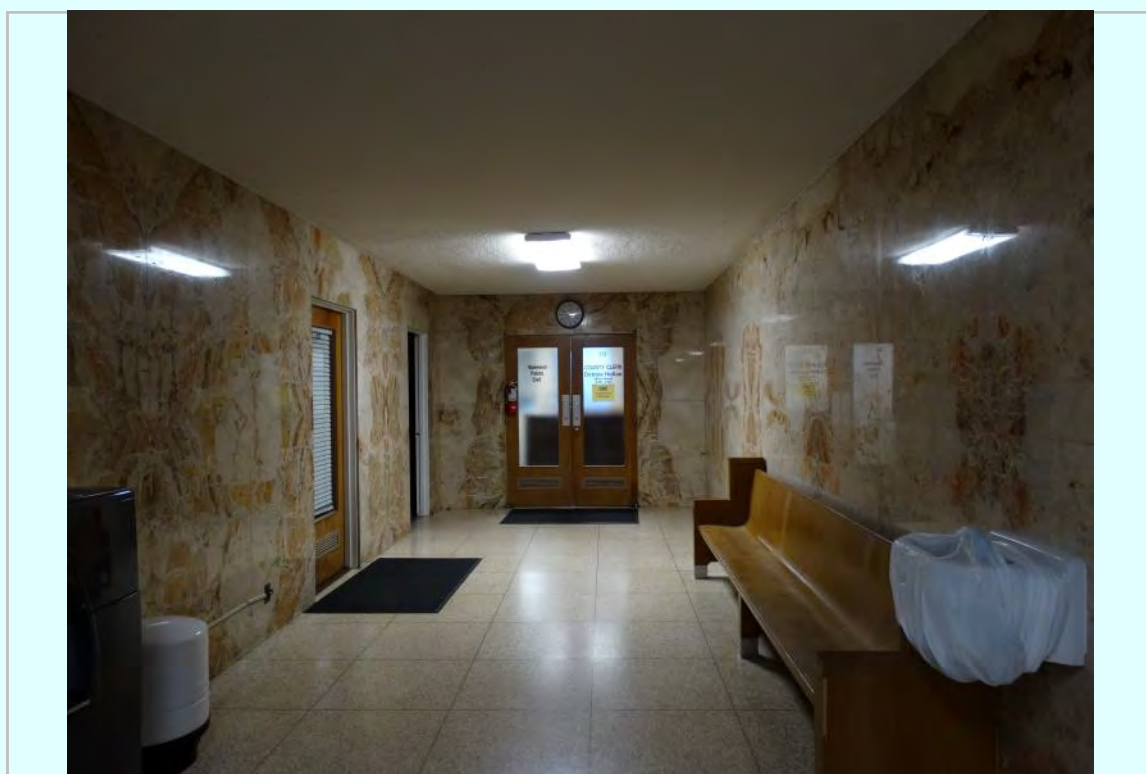


Photo: Second floor corridor





Photo: Second floor corridor door pivot hinges

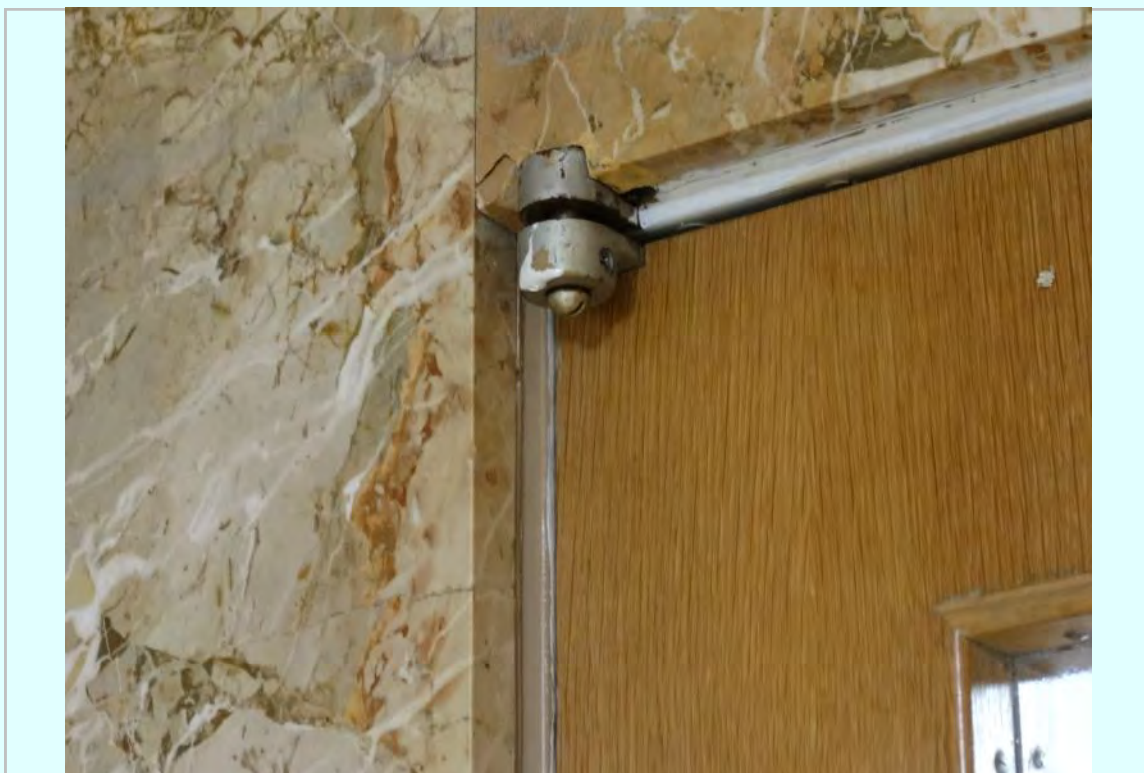


Photo: Second floor door pivot hinges



Photo: Second floor corridor natural stone book matched slabs



Photo: Second floor original courtroom doors





Photo: Second floor courtroom



Photo: Second floor courtroom



Photo: Second floor courtroom Commissioners Bench platform



Photo: Second floor Commissioners courtroom





Photo: Second floor courtroom bench seating



Photo: Second floor Commissioners courtroom moisture damage in outside corner



Photo: Third floor corridor



Photo: Third floor corridor





Photo: Third floor door into County Courtroom



Photo: County Courtroom



Photo: County Courtroom



Photo: County Courtroom





Photo: County Courtroom



Photo: County Courtroom



Photo: County Courtroom



Photo: County Courtroom jury box





Photo: County Courtroom jury deliberation room



Photo: County Courtroom jury deliberation room damage at windows and soffit



Photo: HVAC supply duct vent into County Court deliberation room



Photo: County Courtroom jury deliberation room restroom





Photo: Third floor office space at back of County Courtroom



Photo: Third floor office space, non original millwork



Photo: Third floor office space at back of County Courtroom

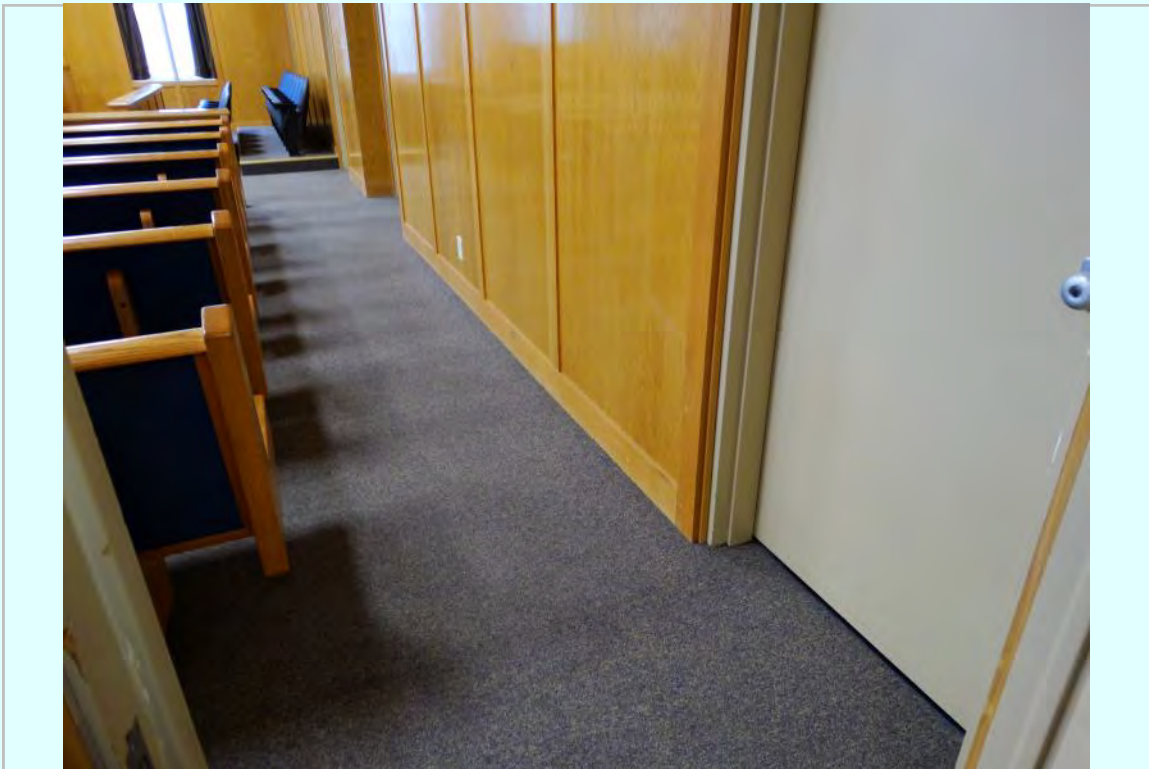


Photo: County Courtroom





Photo: Third floor office space



Photo: Third floor recently renovated office space



Photo: Third floor recently renovated office space



Photo: Third floor recently renovated office space



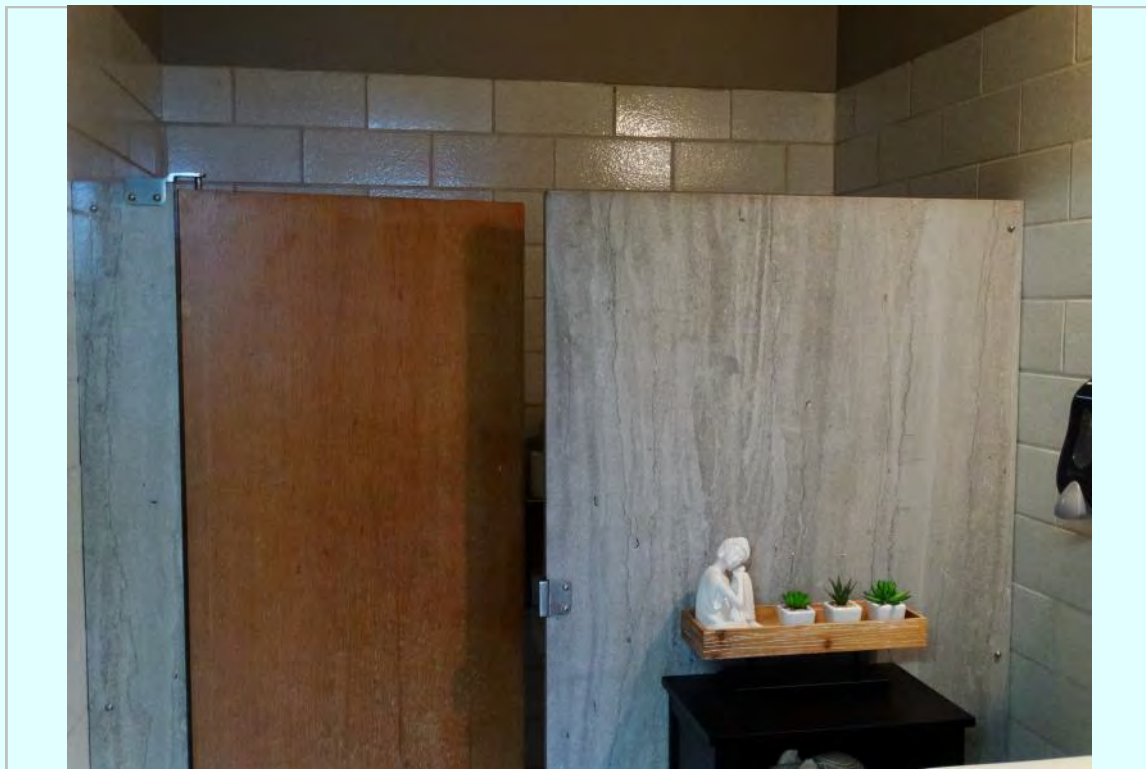


Photo: Third floor office space restroom

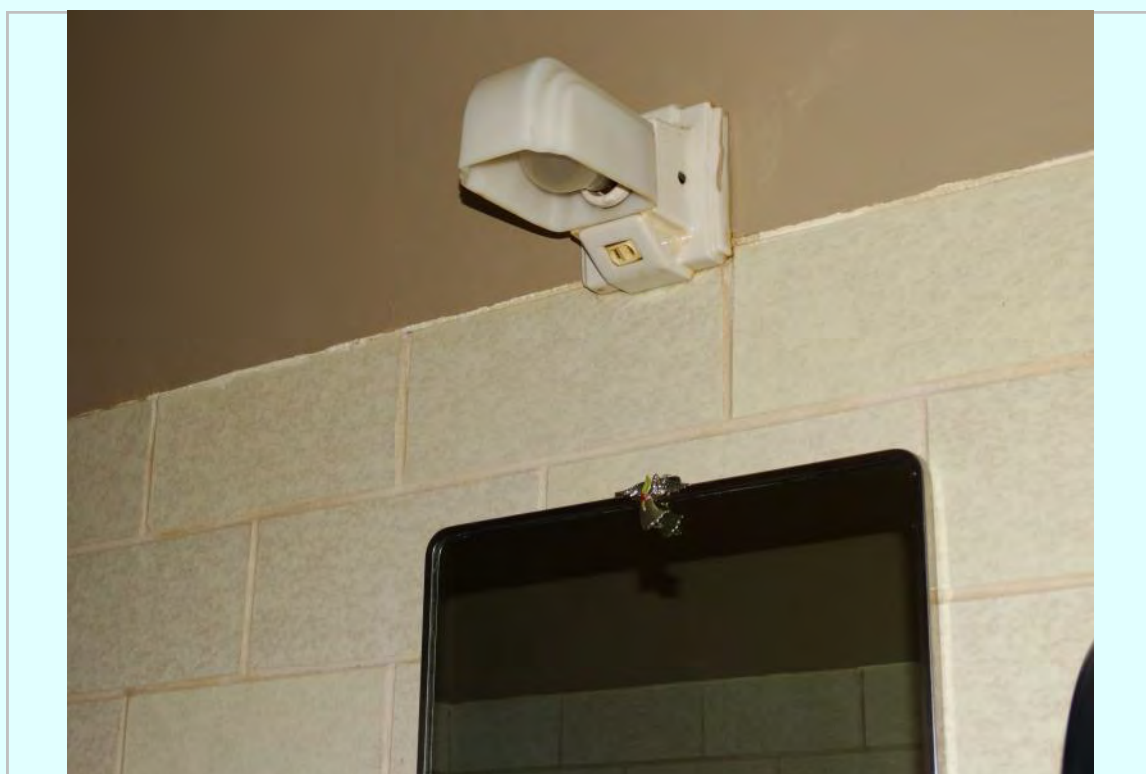


Photo: Third floor restroom possible original fixture



Photo: Third floor private stairs to fourth floor



Photo: Third floor corridor doors





Photo: Third floor office space



Photo: Third floor moisture damage at ceiling, biological growth



Photo: Third floor District Clerk space



Photo: Third floor district clerk space, double volume





Photo: Third floor District Clerk space



Photo: Third floor district clerk space, damage at windows, spalling and cracking



Photo: Third floor corridor moisture damage at ceiling



Photo: Third floor corridor





Photo: Third floor corridor moisture damage at ceiling and supply vent



Photo: Third floor office space, double volume



Photo: Third floor office space

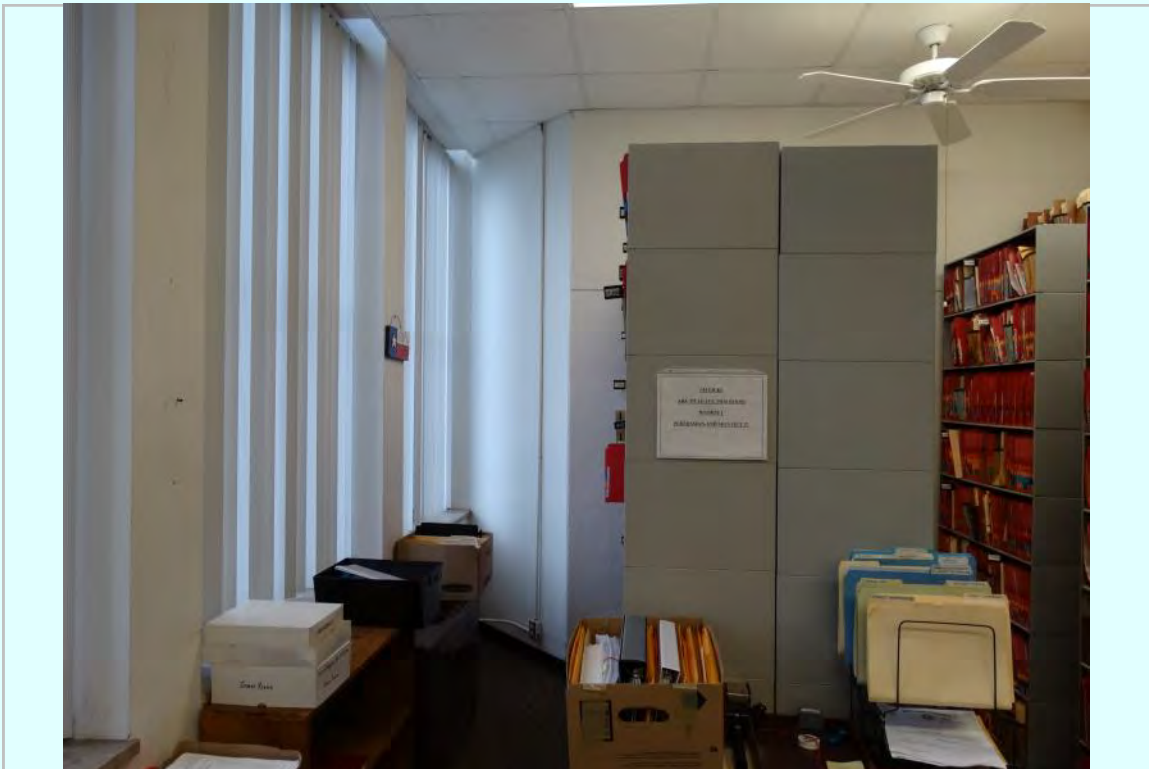


Photo: Third floor office space/storage





Photo: Third floor office space floor transition



Photo: Third floor office space/storage ceiling damage, spalling



Photo: Third floor office space, internal roof drain damaged



Photo: Third floor corridor ceiling damage and staining





Photo: Third floor corridor ceiling damage, biological growth and spalling



Photo: Third floor corridor ceiling damage and staining



Photo: Fourth floor private stairs, possible prisoner stair

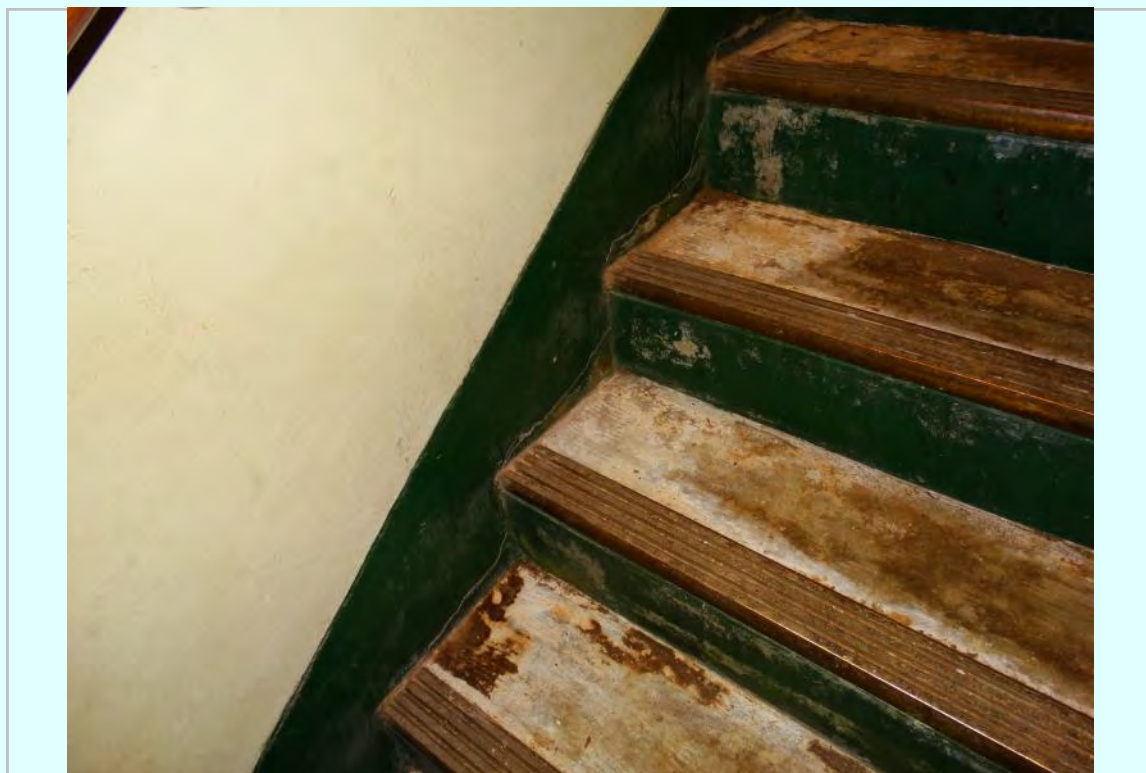


Photo: Fourth floor private stairs, original plaster condition





Photo: Fourth floor private stairs, plaster cracking



Photo: Fourth floor private stairs wall plaster cacking



Photo: Fourth floor storage space



Photo: Fourth floor restrooms being used as storage space





Photo: Fourth floor typical ceiling condition



Photo: Fourth floor damage caused by updating for data

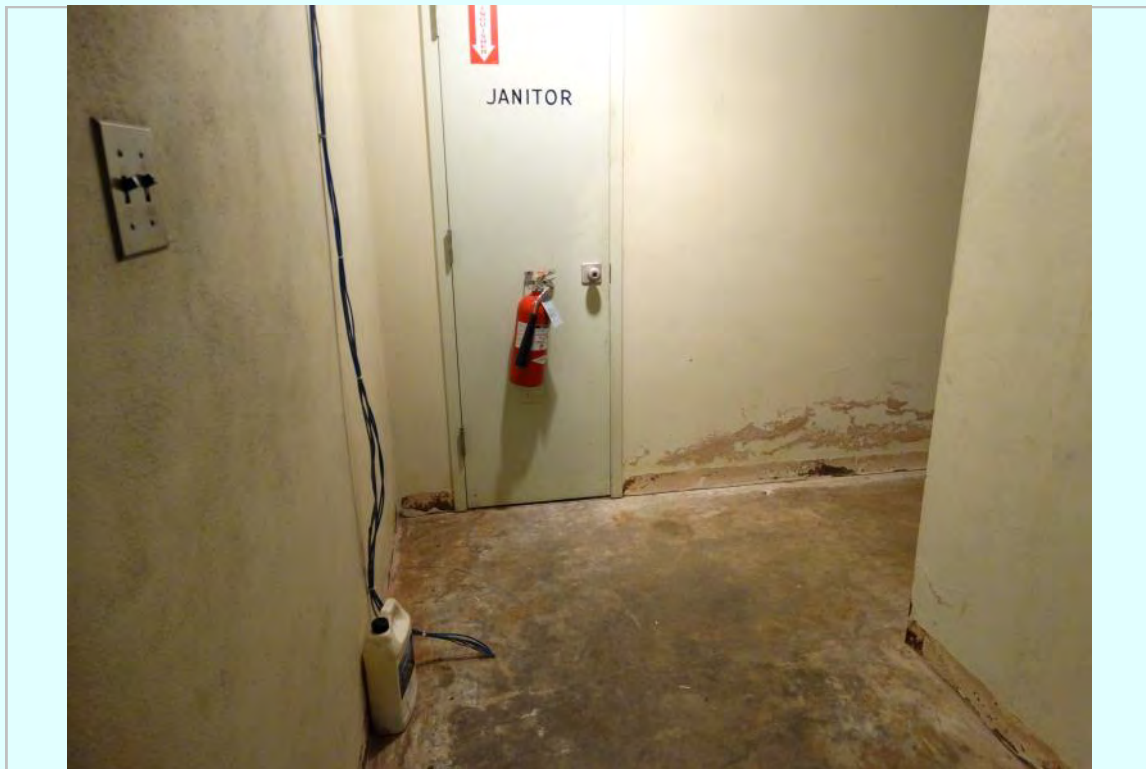


Photo: Fourth floor corridor



Photo: Fourth floor corridor





Photo: Fourth floor corridor typical ceiling condition



Photo: Fourth floor corridor typical light fixture



Photo: Fourth floor storage space



Photo: Fourth floor storage space





Photo: Fourth floor storage, possible jury sleeping nooks



Photo: Fourth floor original drinking fountain



Photo: Fourth floor storage



Photo: Fourth floor, mechanical space





Photo: Fourth floor, mechanical space



Photo: Fourth floor, mechanical space



Photo: Fourth floor, mechanical space/storage



Photo: Fourth floor, typical wall construction





Photo: Fourth floor, mechanical space ventilation into district courtroom

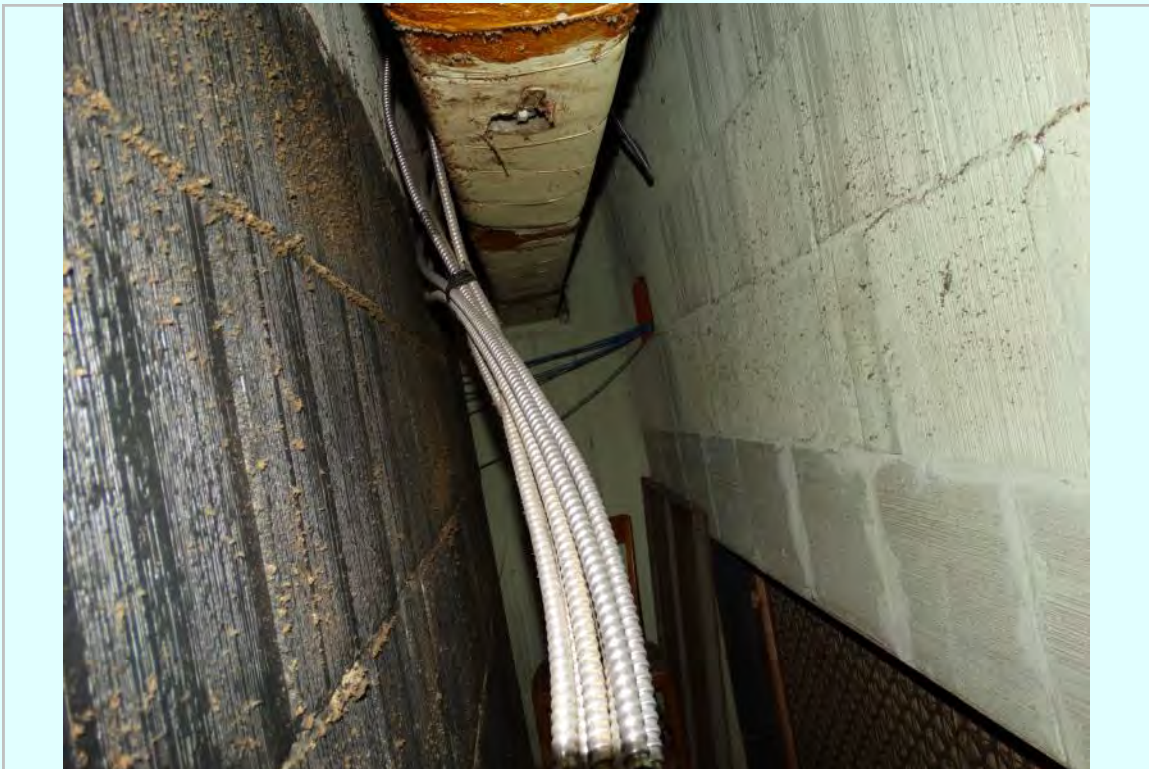


Photo: Fourth floor, typical wall construction



Photo: Typical marble stone condition at central stair



Photo: Typical riser and tread condition at central stair





Photo: North curtain wall at central stair



Photo: Typical stone condition at outside corner at north curtain wall



Photo: Central stair typical condition and non compliant handrail

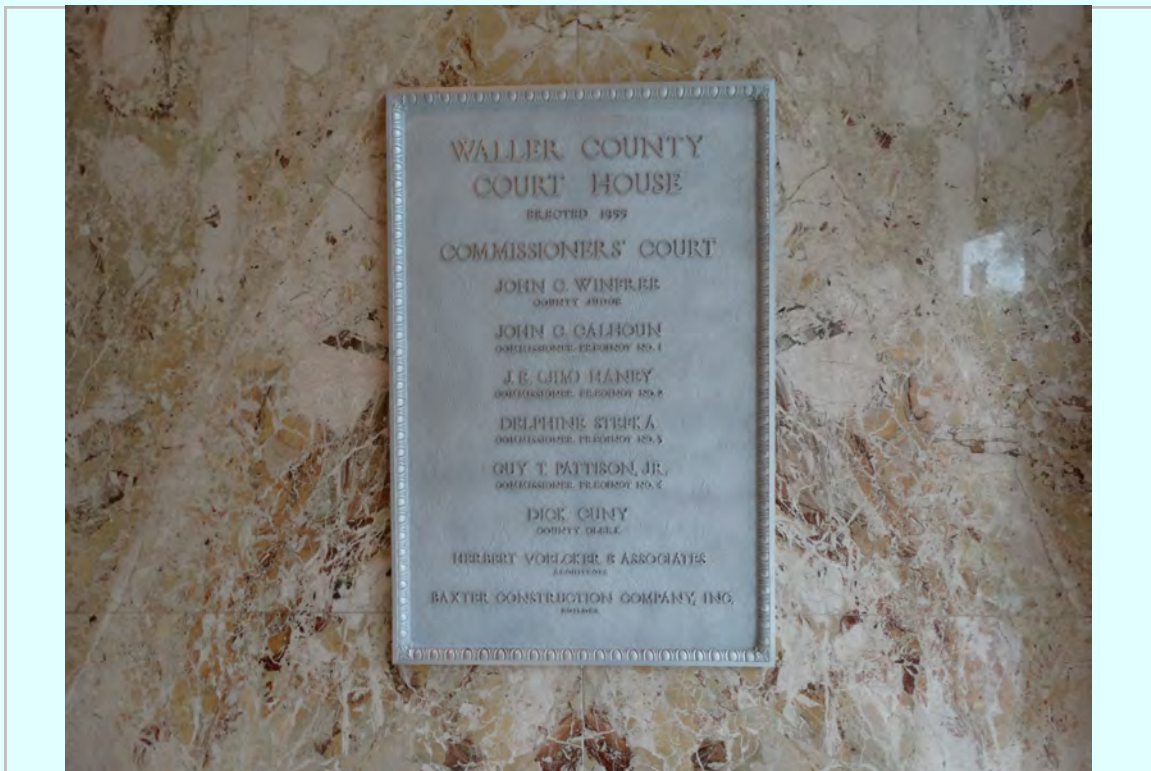


Photo: Building plaque at central stair





Photo: Central stair typical condition and non compliant handrail



Photo: Typical handrail at central stair



Photo: Typical stone condition at joints



Photo: Crack at marble riser





Photo: Typical condition at central stair

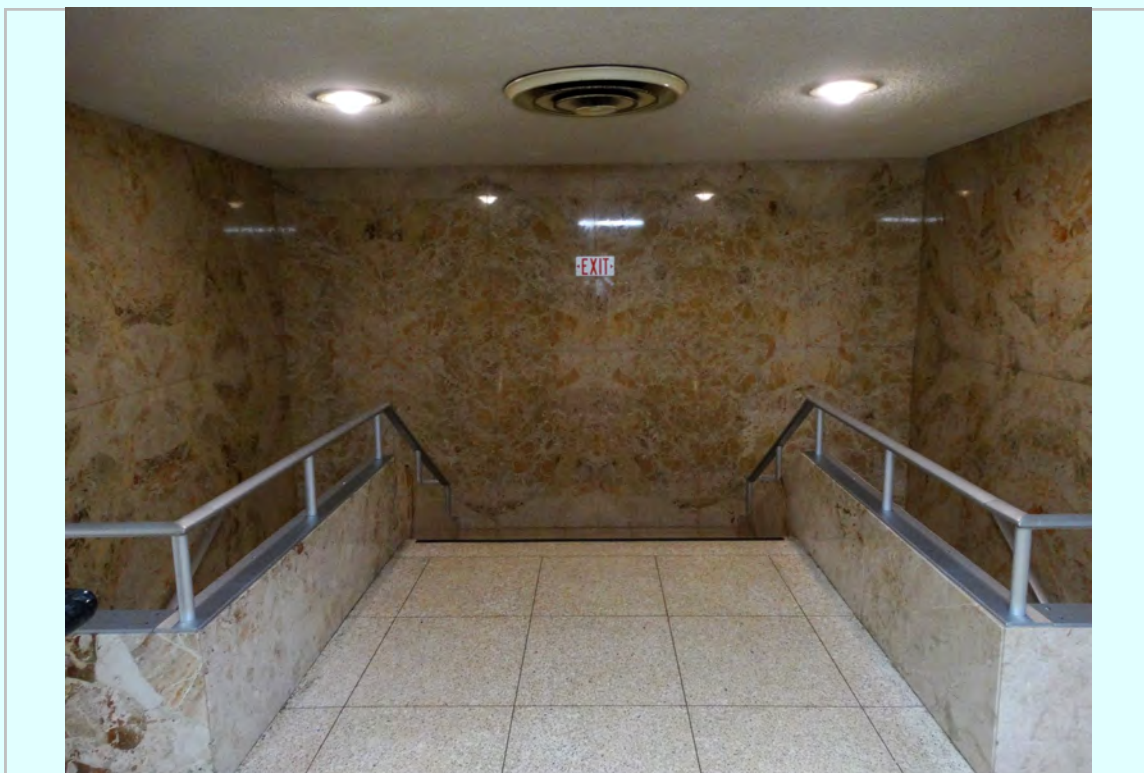


Photo: Top of central stair



Photo: Typical inside corner at handrail detail



Photo: Typical stone condition at central stair





Photo: Exit sign at stair



Photo: Central stair condition



Photo: Non-accessible north entry, no handrails or ramp



Photo: Non-compliant entry ramp, no handrails, non-compliant door, only existing ramp entry





Photo: Non-accessible south entry, non-compliant handrails, non-compliant door



Photo: Non-accessible west entry, no handrails, non-compliant door



Photo: Non-compliant entry into public restrooms on ground floor

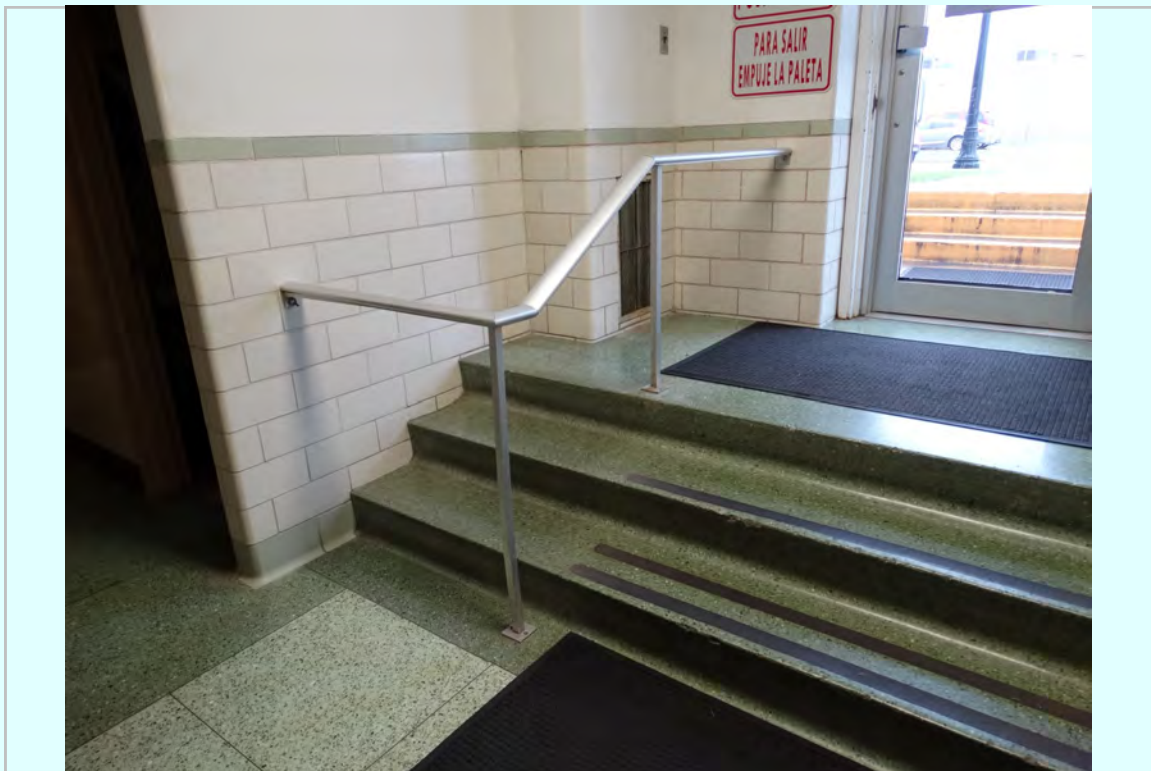


Photo: Non-compliant handrail at entry stairs, typical





Photo: Non-compliant public restrooms at ground floor



Photo: Non-compliant water fountain in public corridors.



Photo: Wheel chair lift installed at grand stair from half floor to ground floor



Photo: Non-compliant doors





Photo: Non-compliant stair and railing



Photo: Non-compliant stair and railing



Photo: Non-compliant door hardware and help desk counter missing wheelchair access



Photo: Non-compliant door

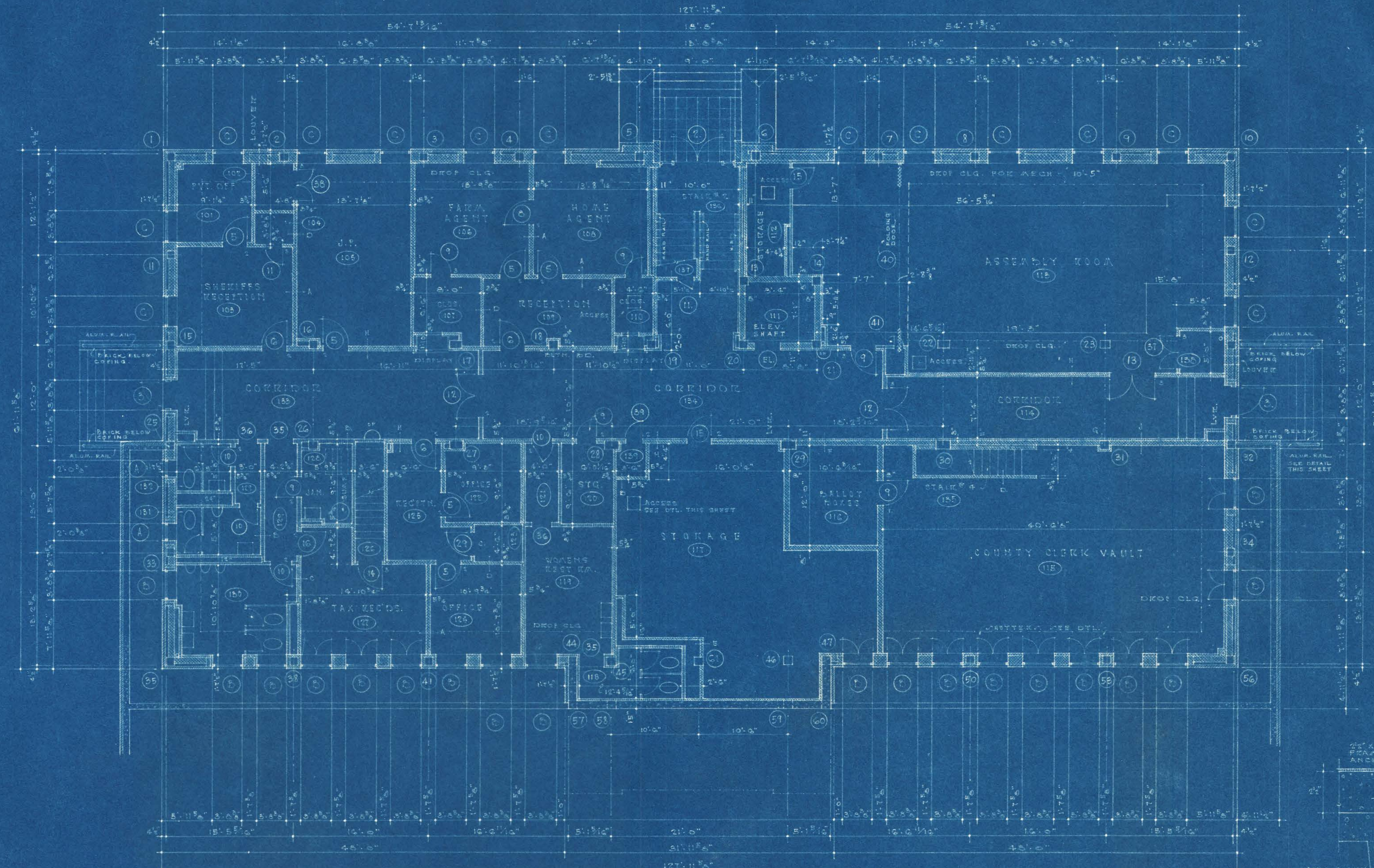


**D. HERBERT VOELKER & ASSOCIATES ARCHITECTS, 1954 CONSTRUCTION  
DRAWINGS**

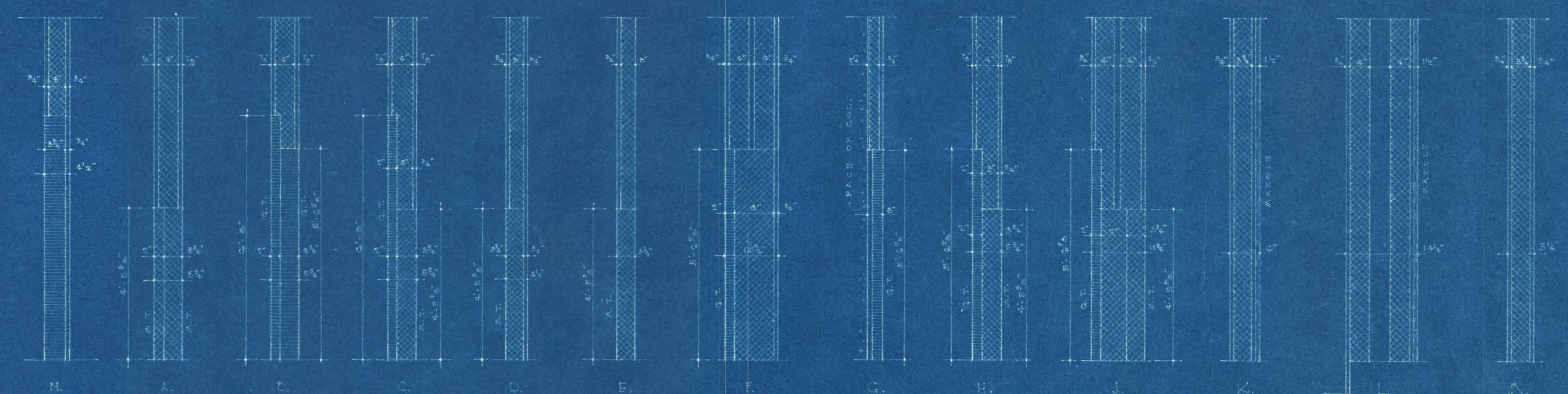








FIRST FLOOR PLAN  
SCALE 1/8" = 1'-0"



DETAIL OF INTERIOR PARTITIONS  
SCALE 1/4" = 1'-0"

DETAIL OF CORRIDOR COLS.  
SCALE 1/4" = 1'-0"

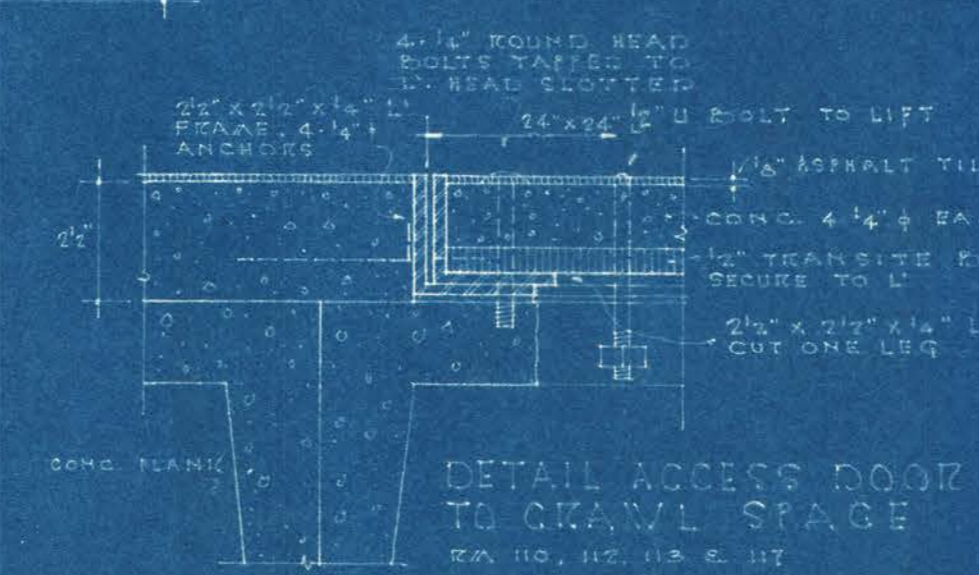
CORRIDOR COLS.  
SCALE 1/4" = 1'-0"

NOTE 1  
ALL GILDING TO BE IN AREAS WITH GRANITE  
TILES OR TERRAZZO FLOORS TO MATCH  
GILDING AT FLOOR LEVELING TO OTHER  
LEVELS AT CORNERS AND AT EXTERIOR  
CORNERS. ALL INTERIOR CORNERS  
TO BE GILDING.

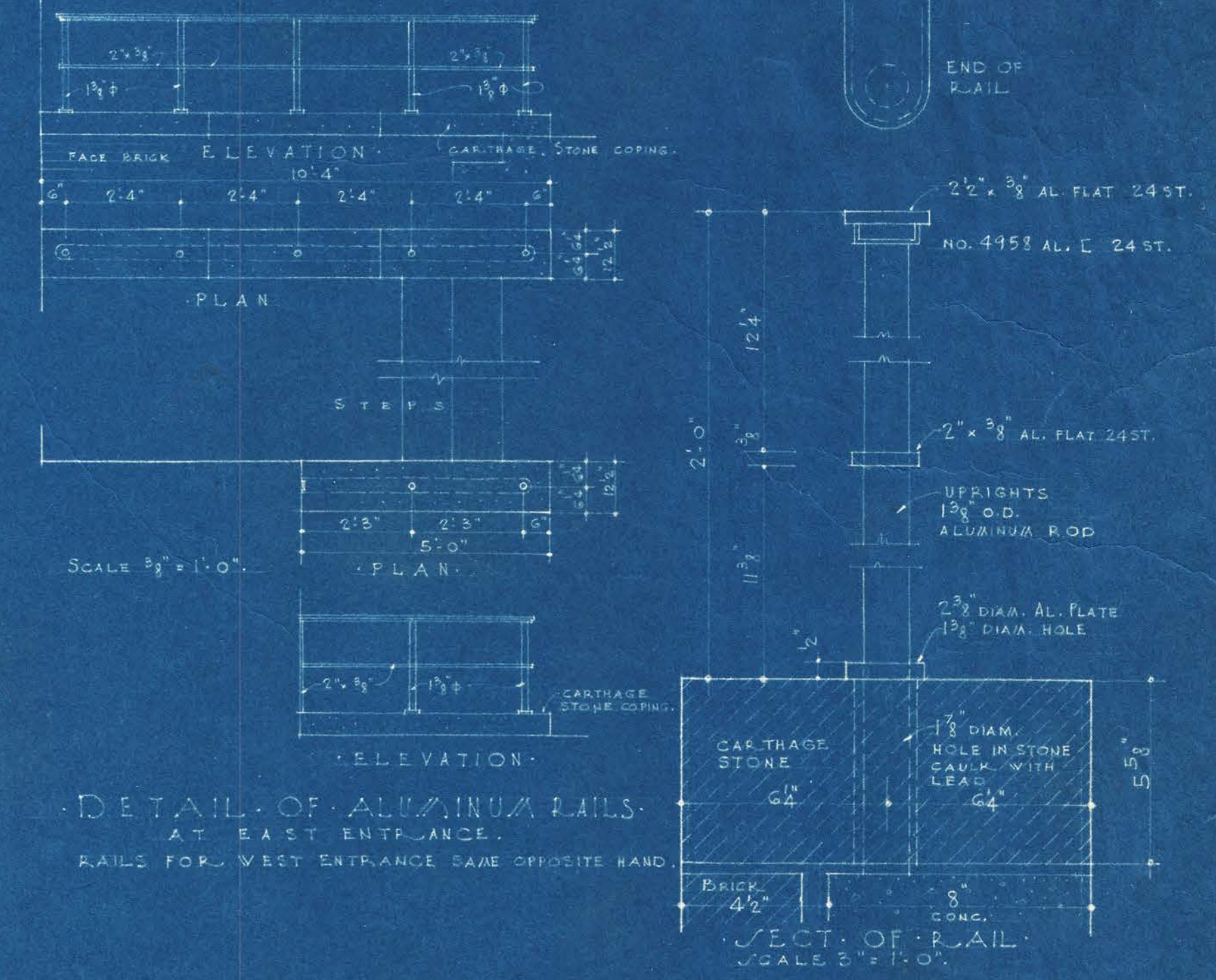
ZODIA FINISH SCHEDULE

NUMBER	NAME	FLOOR	BASE	WAINSCOT	WALL	CEILING	SLIT	REMARKS
101	LEGATE OFF.	VINYL TILE	RUBBER	WANG. TILE 4'-6"	FLAS.	AC. FLAS.	8'-0"	WANG. TILE WINDOW SILL
102	CLOSET	CONG.	NONE	NONE	TILE	NONE		
103	PHENIX RECIPT.	VINYL TILE	RUBBER	WANG. TILE 4'-6"	FLAS.	AC. FLAS.	10'-0"	A.T.W.S.
104	CLERK	VINYL TILE	RUBBER	NONE	FLAS.	FLAS.	7'-4"	
105	JUSTICE OF PEACE	VINYL TILE	RUBBER	WANG. TILE 4'-6"	FLAS.	AC. FLAS.	10'-0"	A.T.W.S.
106	PARA. AGENT	VINYL TILE	RUBBER	WANG. TILE 4'-6"	FLAS.	AC. FLAS.	10'-0"	A.T.W.S.
107	CLOSET	VINYL TILE	RUBBER	NONE	FLAS.	FLAS.	8'-0"	
108	HOME AGENT	VINYL TILE	RUBBER	WANG. TILE 4'-6"	FLAS.	AC. FLAS.	10'-0"	A.T.W.S.
109	RECEPTION	VINYL TILE	RUBBER	WANG. TILE 4'-6"	FLAS.	AC. FLAS.	10'-0"	
110	CLOSET	VINYL TILE	RUBBER	NONE	FLAS.	FLAS.	8'-0"	
111	BLK. CRAFT	CONG.	NONE	NONE	TILE	NONE		
112	STONE OFF.	VINYL TILE	RUBBER	NONE	FLAS.	FLAS.	10'-5"	
113	APPELLATE CL.	VINYL TILE	RUBBER	WANG. TILE 4'-6"	FLAS.	AC. FLAS.	11'-0"	A.T.W.S.
114	OFFICE	TERRAZZO	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	10'-3"	CONV. TILE AT FLOOR
115	CLERK VEST.	VINYL TILE	RUBBER	WANG. TILE 4'-6"	FLAS.	AC. FLAS.	7'-0"	A.T.W.S.
116	BALLOT BOX	VINYL TILE	RUBBER	NONE	FLAS.	FLAS.	7'-0"	
117	STORAGE	CONG.	RUBBER	WANG. TILE 4'-6"	FLAS.	FLAS.	6'-9"	A.T.W.S.
118	TOILET	CONG.	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	6'-9"	CONV. TILE AT FLOOR
119	WORKS REST RM.	VINYL TILE	RUBBER	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	A.T.W.S. 2" DIA. HOLE
120	STORAGE	VINYL TILE	RUBBER	NONE	FLAS.	FLAS.	7'-0"	
121	PAINT SHOP	VINYL TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	
122	OFFICE	VINYL TILE	RUBBER	WANG. TILE 4'-6"	FLAS.	AC. FLAS.	7'-0"	
123	STREET	CONG.	NONE	NONE	TILE	NONE		
124	OFFICE	VINYL TILE	RUBBER	WANG. TILE 4'-6"	FLAS.	AC. FLAS.	7'-0"	A.T.W.S.
125	RECEPTION	VINYL TILE	RUBBER	WANG. TILE 4'-6"	FLAS.	AC. FLAS.	7'-0"	
126	STAIR # 2	RUBBER	CONG.	NONE	FLAS.	AC. FLAS.		SEE DET.
127	W.C. RESTROOM	VINYL TILE	RUBBER	WANG. TILE 4'-6"	FLAS.	AC. FLAS.	7'-0"	A.T.W.S.
128	W.C. TOILET	CONG.	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
129	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
130	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
131	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
132	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
133	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
134	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
135	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
136	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
137	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
138	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
139	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
140	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
141	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
142	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
143	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
144	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
145	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
146	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
147	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
148	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
149	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
150	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
151	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
152	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
153	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
154	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
155	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
156	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
157	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
158	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
159	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR
160	W.C. TOILET	CERAMIC TILE	NONE	GL. ST. TILE 6'-0"	FLAS.	AC. FLAS.	7'-0"	CONV. TILE AT FLOOR

\* SPACE FROM FOLDING DOOR TO STORAGE 112.  
SAME FIN. AS 113, EXCEPT WALL TO BE GL. ST. TILE.  
SEE DET. 10'-5"



DETAIL ACCESS DOOR TO CRAWL SPACE  
SCALE 1/4" = 1'-0"



DETAIL OF ALUMINUM RAILS AT EAST ENTRANCE  
SCALE 3/8" = 1'-0"

NOTE 1  
USE ALL CORNER BRACKETS ON ALL  
EXTERIOR WALLS. BRACKETS  
SHOULD BE WITHIN 2" OF  
CORNER. NOT REQUIRED FOR  
CORNER BRACKETS ABOVE  
WAINSCOT.  
ALL INTERIOR PARTITION  
CORNERS TO BE GILDING.



VALLEZ COUNTY COURT HOUSE  
HEMPSTEAD, TEXAS

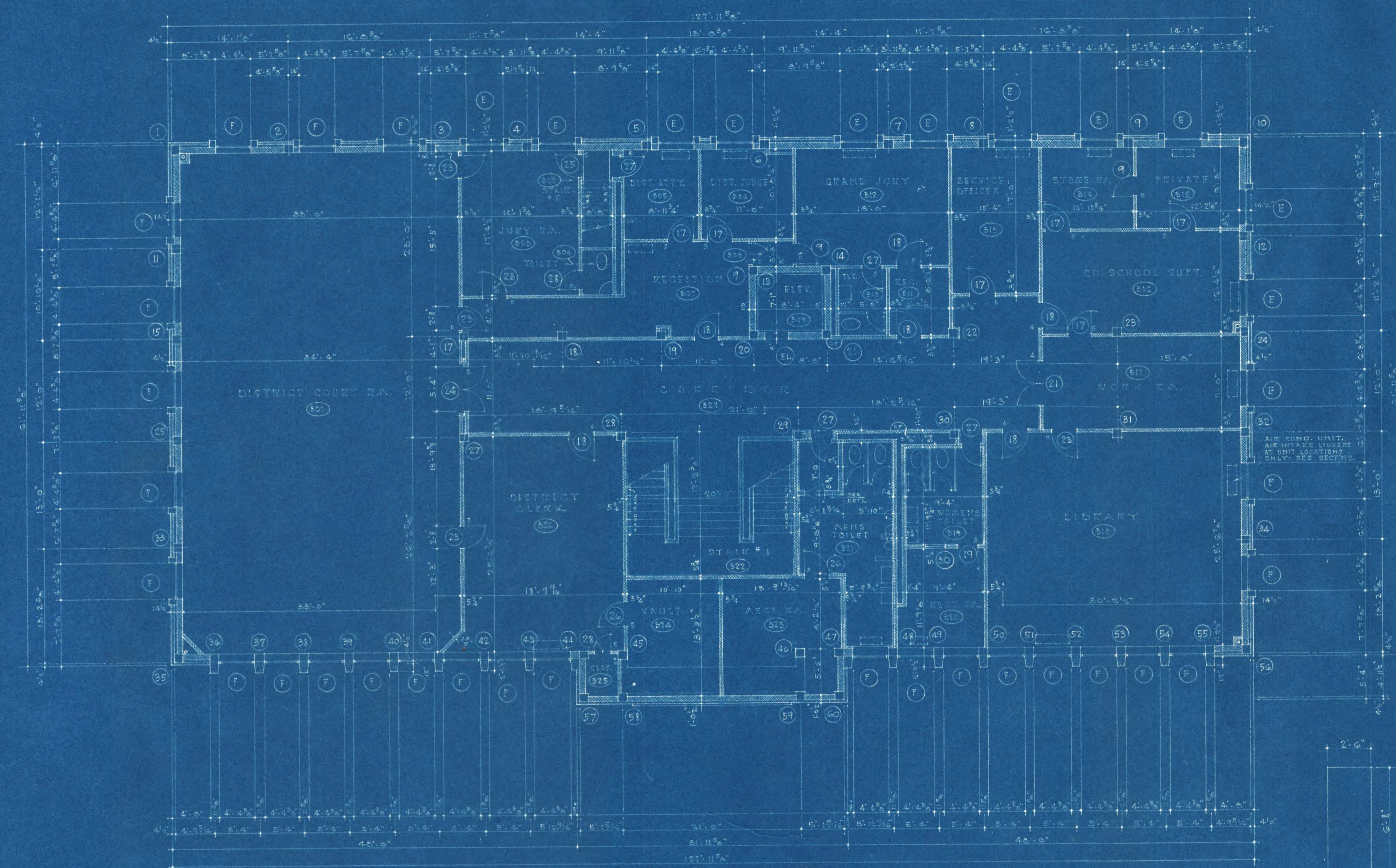
JOB NO. 400  
DATE 5-14-54

HERBERT VOELCKER & ASSOCIATES  
ARCHITECTS  
1202 DENNIS HOUSTON, TEXAS





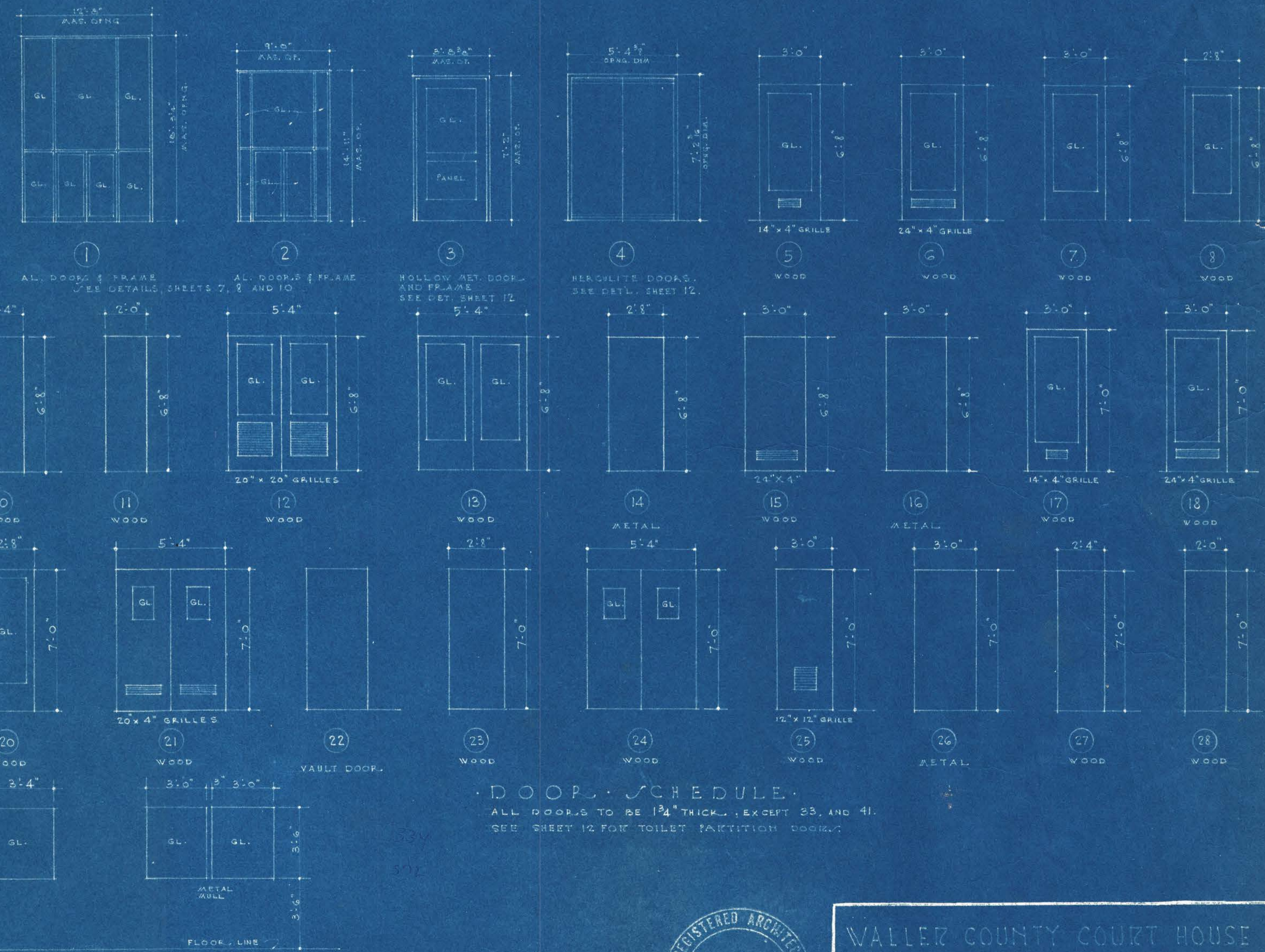




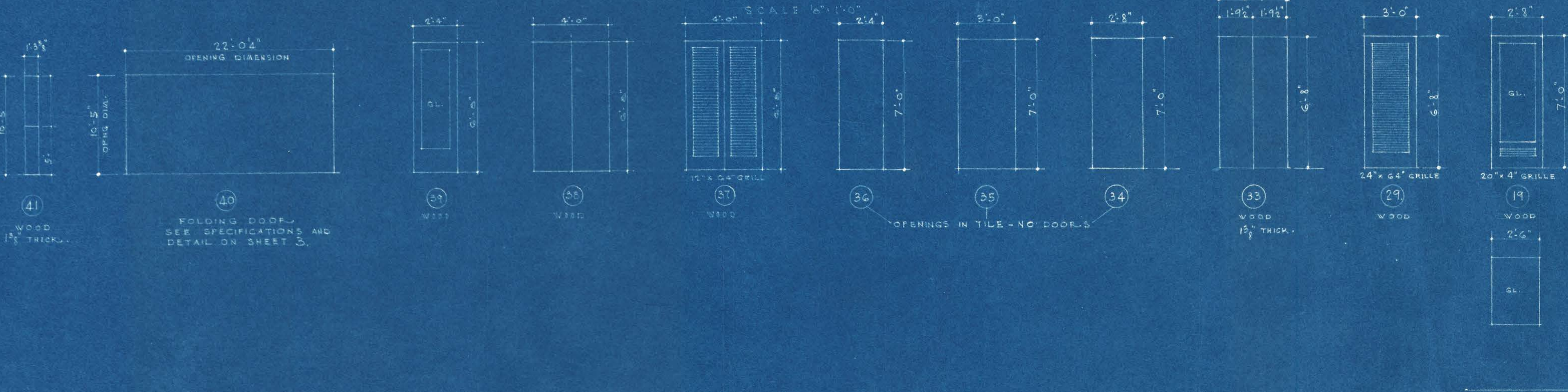
THIRD FLOOR PLAN

SCALE 1/4" = 1'-0"

NUMBER	NAME	FLOOR	WALL	WAINSCOT	WALL	CEILING	GLASS	DOOR FRAME
301	DIST. COURT RM.	VINYL TILE	RUBBER	NONE	FLAY	AC. PLAY.	16'-1"	WOOD STOODS
302	STAIR # 5	RUBBER	CEM.	NONE	FLAY	AC. PLAY.		SEE DETAIL
303	JURY RM.	VINYL TILE	RUBBER	NONE	FLAY	AC. PLAY.	9'-0"	MARKLE STOODS
304	TOILET	CEL. TILE	NONE	GL. STR. TILE 6" x 6"	CEM. FL.	CEM. FL.	8'-0"	
305	DIST. ATTY.	VINYL TILE	RUBBER	NONE	FLAY	AC. PLAY.	9'-0"	MARKLE STOODS
306	DIST. JUDGE	VINYL TILE	RUBBER	NONE	FLAY	AC. PLAY.	9'-0"	
307	RECEPTION	VINYL TILE	RUBBER	NONE	FLAY	AC. PLAY.	9'-4"	
308	FACADE	VINYL TILE	RUBBER	NONE	FLAY	AC. PLAY.	9'-4"	
309	ELEV. SHAFT							
310	TOILET	CERAMIC TILE	NONE	GL. STR. TILE 6" x 6"	CEM. FL.	CEM. FL.	9'-4"	
311	RECEPTION	VINYL TILE	RUBBER	NONE	FLAY	AC. PLAY.	9'-4"	
312	GRAND JURY RM.	VINYL TILE	RUBBER	NONE	FLAY	AC. PLAY.	9'-8"	MARKLE STOODS
313	SERVICE OFFICE	VINYL TILE	RUBBER	NONE	FLAY	AC. PLAY.	9'-4"	
314	STORE ROOM	VINYL TILE	RUBBER	NONE	FLAY	AC. PLAY.	9'-4"	
315	PRIVATE OFFICE	VINYL TILE	RUBBER	NONE	FLAY	AC. PLAY.	9'-4"	
316	CO. SCHOOL SUIT.	VINYL TILE	RUBBER	NONE	FLAY	AC. PLAY.	9'-4"	
317	WORK ROOM	VINYL TILE	RUBBER	NONE	FLAY	AC. PLAY.	9'-4"	
318	LIBRARY	VINYL TILE	RUBBER	NONE	FLAY	AC. PLAY.	16'-1"	
319	WOMEN'S TOILET	CERAMIC TILE	NONE	GL. STR. TILE 6" x 6"	CEM. FL.	CEM. FL.	9'-4"	
320	REST ROOM	VINYL TILE	RUBBER	NONE	PLASTER	PLASTER AC.	16'-1"	MARKLE STOODS
321	MEN'S TOILET	CERAMIC TILE	NONE	GL. STR. TILE 6" x 6"	CEM. FL.	CEM. FL.	16'-1"	
322	STAIR # 1	TERAZZO	NONE	NONE			25' FROM 3RD FL.	SEE DET.
323	Mechanical RM.	CEMENT	NONE	NONE	TILE	BRICKED		
324	VAULT	VINYL TILE	RUBBER	NONE	FLAY	FLAY	9'-4"	
325	CLOSET	VINYL TILE	RUBBER	NONE	FLAY	FLAY	8'-0"	
326	DIST. CLERK	VINYL TILE	RUBBER	NONE	FLAY	AC. PLAY.	16'-1"	MARKLE STOODS
327	OFFICE	TERAZZO	NONE	NONE	WATTLE	AC. PLAY.	9'-5"	



DOORS SCHEDULE  
ALL DOORS TO BE 1 3/4" THICK, EXCEPT 23, AND 41.  
SEE SHEET 12 FOR TOILET PARTITION DOORS.



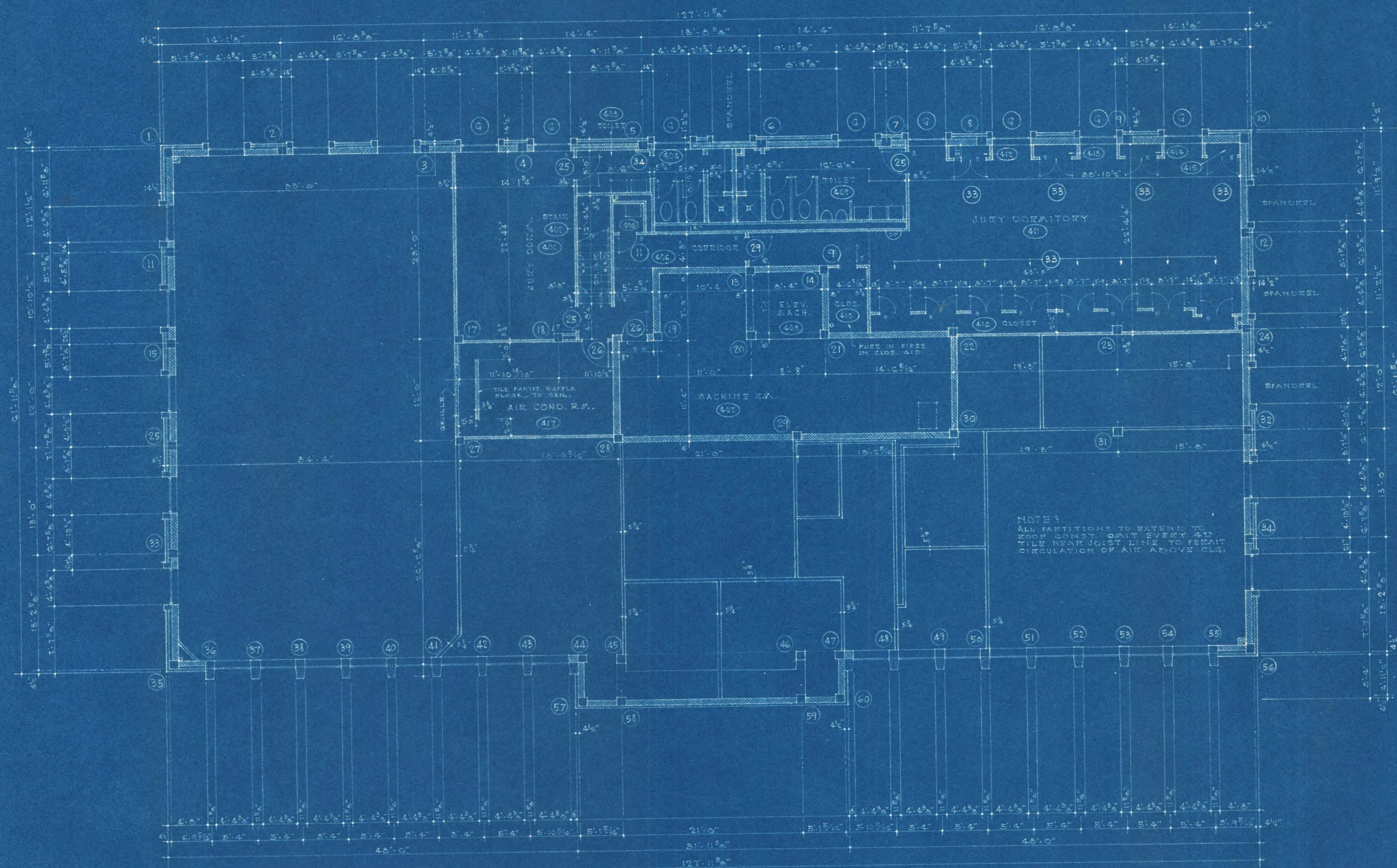
WALLER COUNTY COURT HOUSE  
HEATSTEAD TEXAS

JOB NO. 40C  
DATE 5-17-54

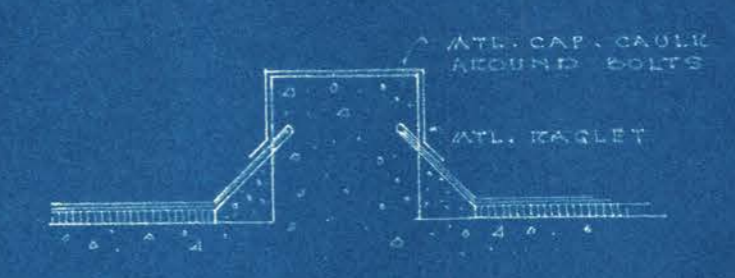
HERBERT VOELCKER & ASSOCIATES  
ARCHITECTS  
1202 DENNIS HOUSTON, TEXAS

SHEET NO. 4

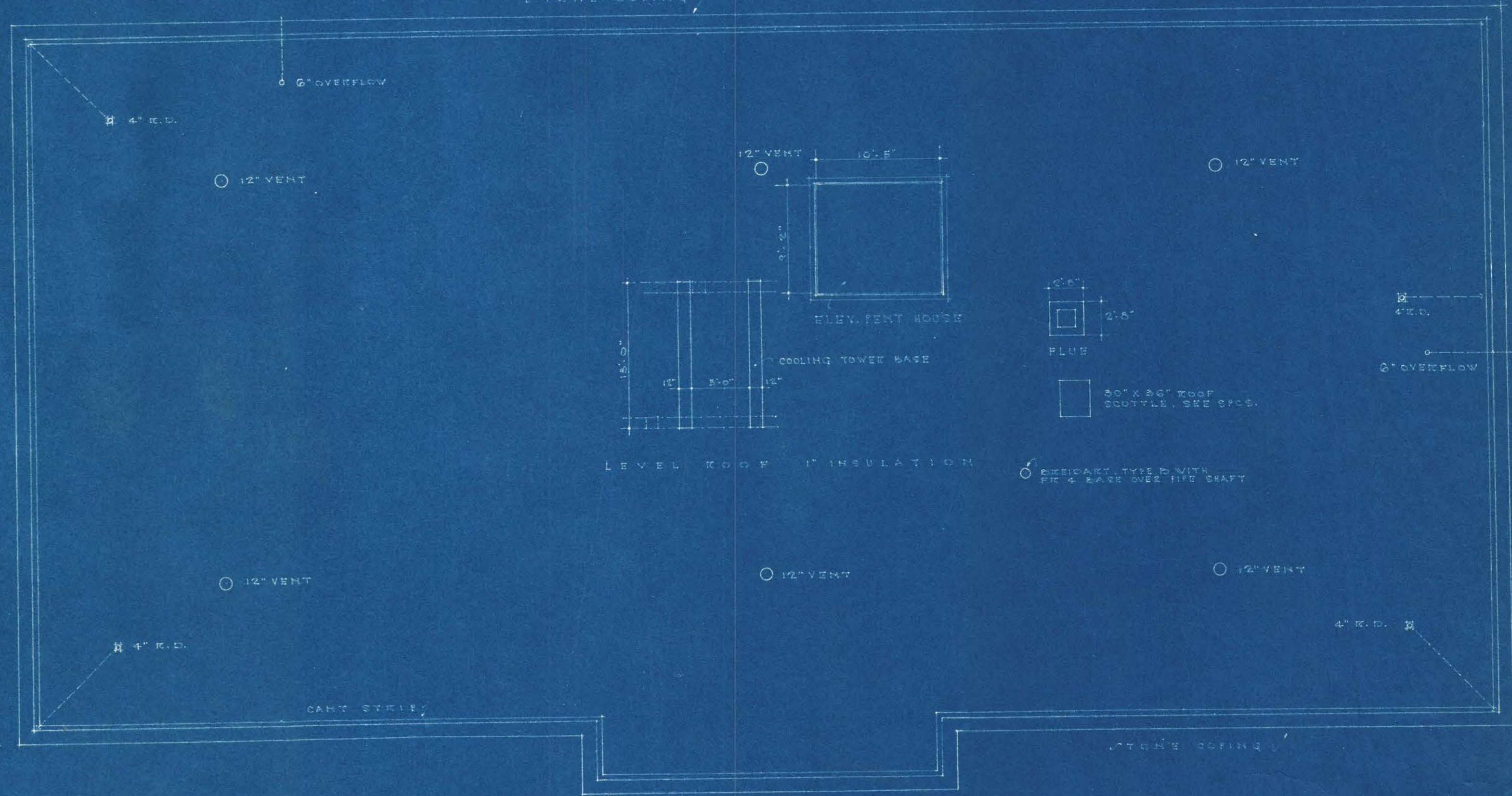




FOURTH FLOOR PLAN  
SCALE 1/8" = 1'-0"



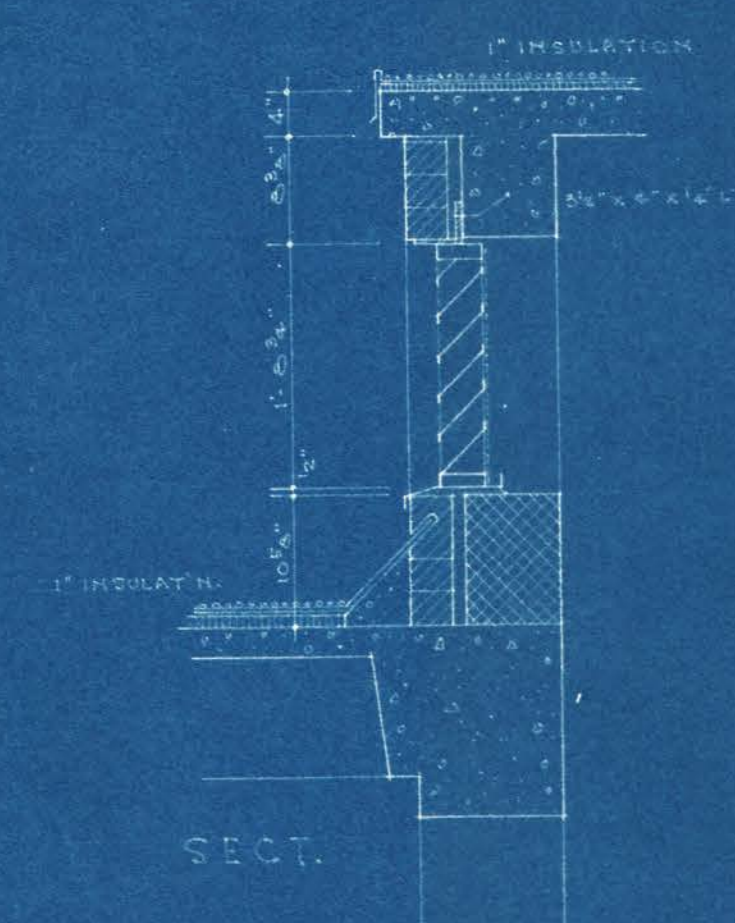
COOLING TOWER BASE  
SCALE 1/2" = 1'-0"



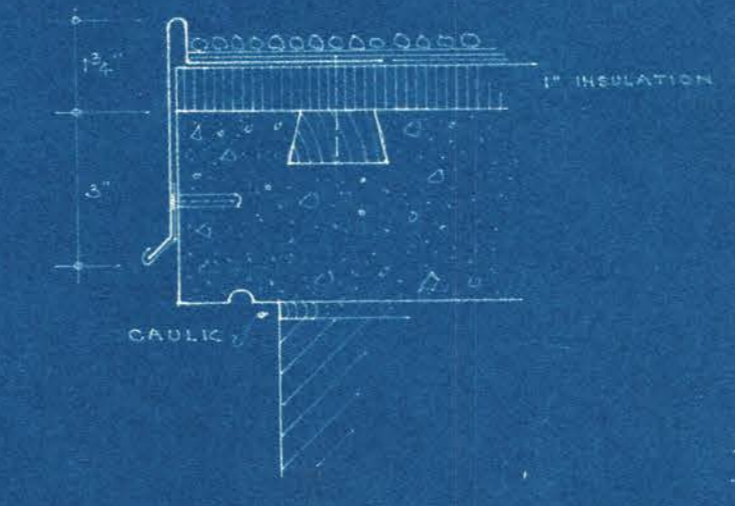
ROOF PLAN  
SCALE 1/8" = 1'-0"

NOTE:  
ALL PARTITIONS TO EXTEND TO  
200# CONCRETE SLAB EVERY 4"  
TILE NEAR JOINT LINE TO PREVENT  
CIRCULATION OF AIR ABOVE SLAB.

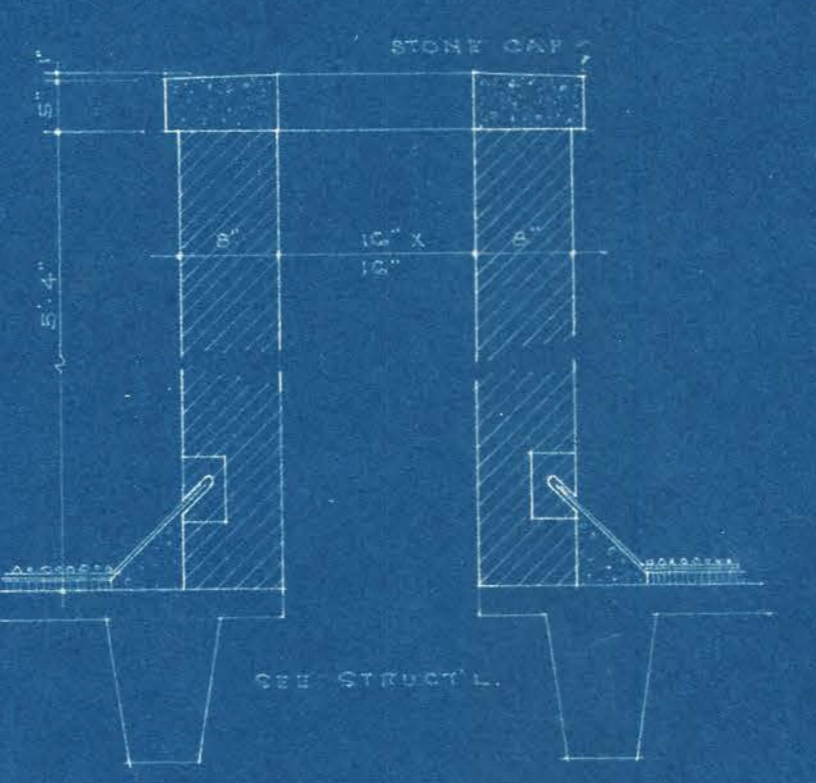
ROOM	NAME	FLOOR	WALL	WAINSCOT	CEILING	CL. HT.	REMARKS
401	JURY ROOM	VINYL TILE	RUBBER	NONE	PLAS.	AC. PLAS.	8'-2" BARBER STOOLS
402	STAIR W.C.	FLOOR	CEMENT	NONE	PLAS.	AC. PLAS.	SEE DET.
403	TOILET	CERAMIC TILE	NONE	GLASS TILE GR.	CER. PL.	CER. PL.	8'-2" COVE TILE AT FLOOR
404	TOILET	CERAMIC TILE	NONE	GLASS TILE GR.	CER. PL.	CER. PL.	8'-2" COVE TILE AT FLOOR
405	VAN. CLO.	CER. PL.	CER. G.	NONE	CER. PL.	CER. PL.	2 SHELVES
406	CORRIDOR	VINYL TILE	RUBBER	NONE	PLAS.	AC. PLAS.	8'-2"
407	MACHINE RM.	CEMENT	NONE	NONE	TILE	EXT. CONC.	WALLS PAINTED
408	ELEVATOR CAB	CEMENT	NONE	NONE	TILE	EXT. CONC.	
409	TOILET	CERAMIC TILE	NONE	GLASS TILE GR.	CER. PL.	CER. PL.	8'-2" COVE TILE AT FLOOR
410	CLOSET	VINYL TILE	RUBBER	NONE	PLAS.	PLAS.	8'-2"
411	JURY ROOM	VINYL TILE	RUBBER	NONE	PLAS.	AC. PLAS.	8'-2" BARBER STOOLS
412	RED CLO.	VINYL TILE	RUBBER	NONE	PLAS.	PLAS.	8'-2"
413	"	"	"	"	"	"	8'-2"
414	"	"	"	"	"	"	8'-2"
415	"	"	"	"	"	"	8'-2"
416	"	"	"	"	"	"	8'-2"
417	AIR COND. RM.	CONCRETE	NONE	NONE	TILE	CONCRETE	1" PINK GLASS BANNET ON RAFFLE WALL



SECTION  
DETAIL OF LOWER IN PENT HOUSE  
SCALE 3/4" = 1'-0"



DETAIL OF GRAVEL STRIP PENT HOUSE ROOF  
SCALE 3/4" = 1'-0"



DETAIL OF FLUE  
SCALE 3/4" = 1'-0"



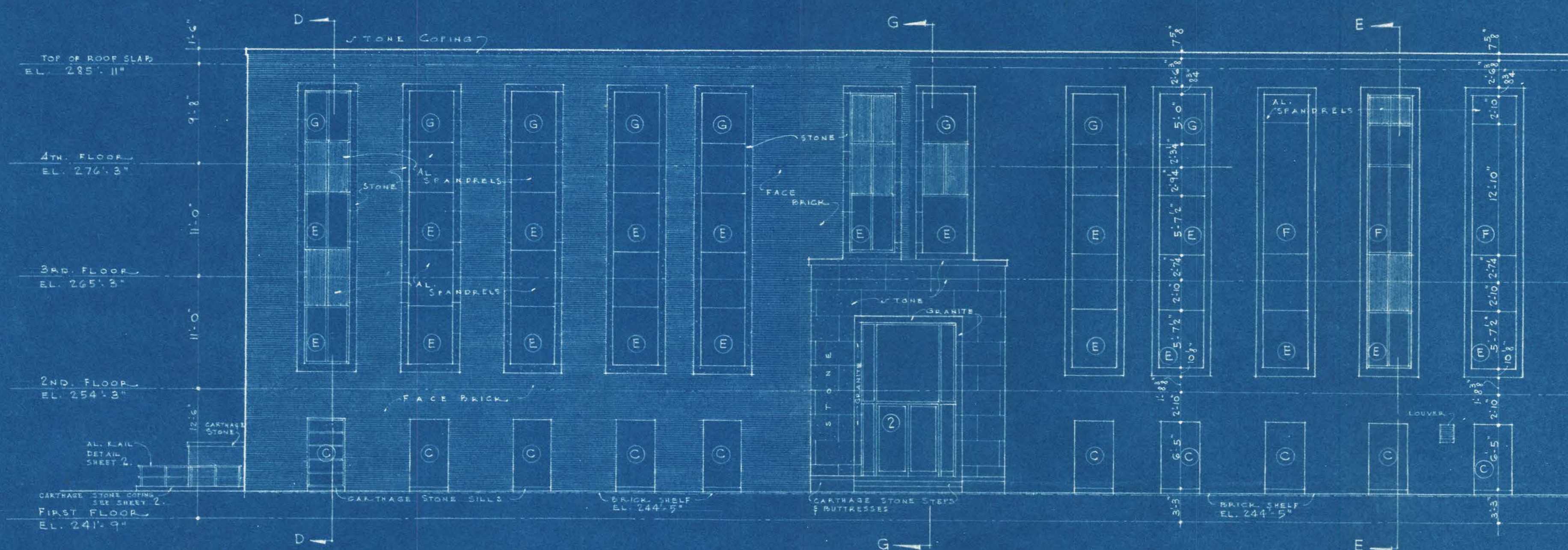
WALLER COUNTY COURT HOUSE  
HEATSTEAD TEXAS

JOB NO. 406  
DATE 5-17-54

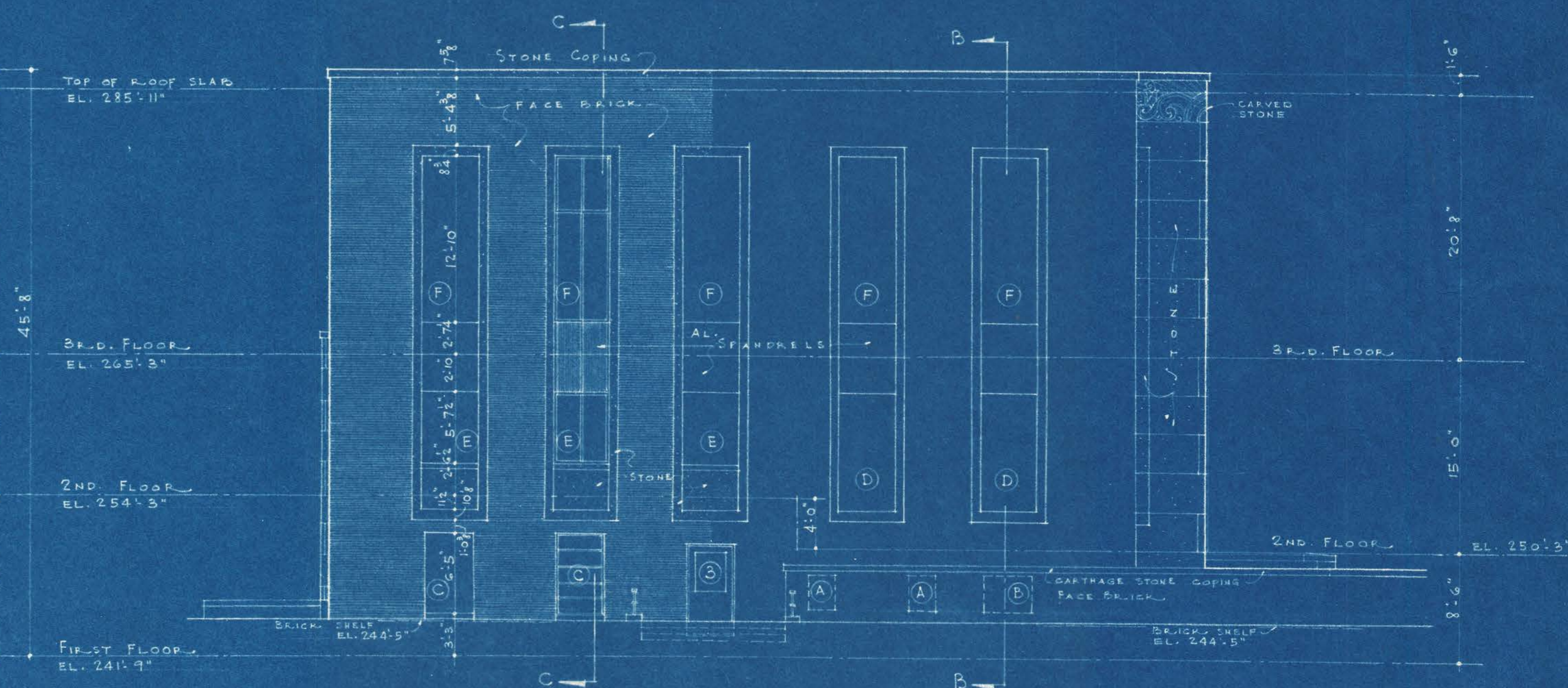
HERBERT VOELCKER & ASSOCIATES ARCHITECTS  
1202 DENNIS HOUSTON, TEXAS

SHEET NO. 5

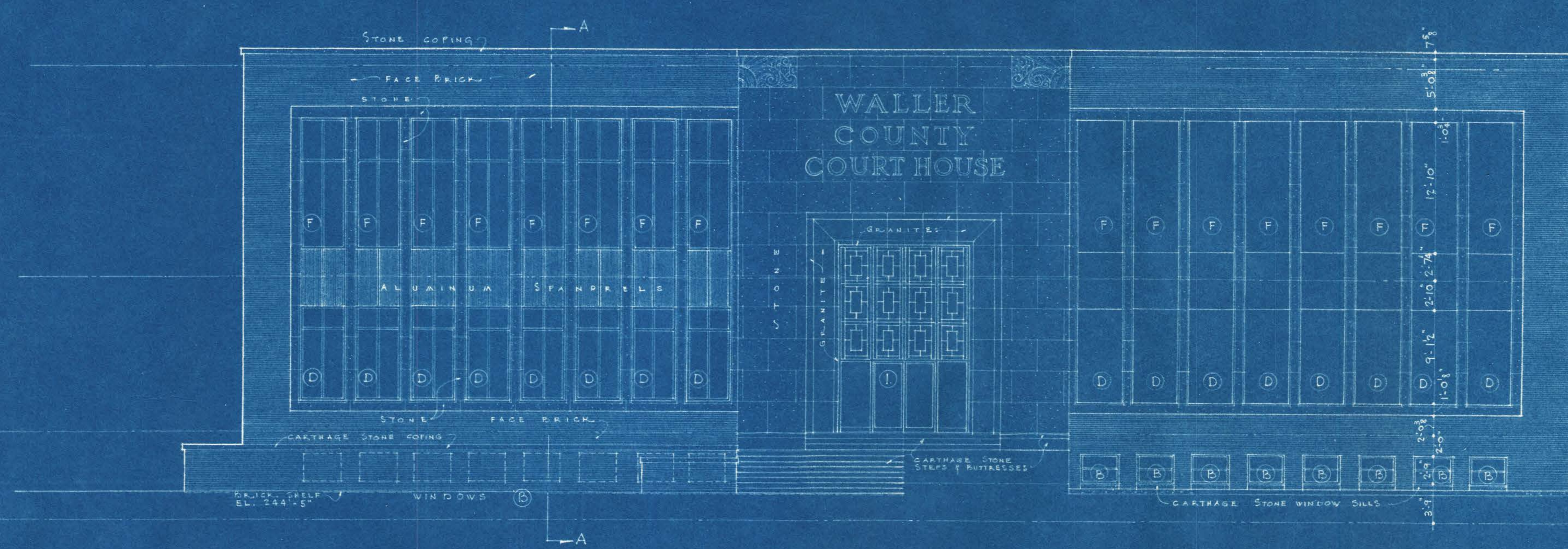




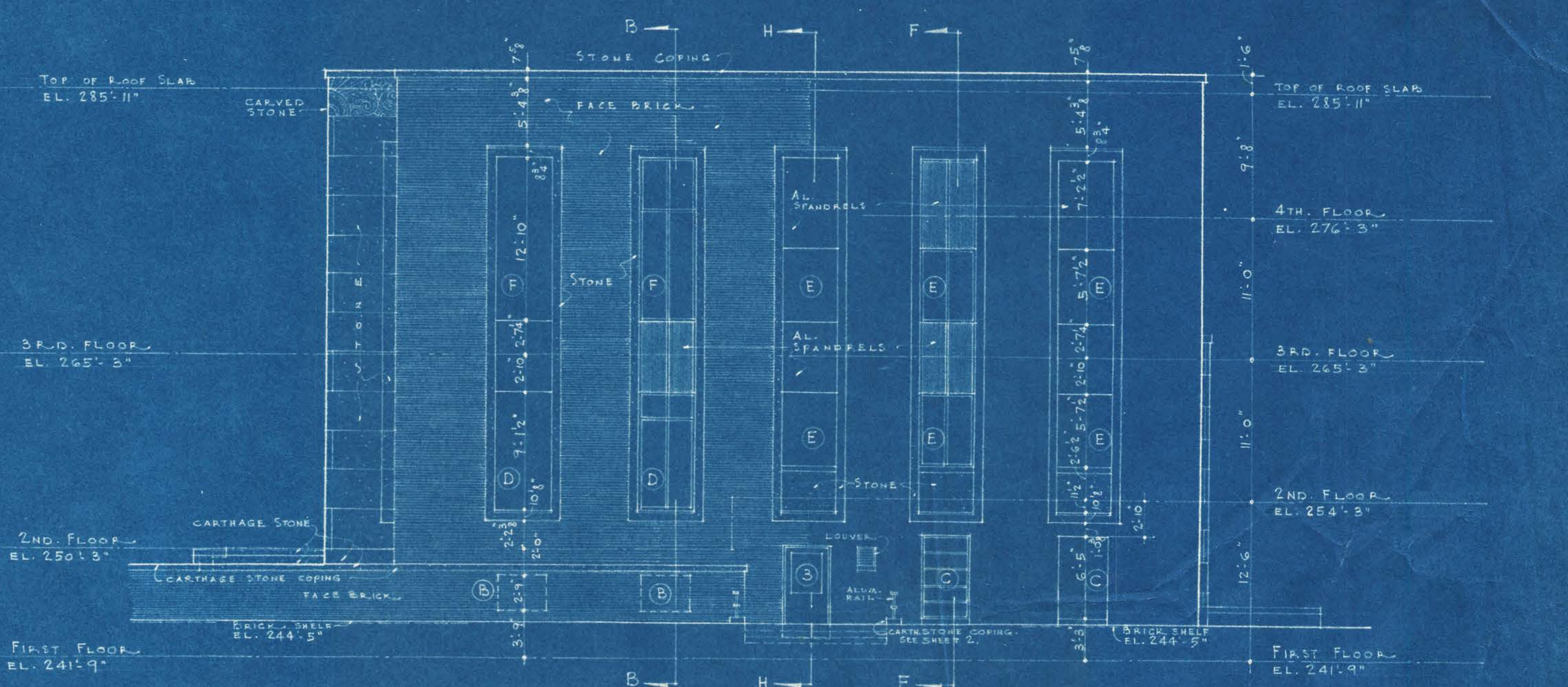
NORTH ELEVATION  
SCALE 1/8" = 1'-0"



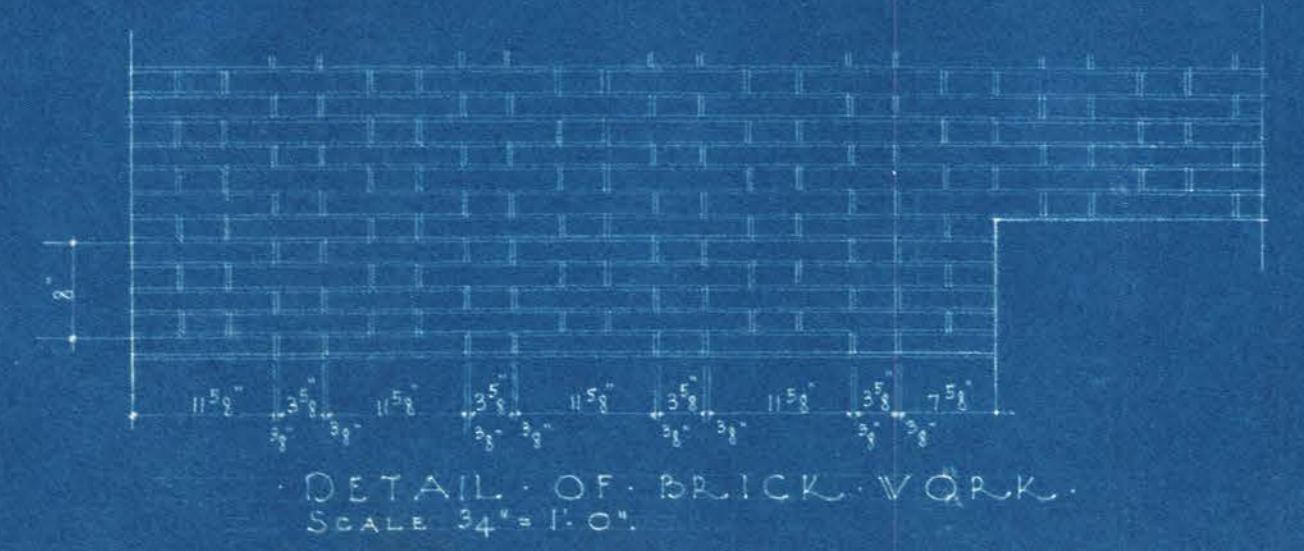
WEST ELEVATION  
SCALE 1/8" = 1'-0"



SOUTH ELEVATION  
SCALE 1/8" = 1'-0"



EAST ELEVATION  
SCALE 1/8" = 1'-0"



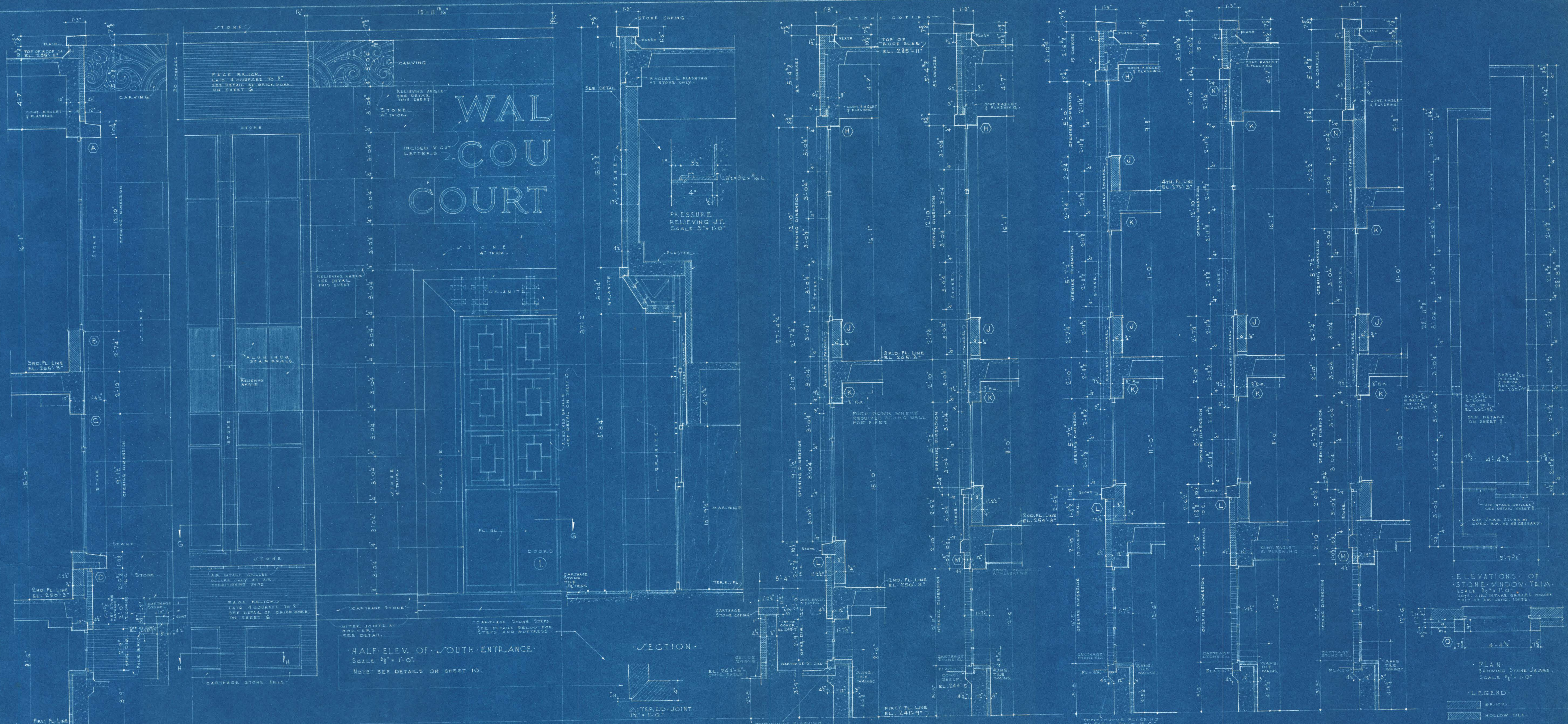
NOTE: SEE SHEETS 7, 8, 9 AND 10 FOR ENTRANCE DETAILS, WALL SECTIONS, WINDOW DETAILS ETC.



WALLER COUNTY COURT HOUSE  
HEATSTEAD, TEXAS

JOB NO. 40C	HERBERT VOELCKER & ASSOCIATES ARCHITECTS	SHEET NO. C
DATE 5-17-54	1202 DENNIS HOUSTON, TEXAS	



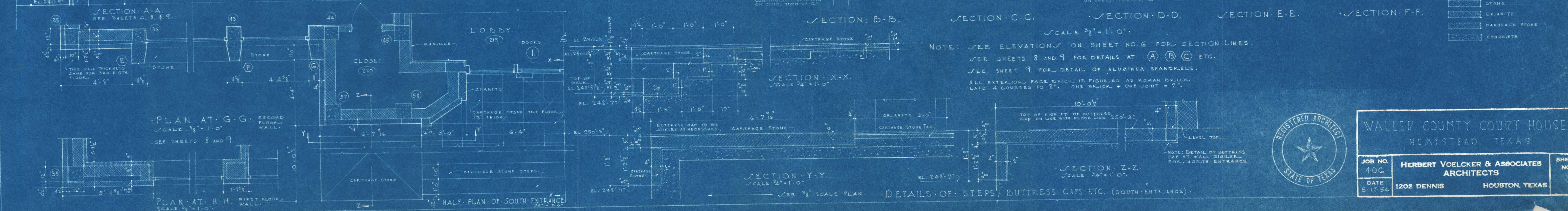


HALF ELEV. OF SOUTH ENTRANCE.  
SCALE 3/8" = 1'-0".  
NOTE: SEE DETAILS ON SHEET 10.

ELEVATIONS OF STONE WINDOW TRAIL.  
SCALE 3/8" = 1'-0".  
NOTE: AIR INTAKE GRILLES OCCUR ONLY AT AIR COND. UNITS.

PLAN SHOWING STONE JAMBS.  
SCALE 3/8" = 1'-0".

- LEGEND
- BRICK
  - HOLLOW TILE
  - STONE
  - GRANITE
  - CARRIAGE STONE
  - CONCRETE



PLAN AT G-G, SECOND FLOOR WALL.  
SCALE 3/8" = 1'-0".  
SEE SHEETS 8 AND 9.

PLAN AT H-H, FIRST FLOOR WALL.  
SCALE 3/8" = 1'-0".

HALF PLAN OF SOUTH ENTRANCE.  
SCALE 3/8" = 1'-0".

SECTION Y-Y.  
SCALE 3/8" = 1'-0".

DETAILS OF STEPS, BUTTRESS CAPS ETC. (SOUTH ENTRANCE).  
SCALE 3/8" = 1'-0".



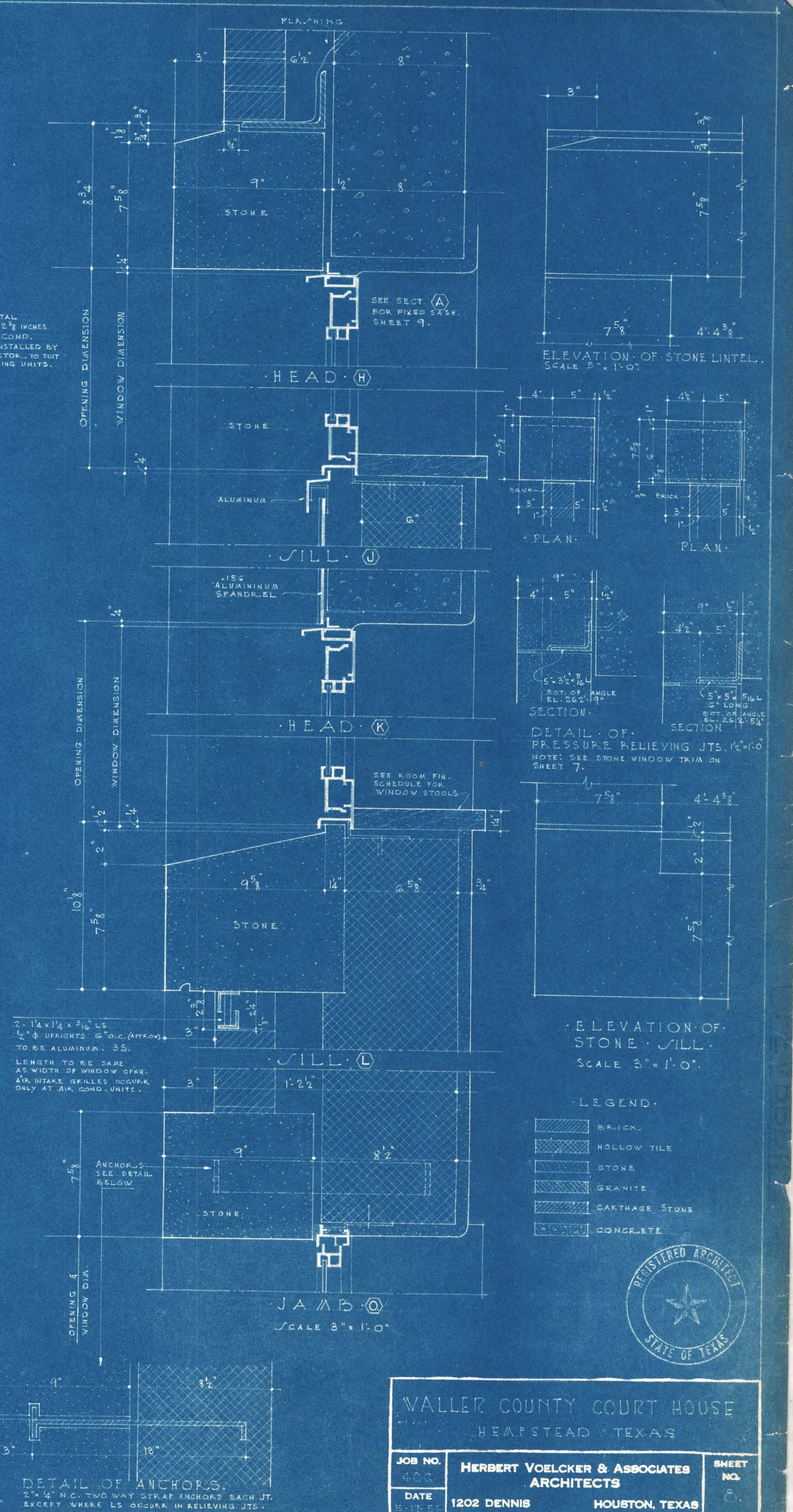
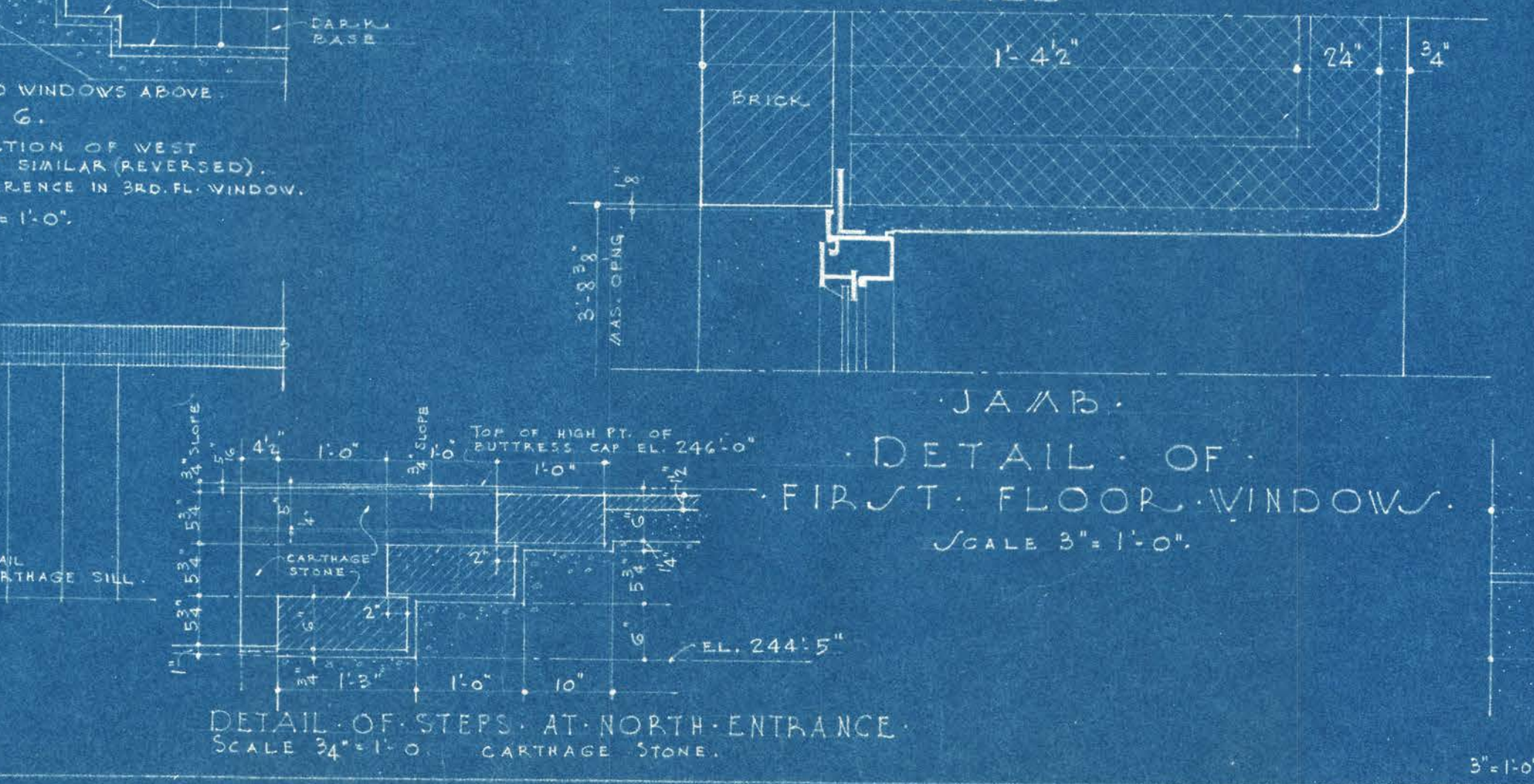
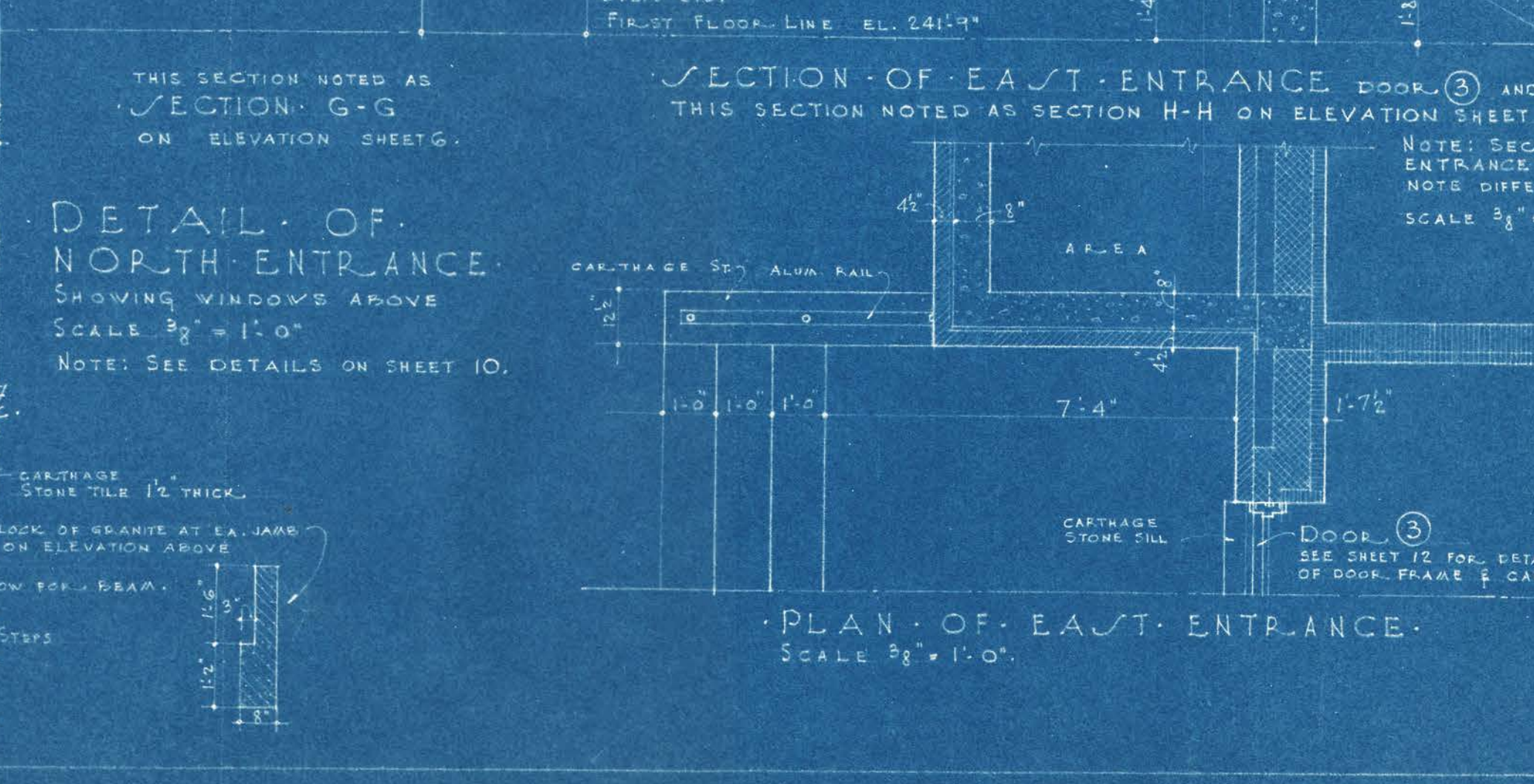
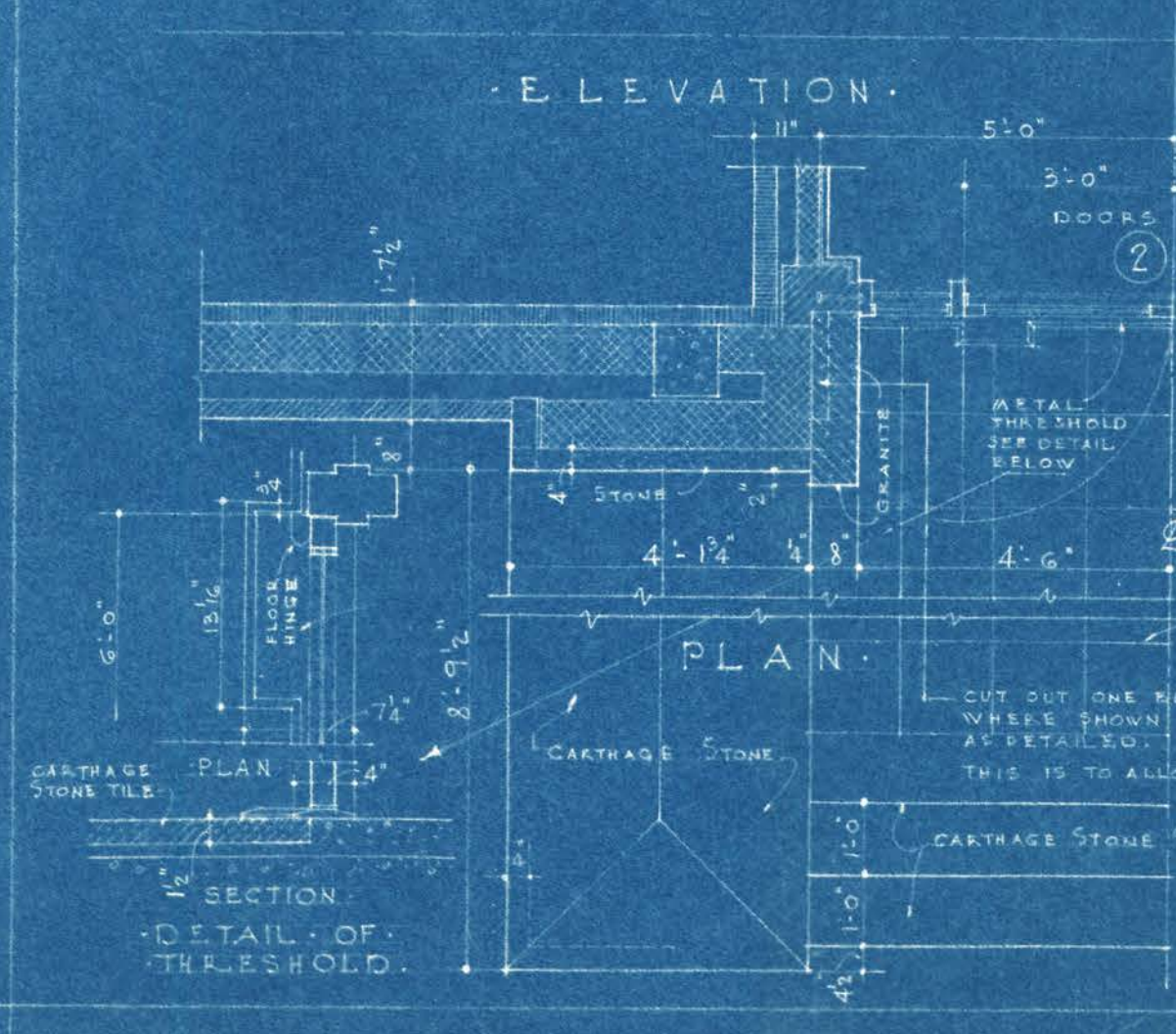
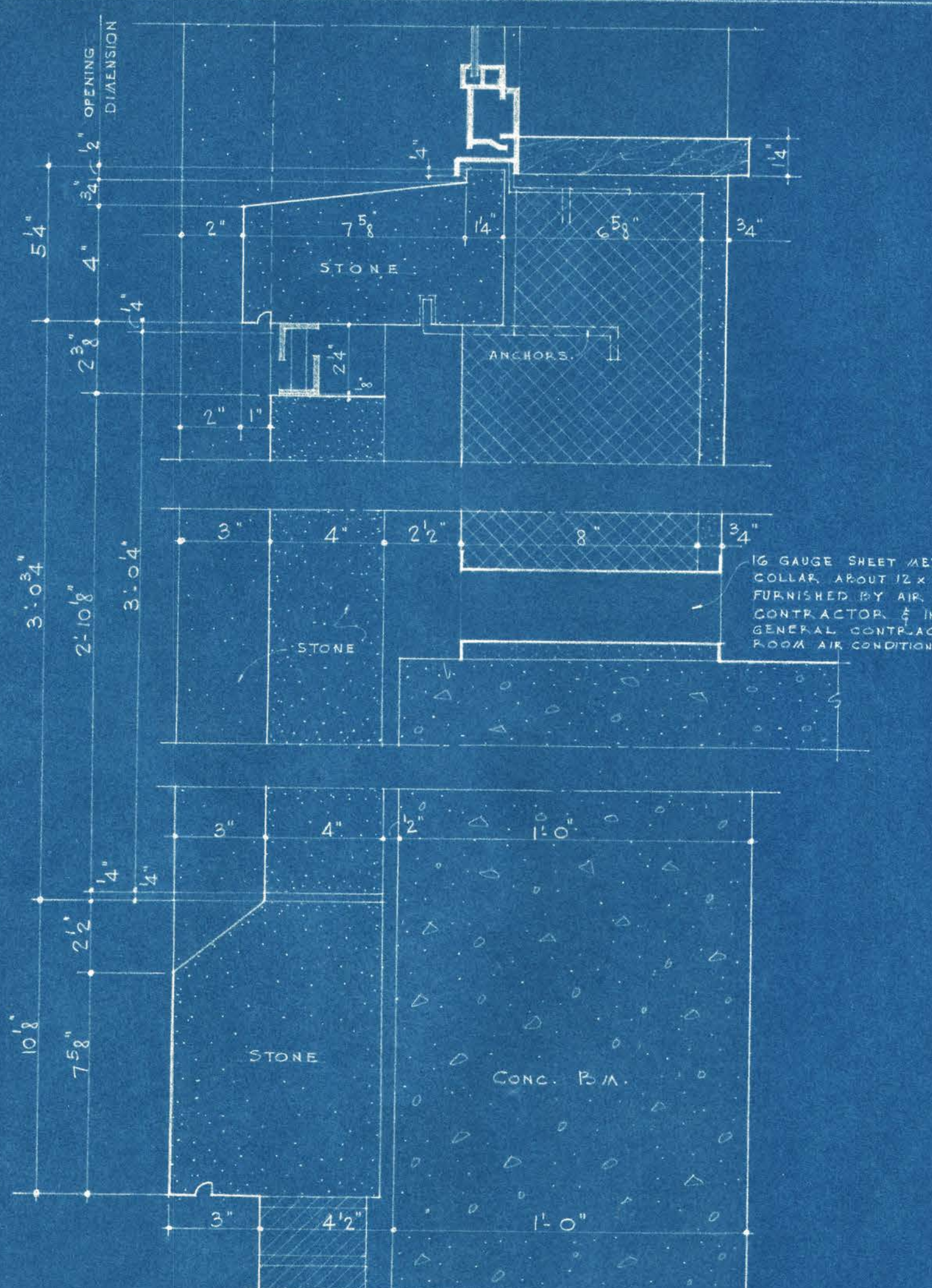
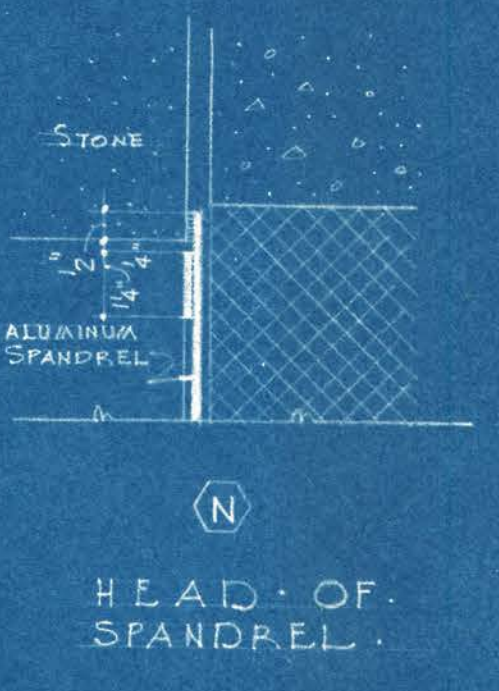
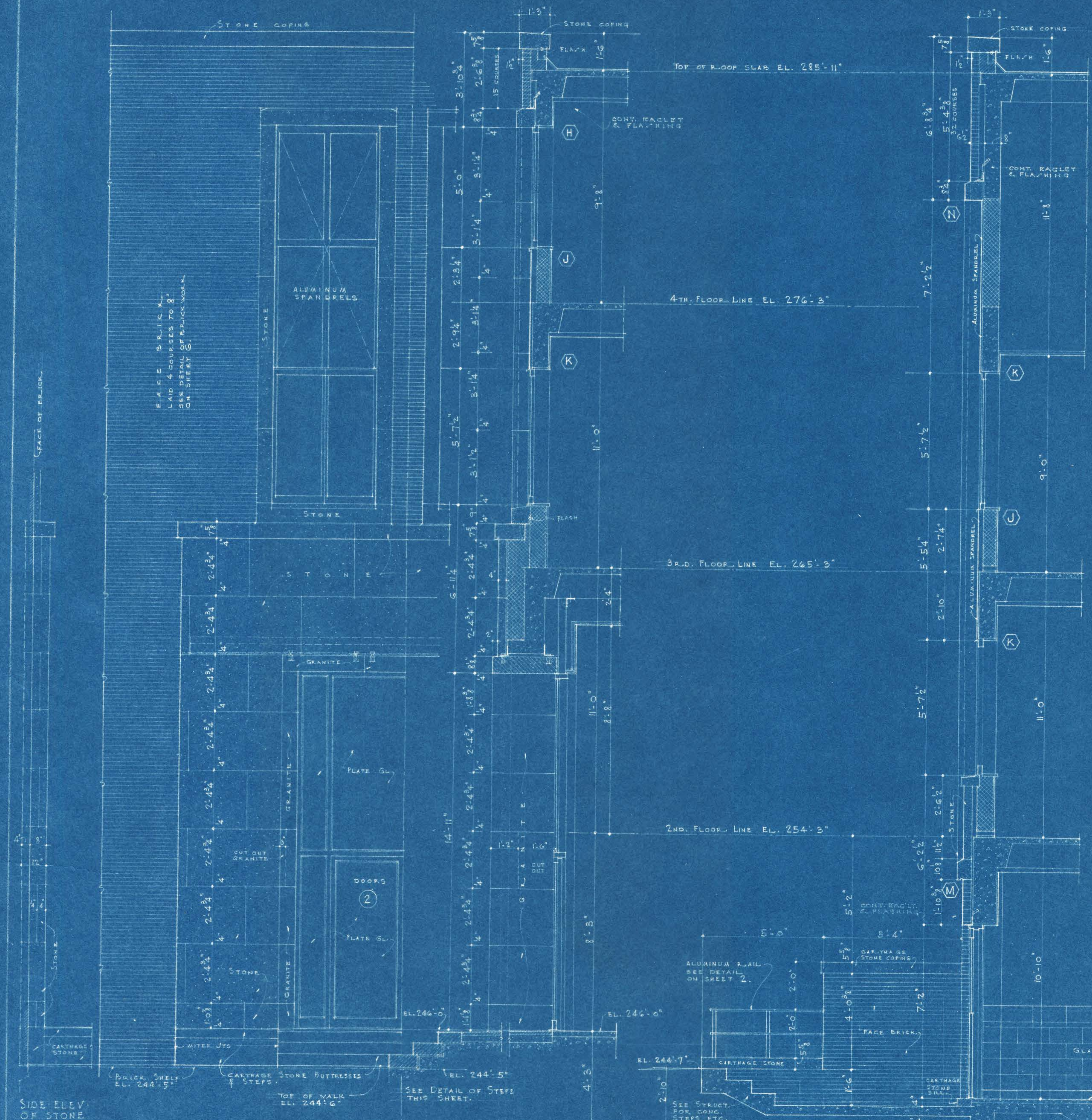
WALLER COUNTY COURT HOUSE  
HEMPSTEAD, TEXAS

JOB NO. 40C  
DATE 5-17-54

HERBERT VOELCKER & ASSOCIATES  
ARCHITECTS  
1202 DENNIS  
HOUSTON, TEXAS

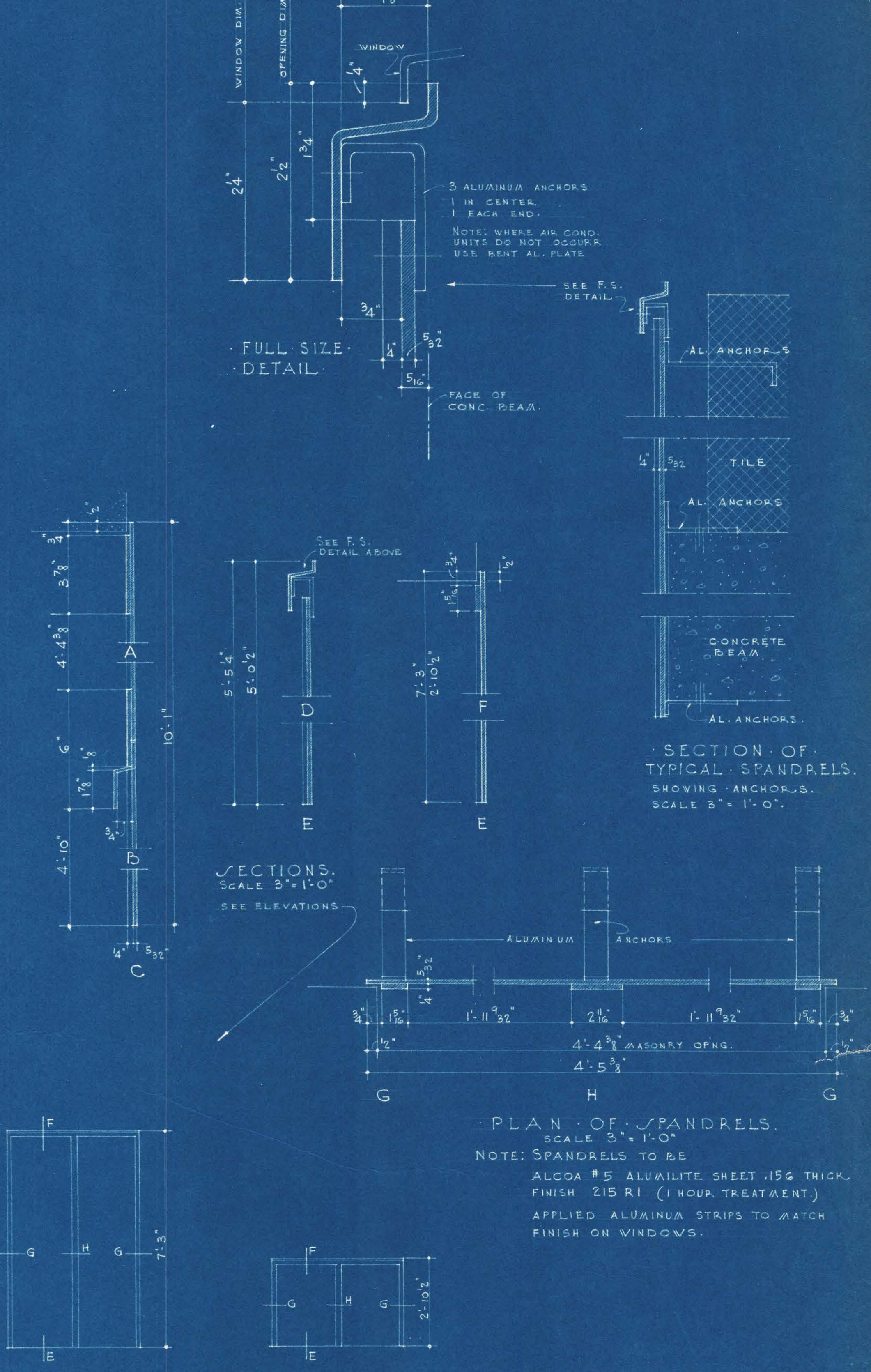
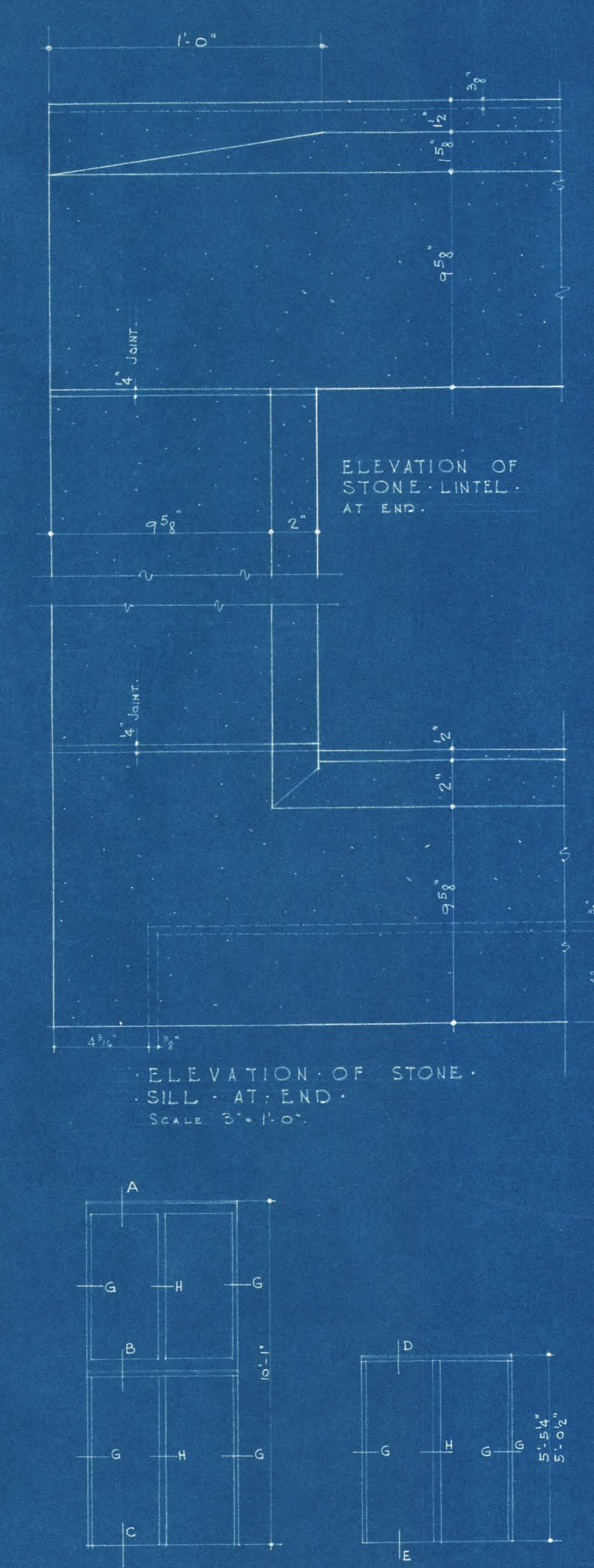
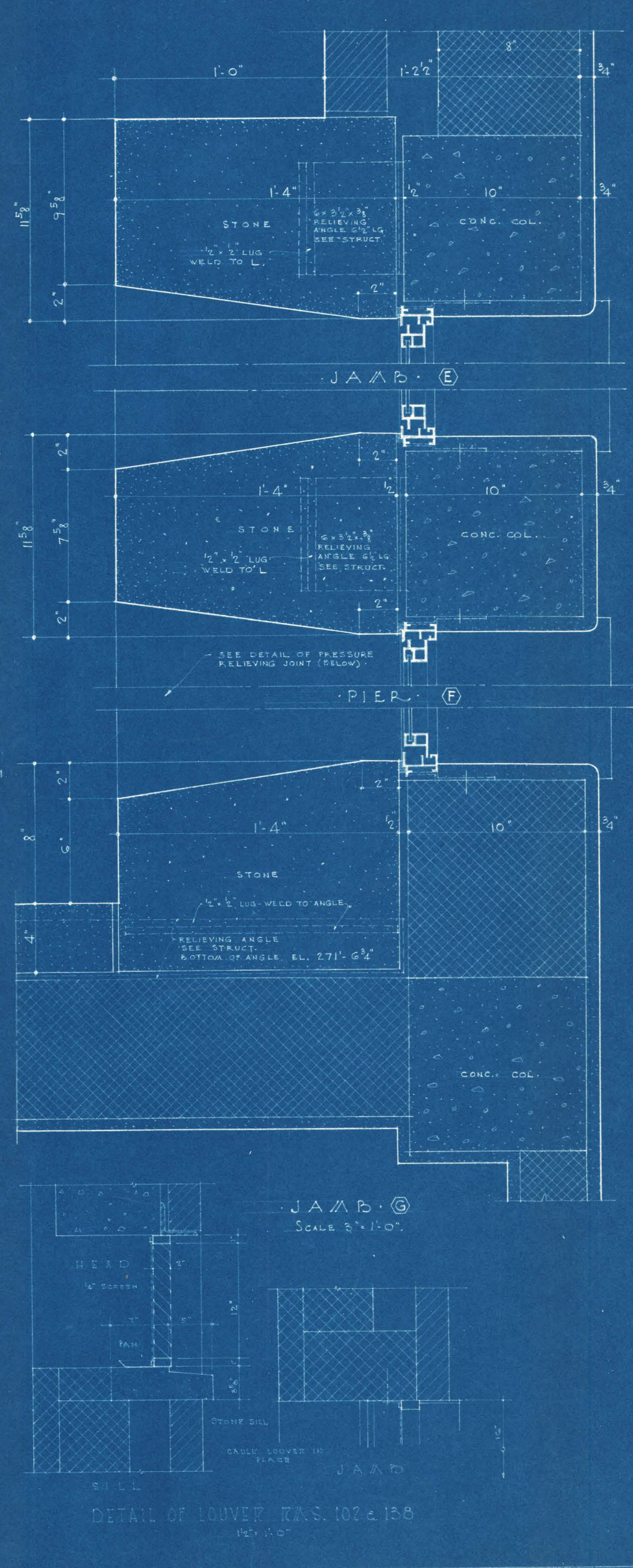
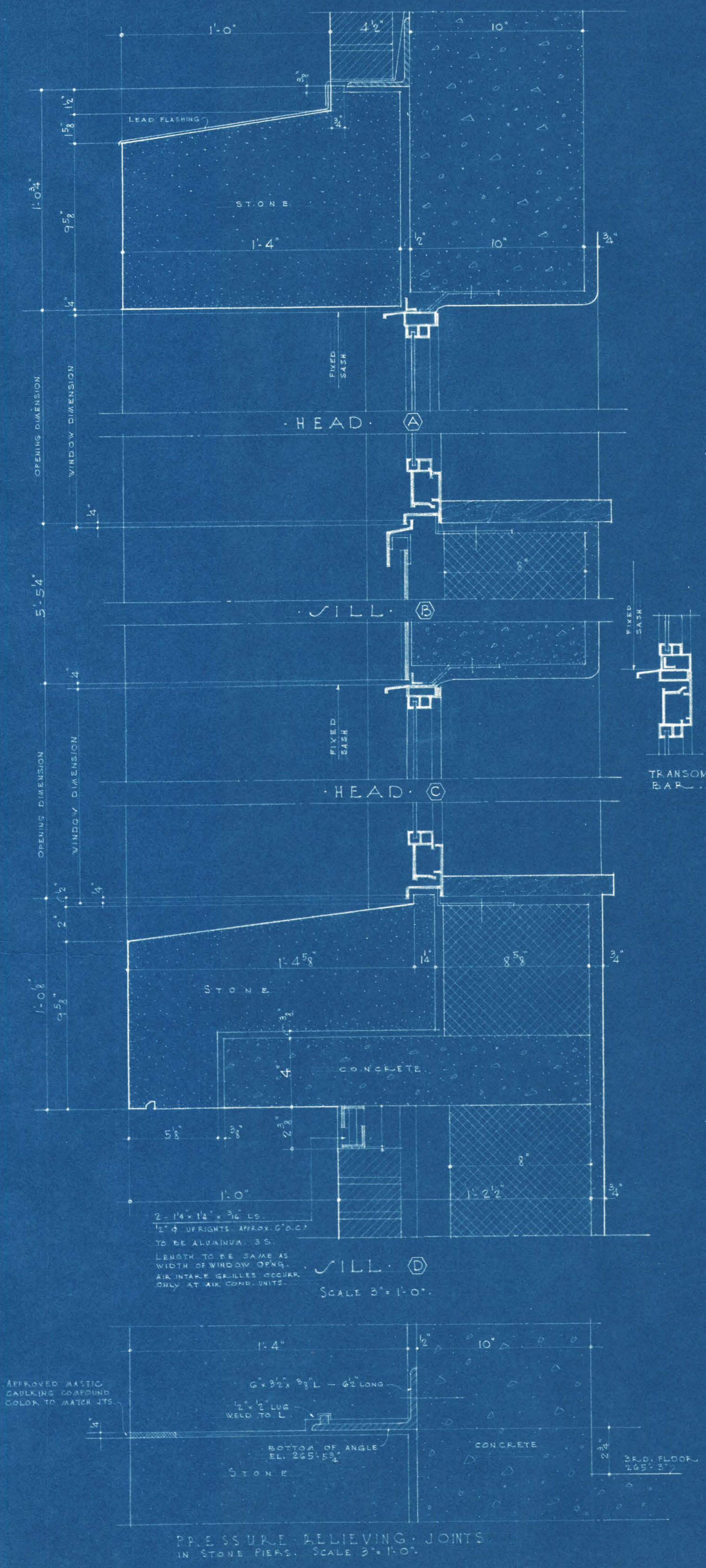
SHEET NO. 7





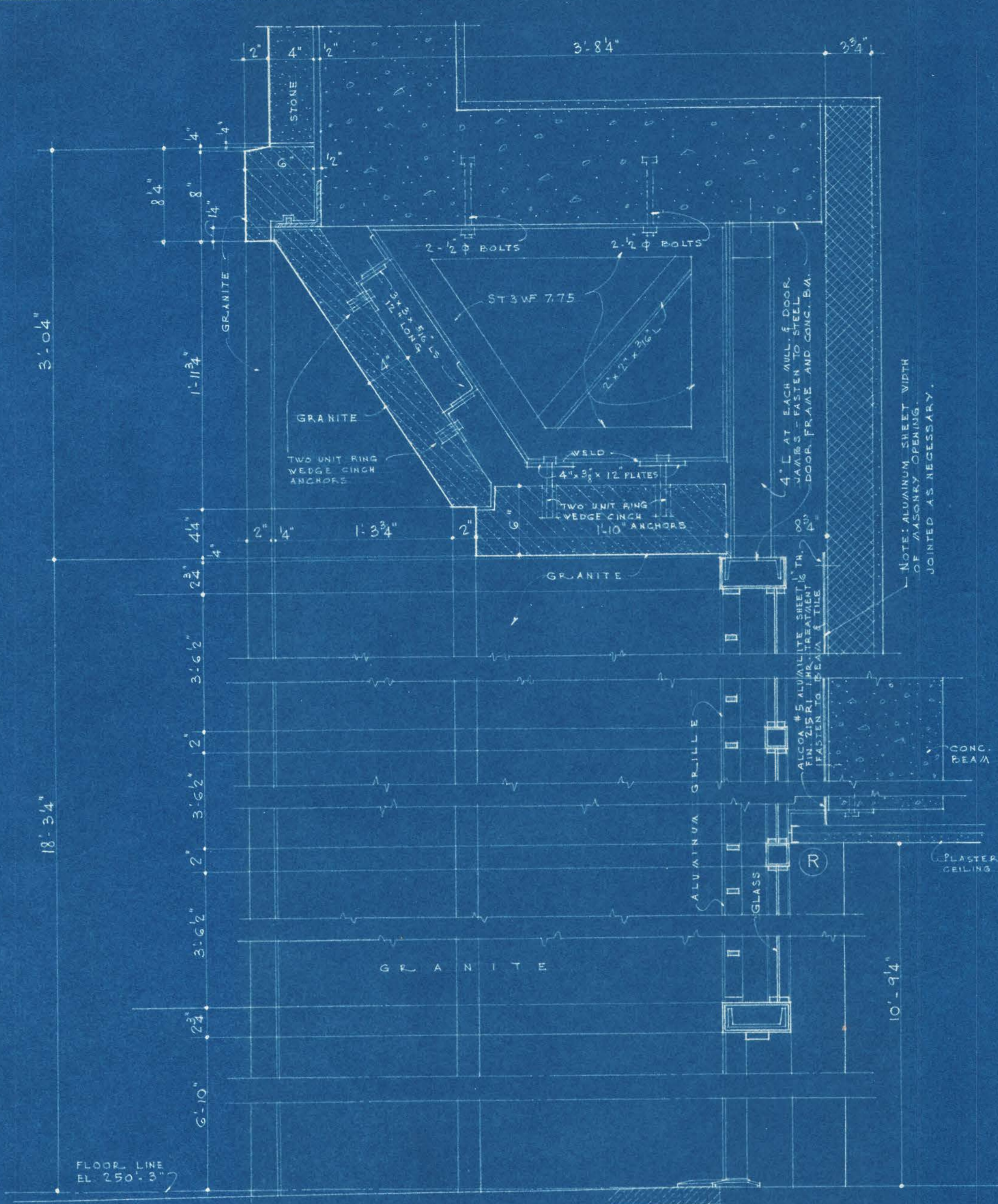
**WALLER COUNTY COURT HOUSE**  
 HEARSTAD, TEXAS  
**HERBERT VOELCKER & ASSOCIATES ARCHITECTS**  
 1202 DENNIS HOUSTON, TEXAS  
 JOB NO. 400  
 DATE 5-17-54  
 SHEET NO. 8



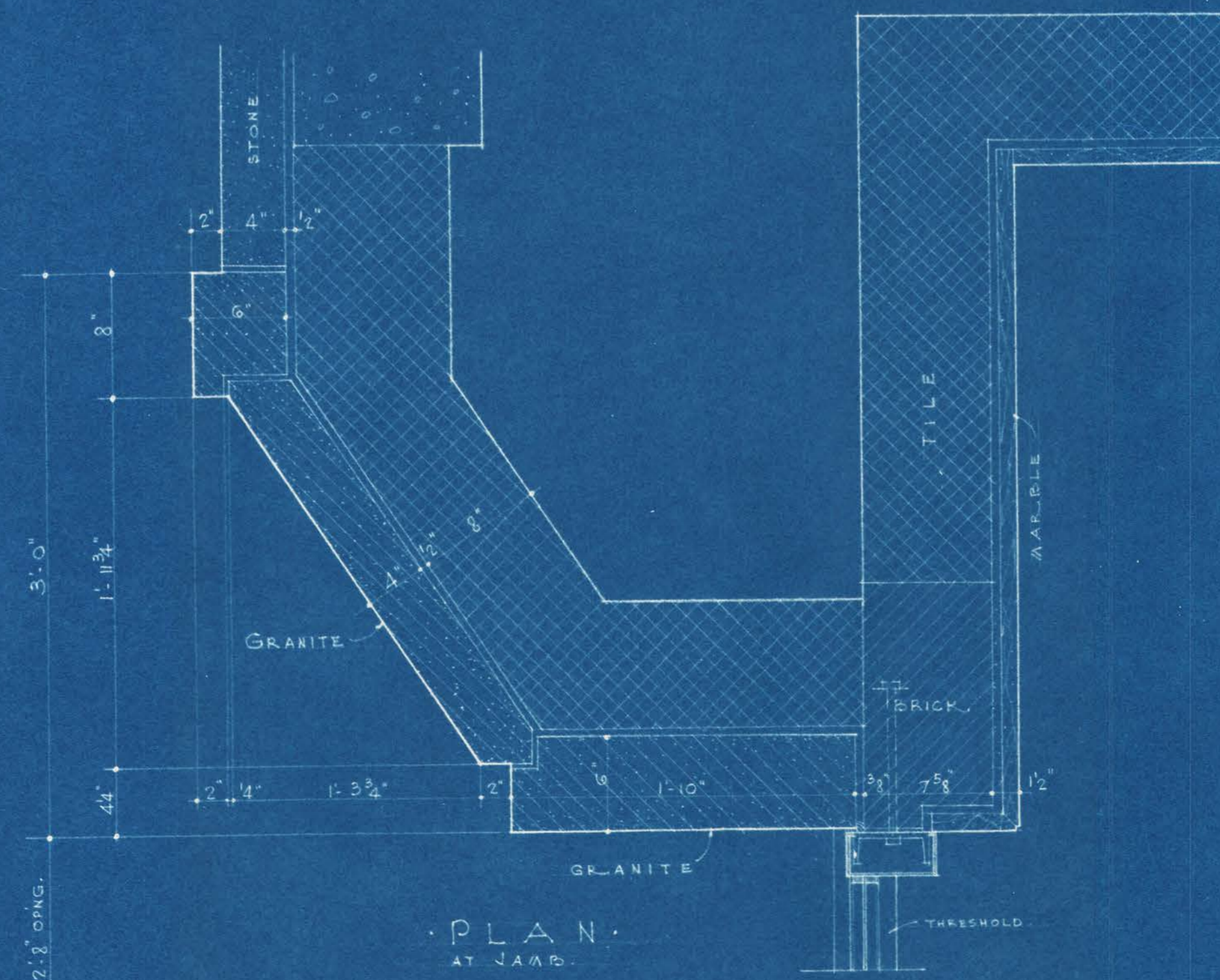


WALLET COUNTY COURT HOUSE HEATSTEAD TEXAS		
JOB NO. 402	HERBERT VOELCKER & ASSOCIATES ARCHITECTS	SHEET NO. 9
DATE 5.17.54	1202 DENNIS HOUSTON, TEXAS	

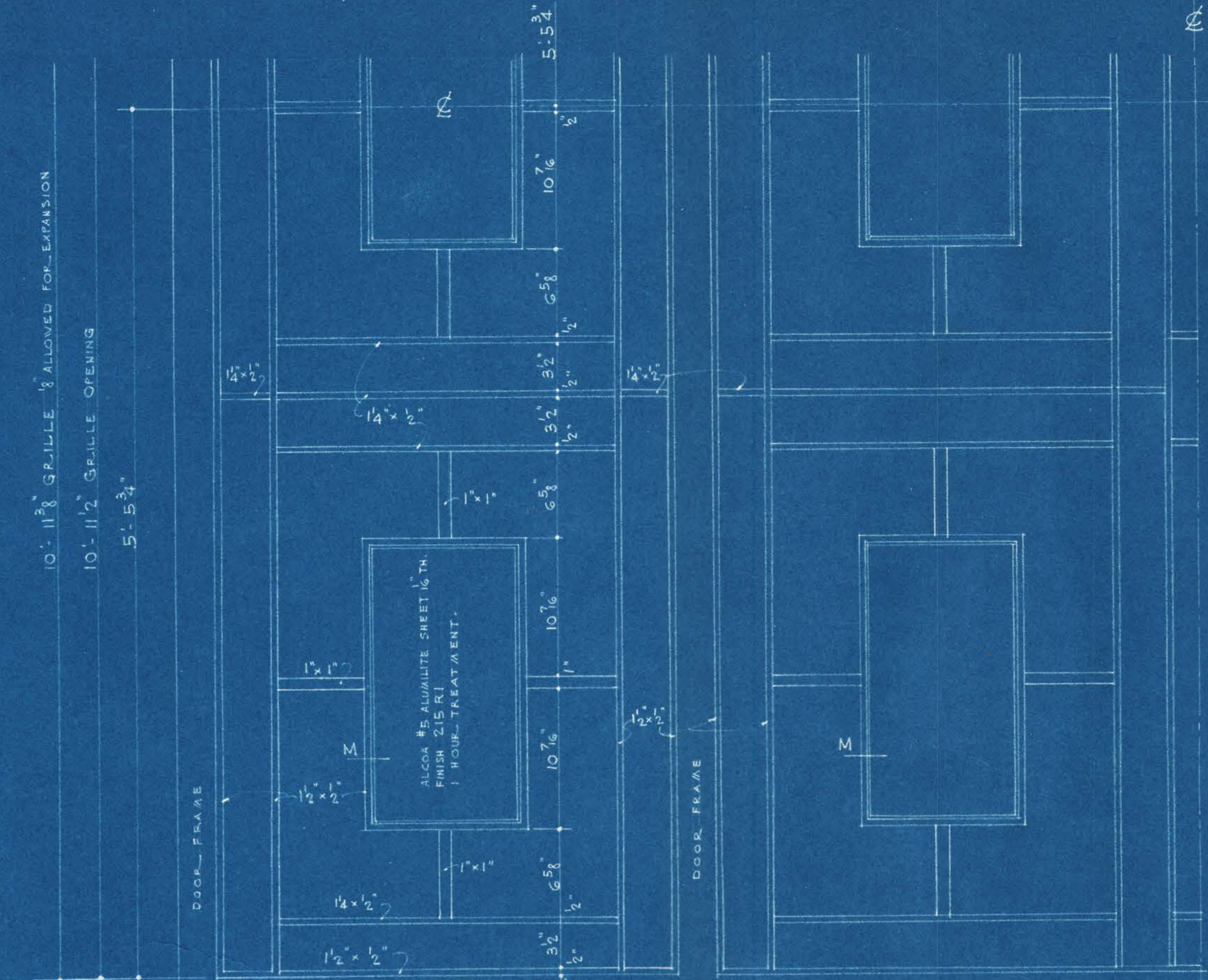




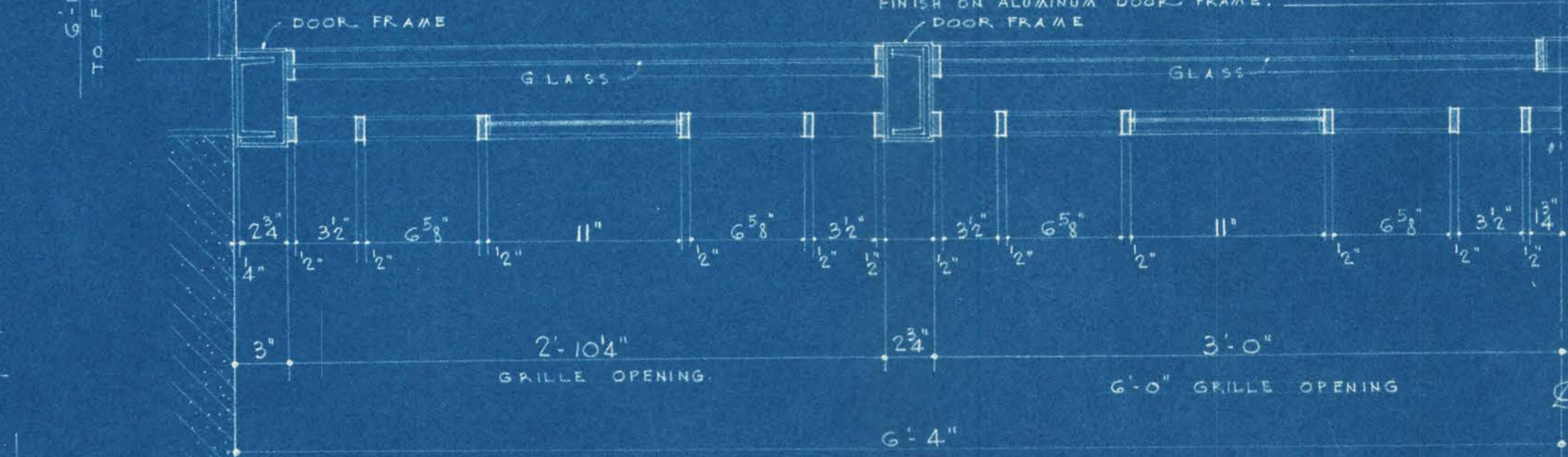
SECTION AT HEAD



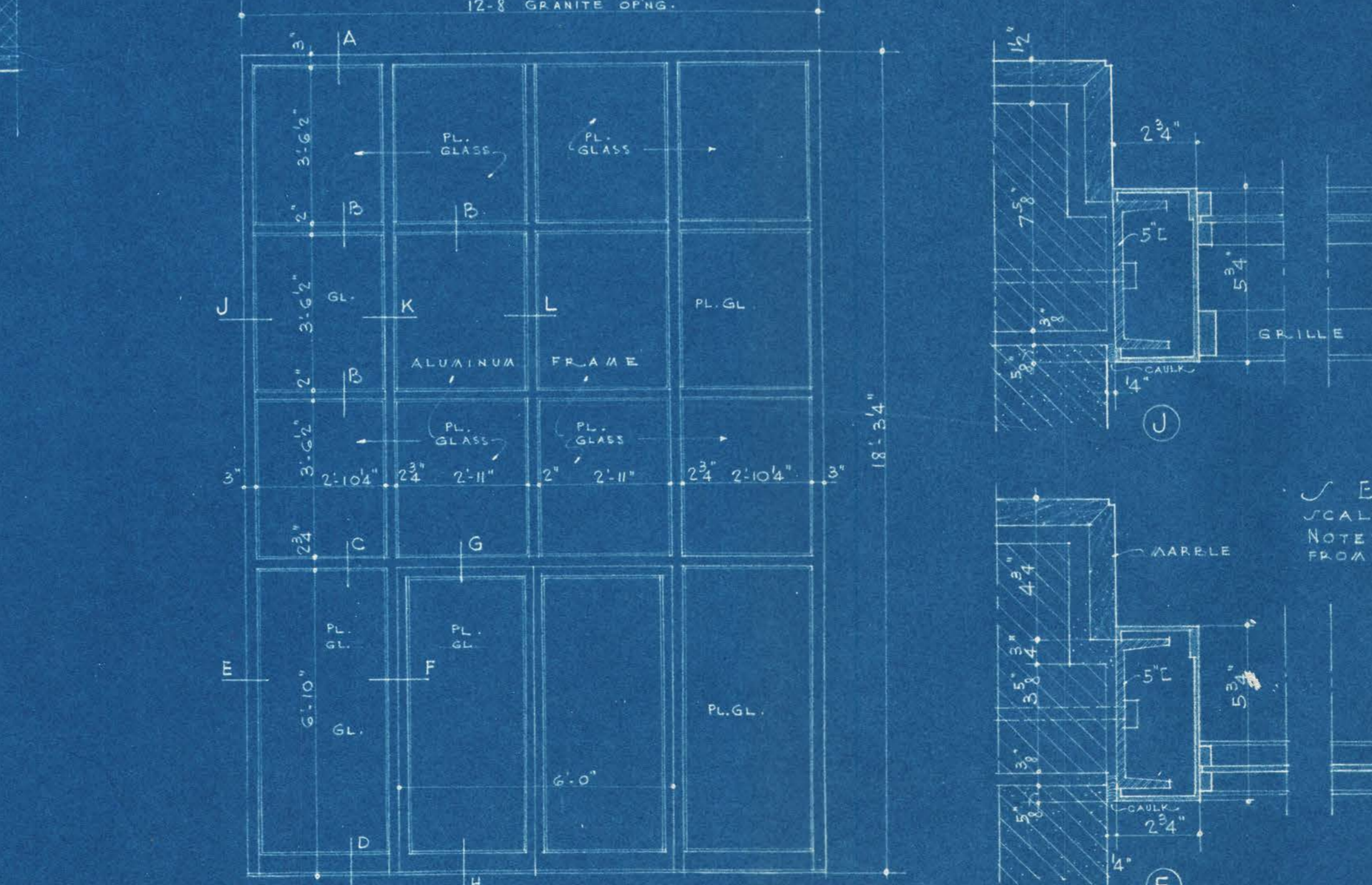
DETAIL OF SOUTH ENTRANCE DOORS SCHEDULED ① SCALE 1/2" = 1'-0"



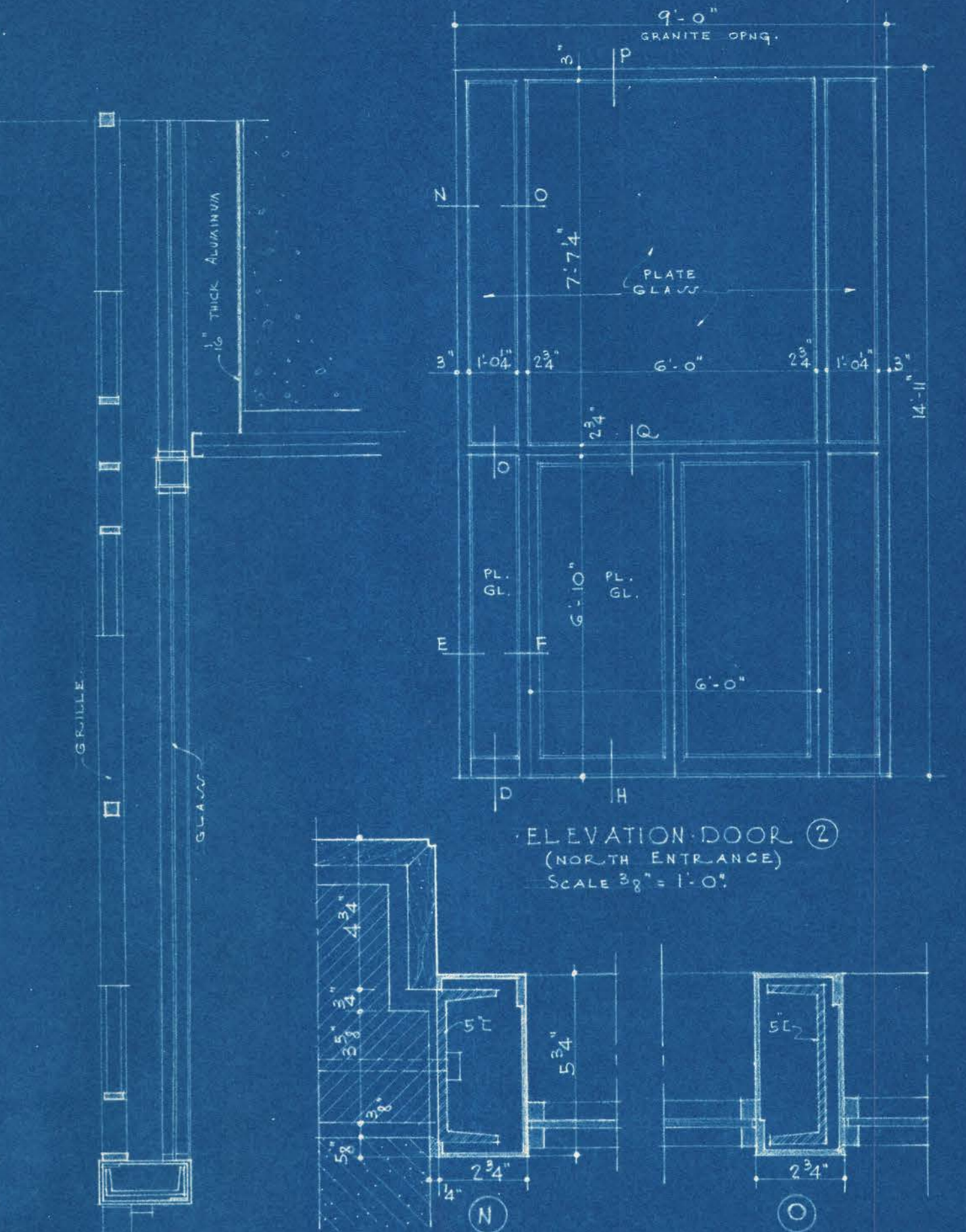
HALF ELEVATION OF GRILLE SCALE 1/2" = 1'-0"



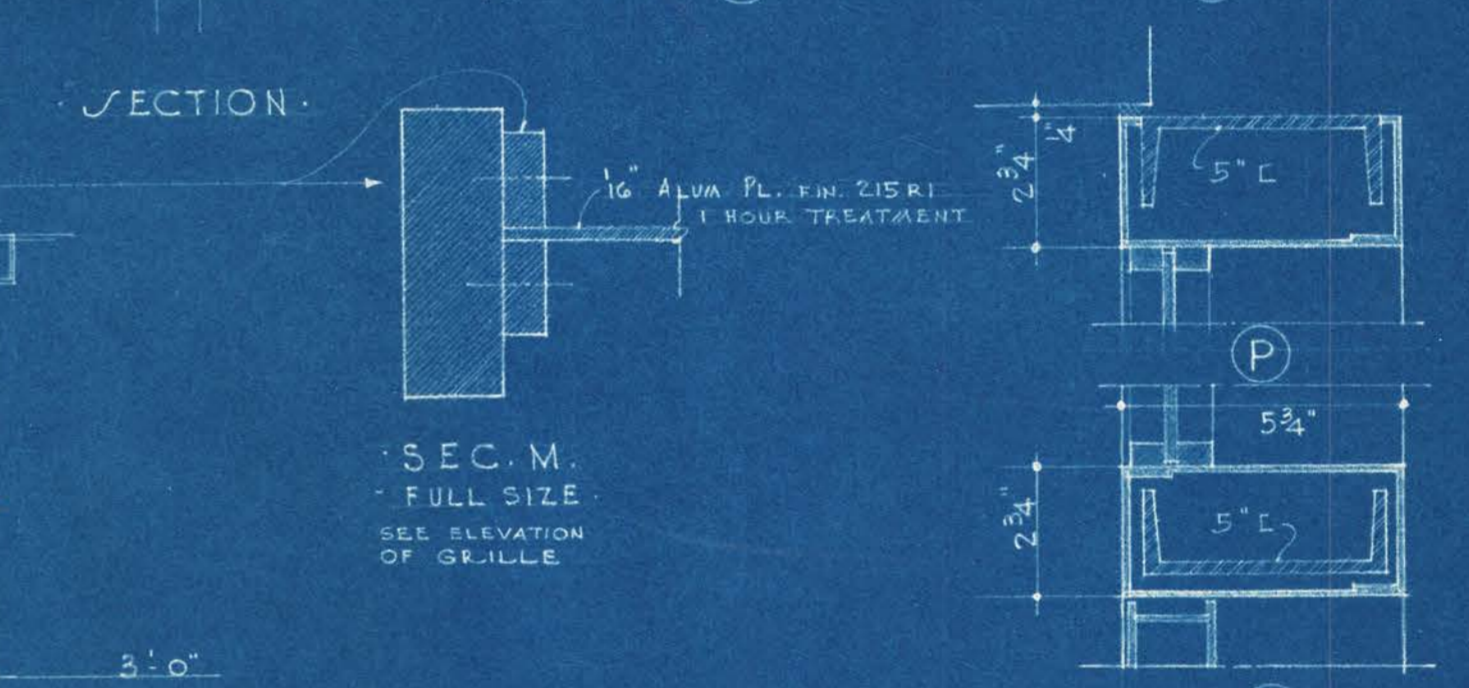
HALF PLAN OF GRILLE SCALE 1/2" = 1'-0"



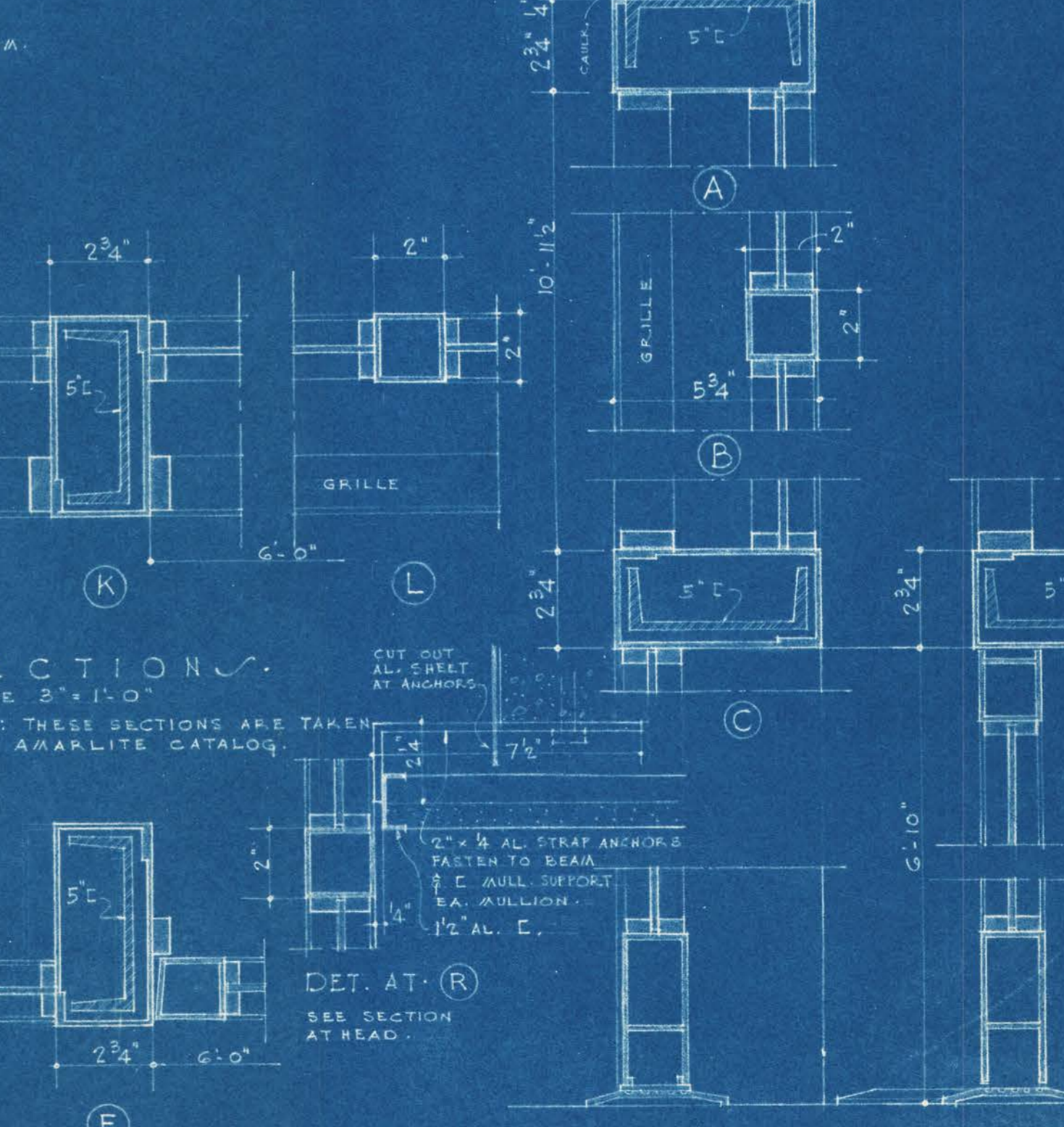
ELEVATION DOOR ① (SOUTH ENTRANCE) GRILLE NOT SHOWN SCALE 3/8" = 1'-0"



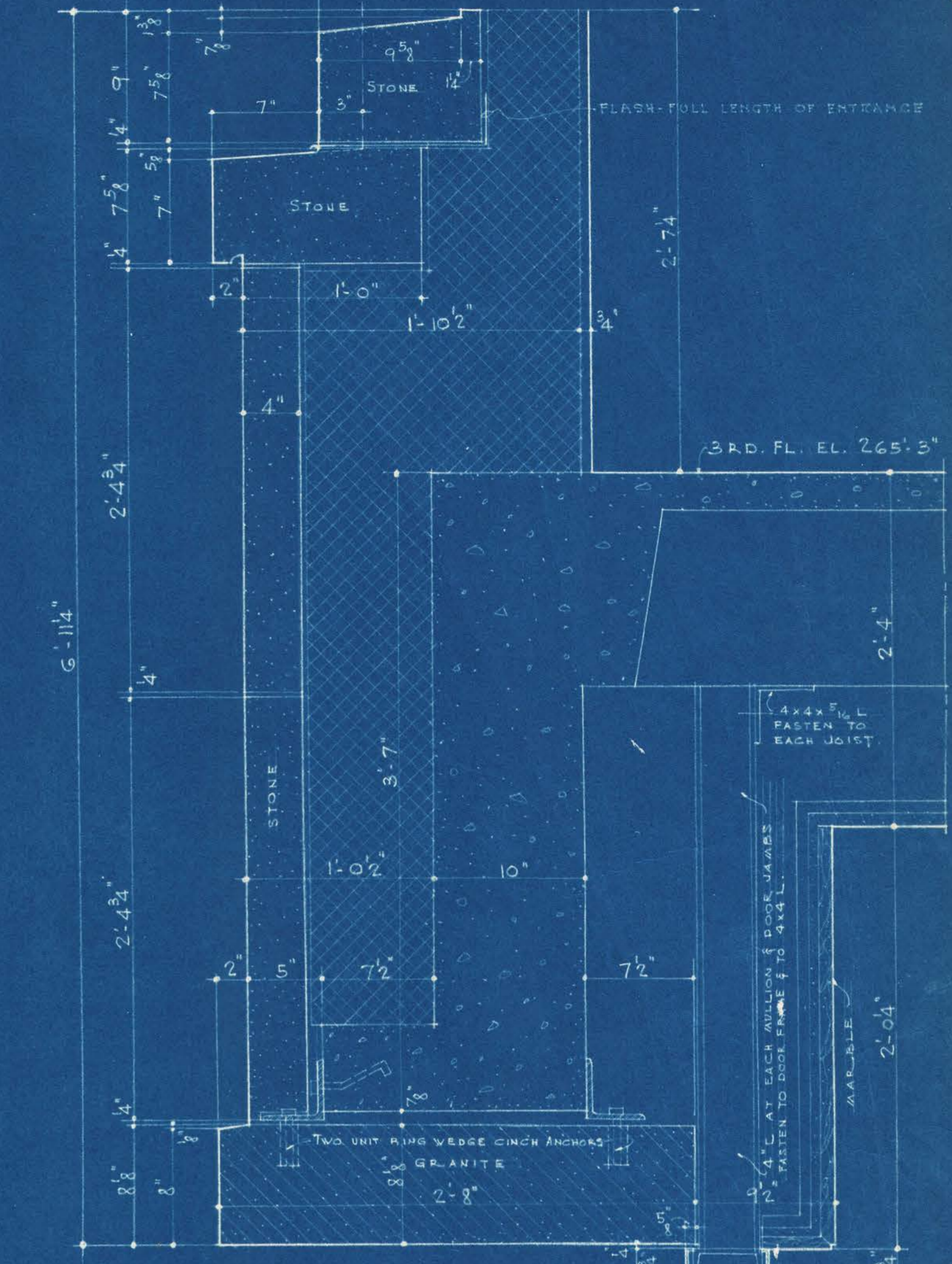
ELEVATION DOOR ② (NORTH ENTRANCE) SCALE 3/8" = 1'-0"



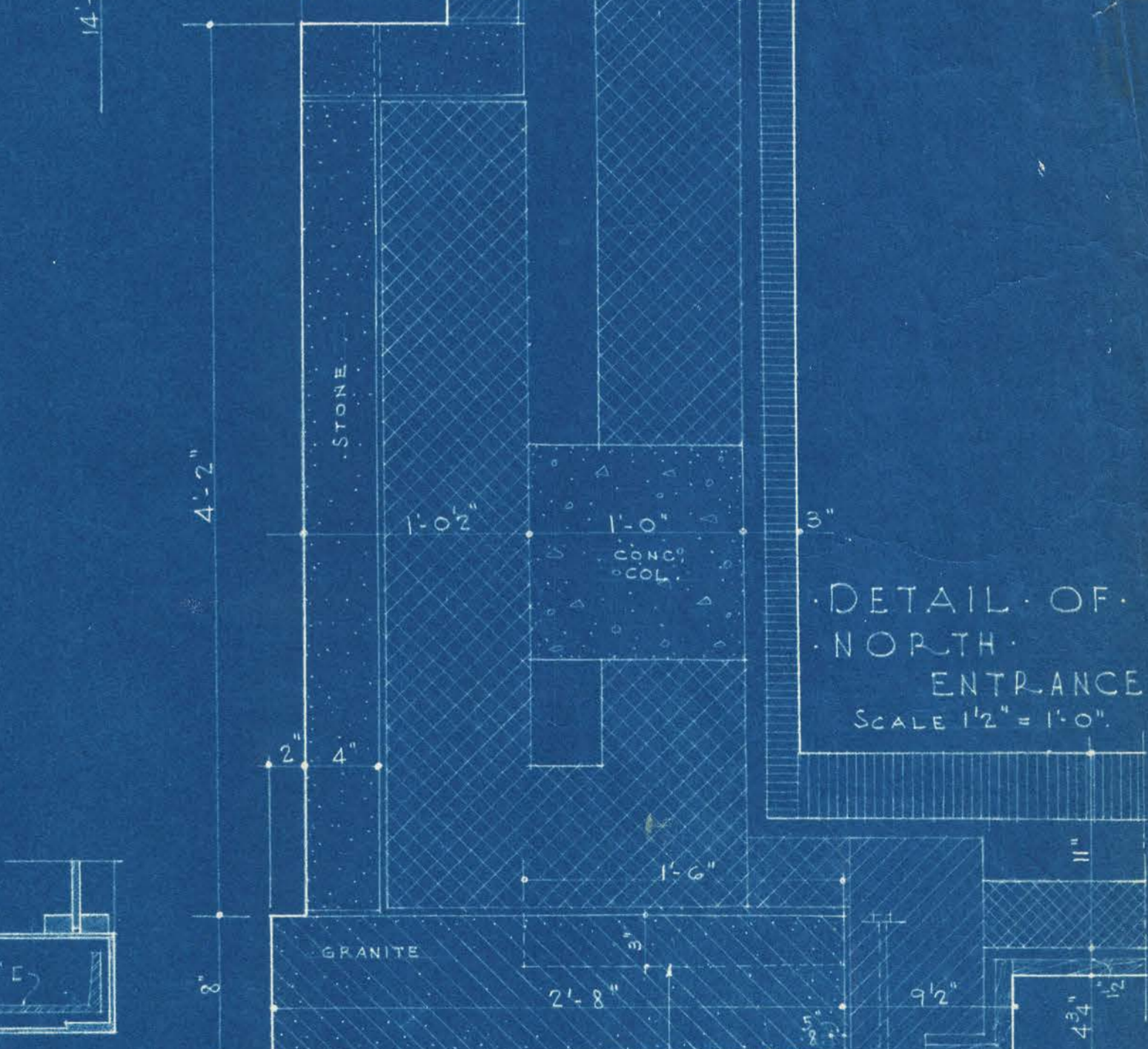
SECTION SCALE 3/8" = 1'-0"



SECTIONS SCALE 3/8" = 1'-0"



SECTION AT HEAD



DETAIL OF NORTH ENTRANCE SCALE 1/2" = 1'-0"



PLAN AT JAMB

REGISTERED ARCHITECT  
STATE OF TEXAS

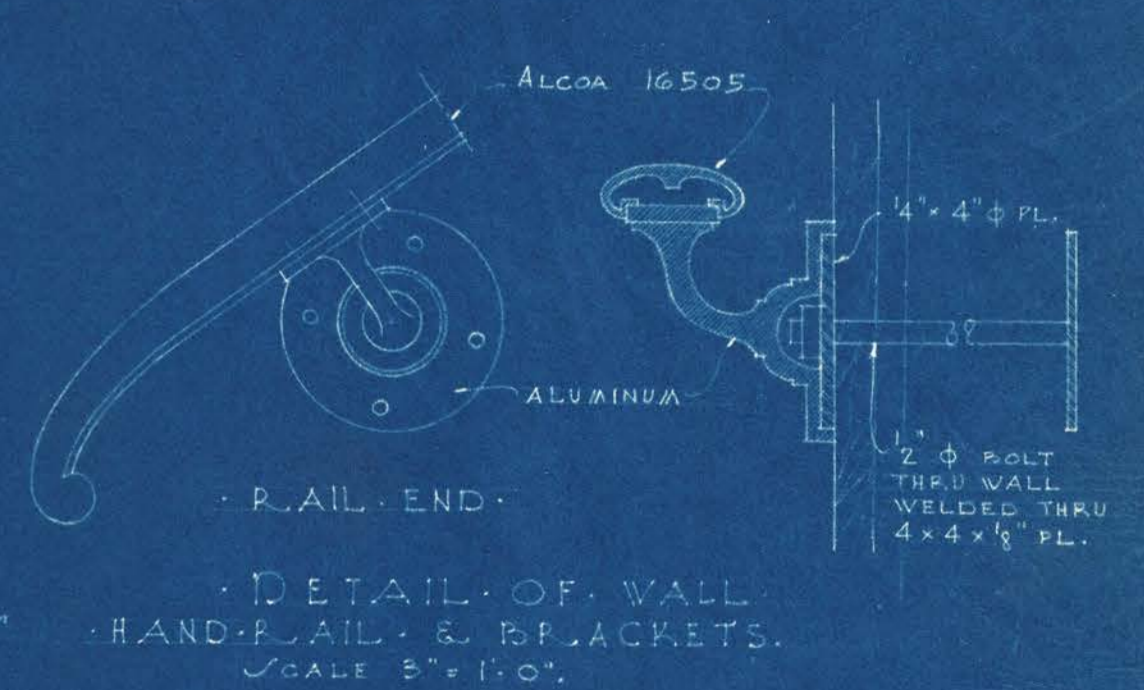
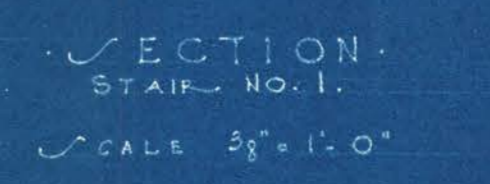
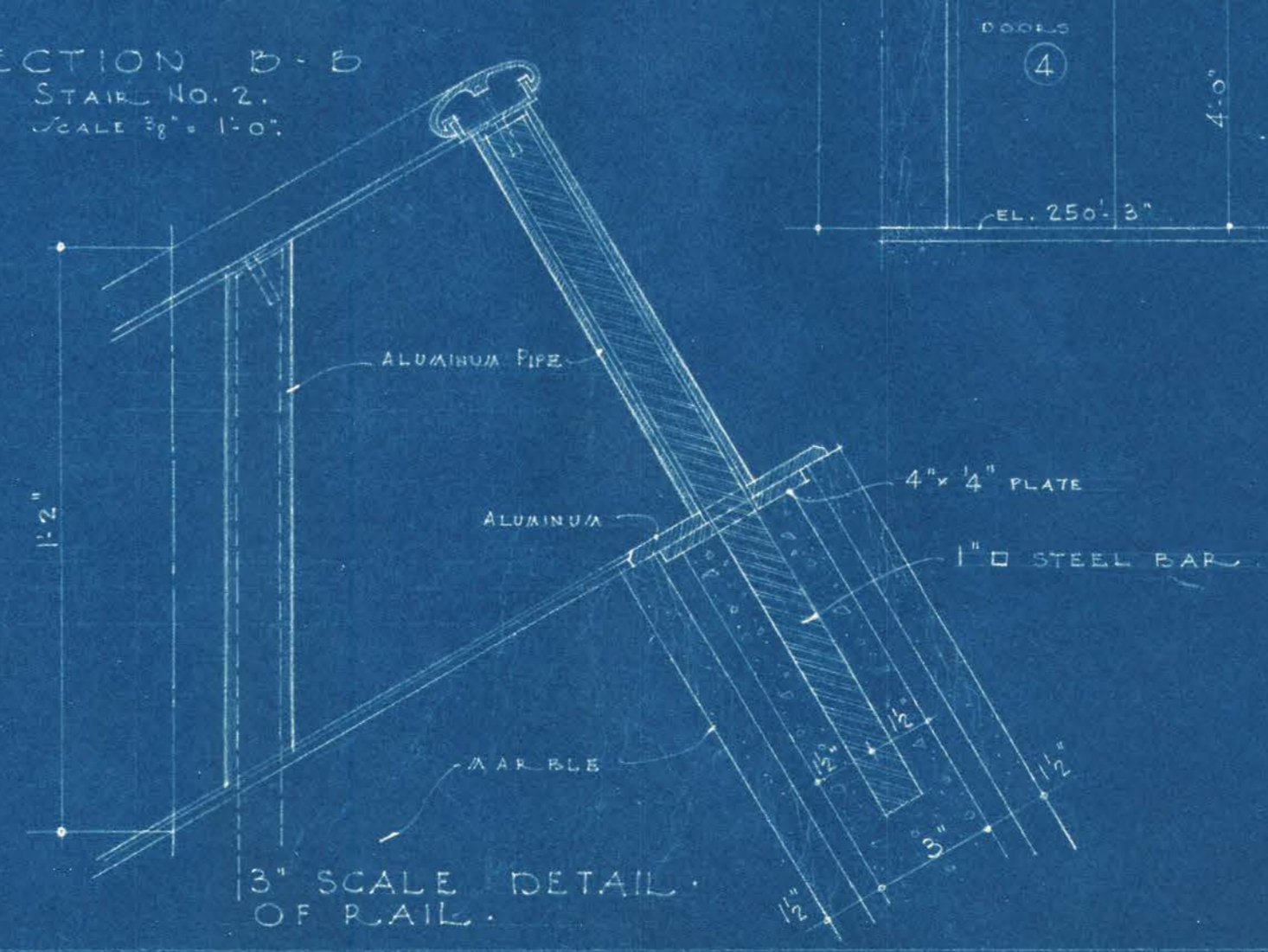
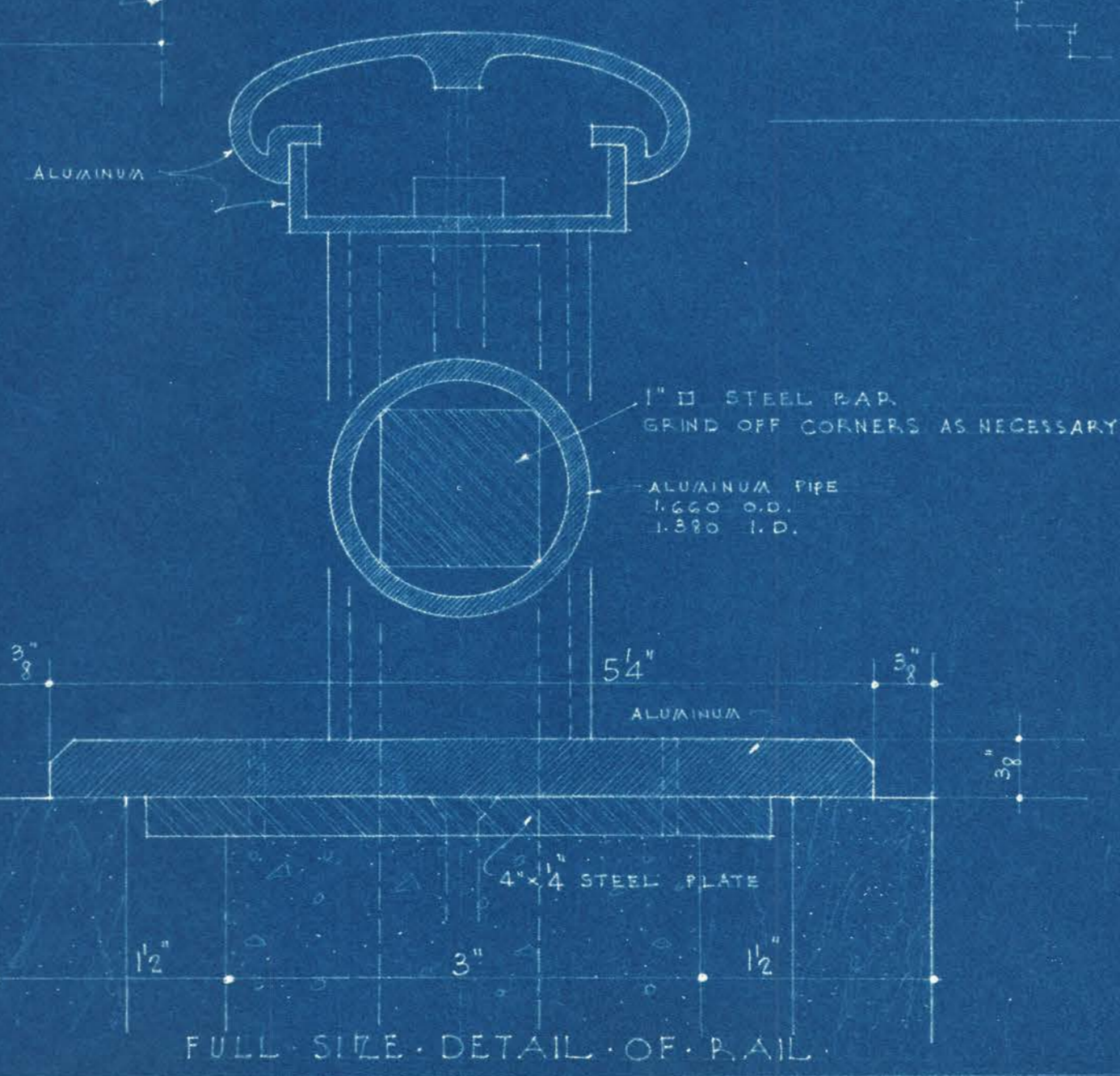
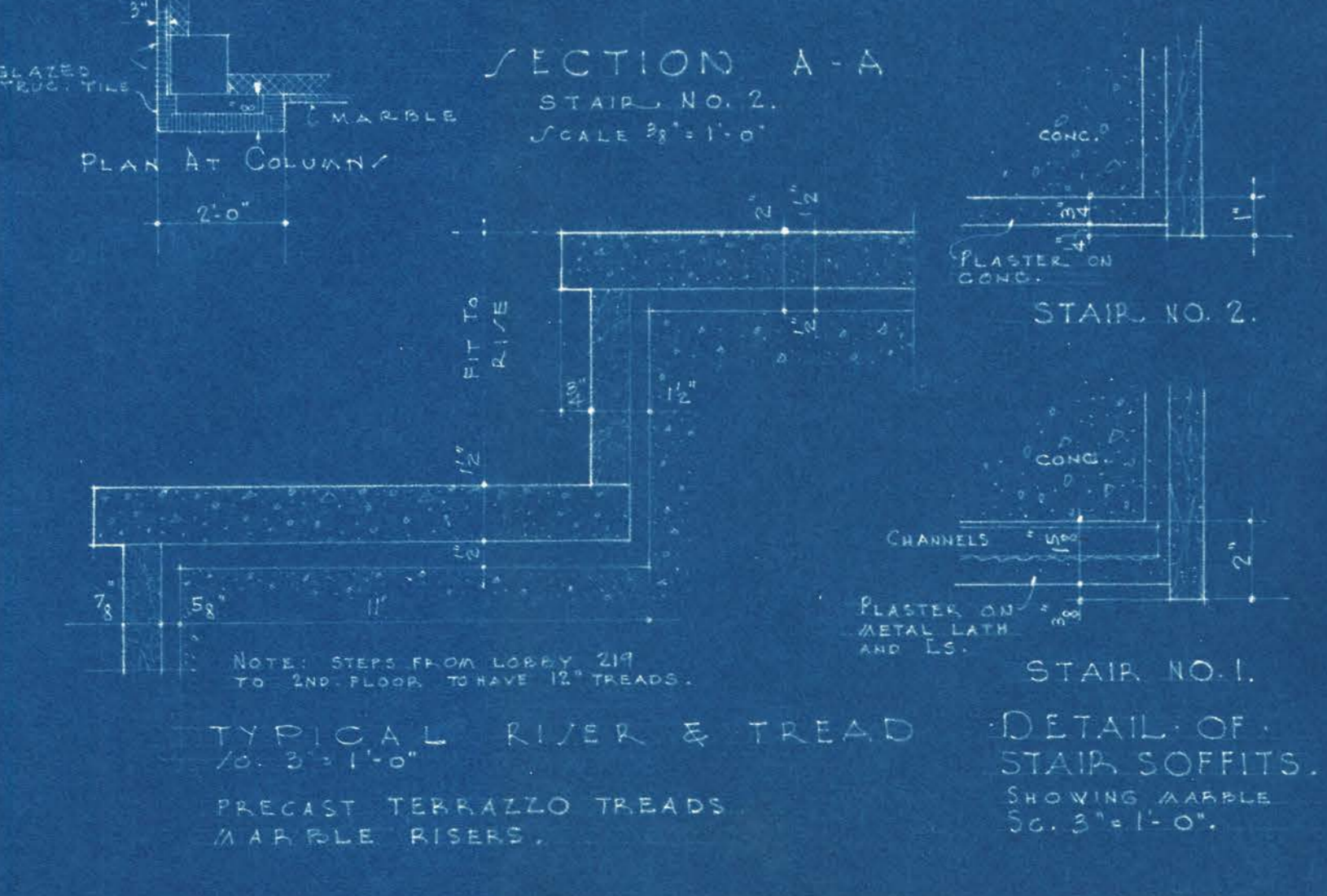
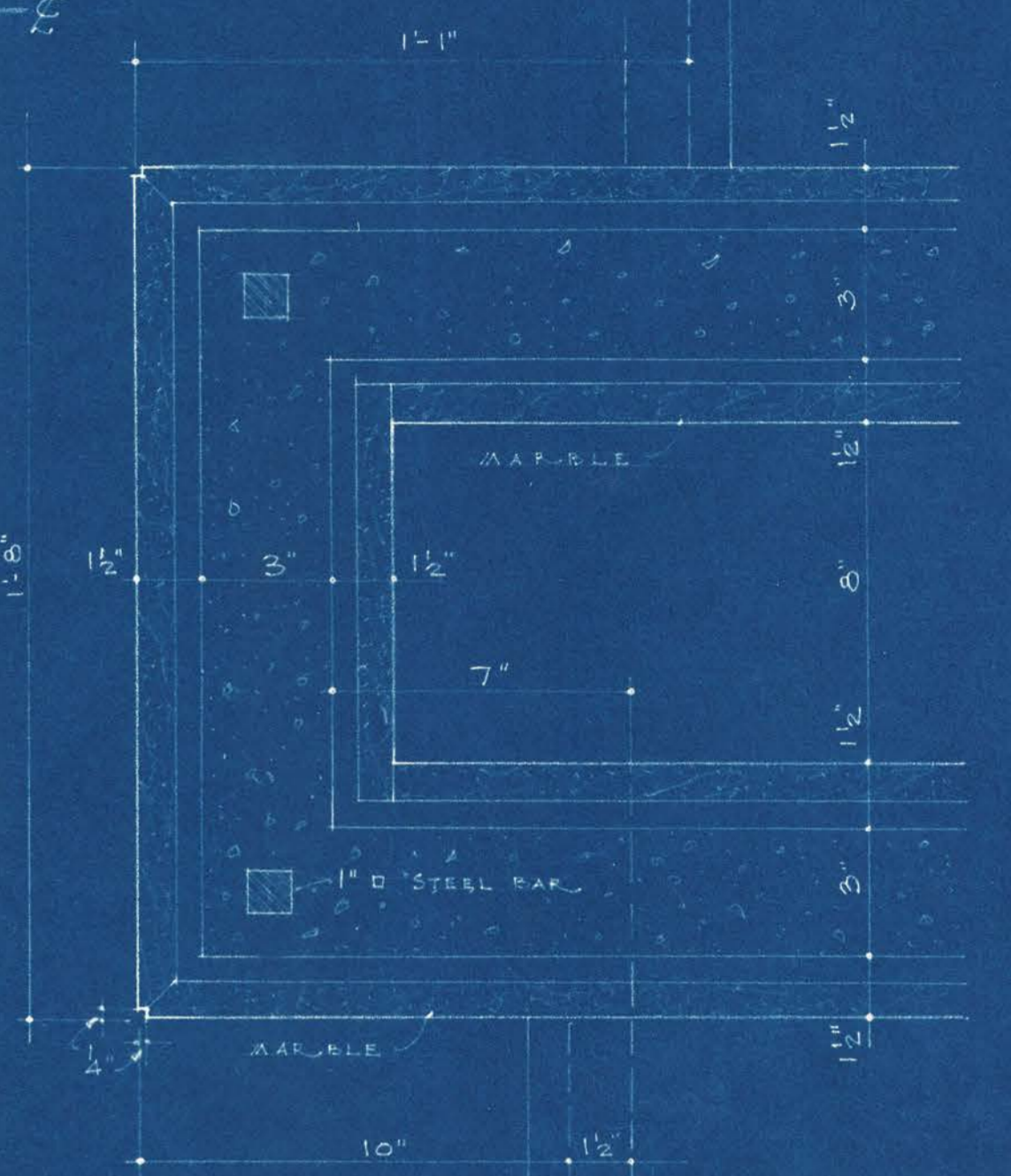
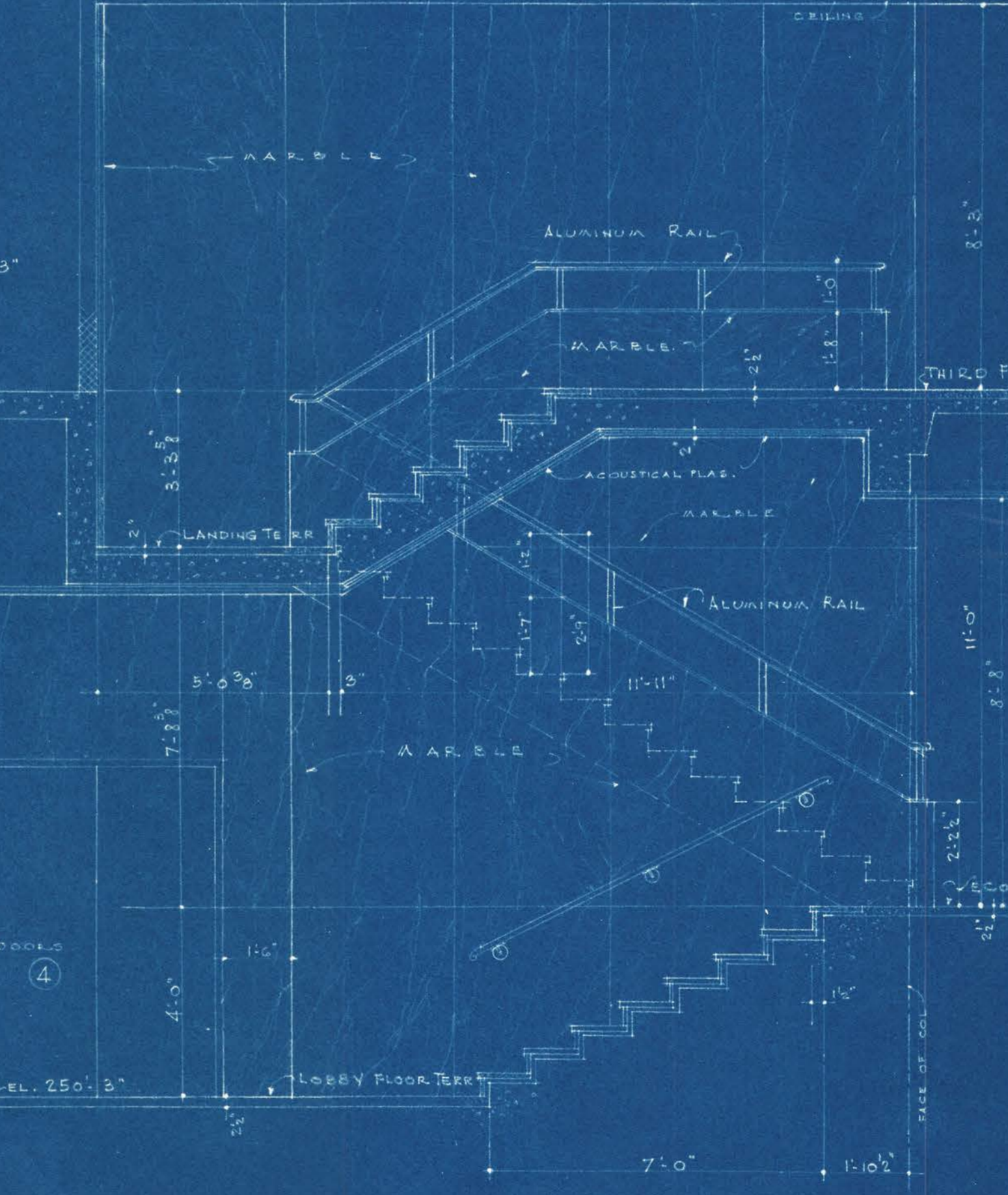
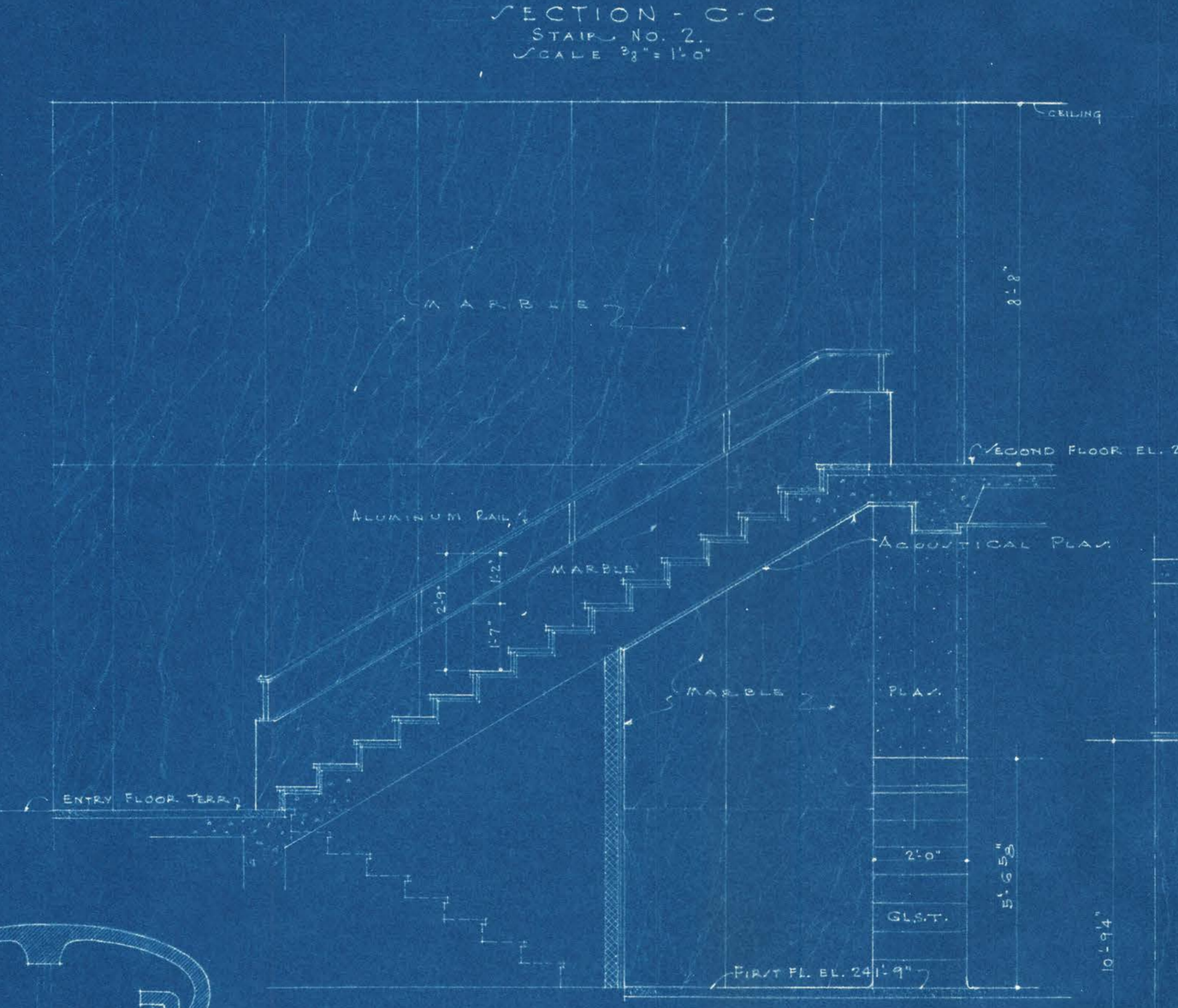
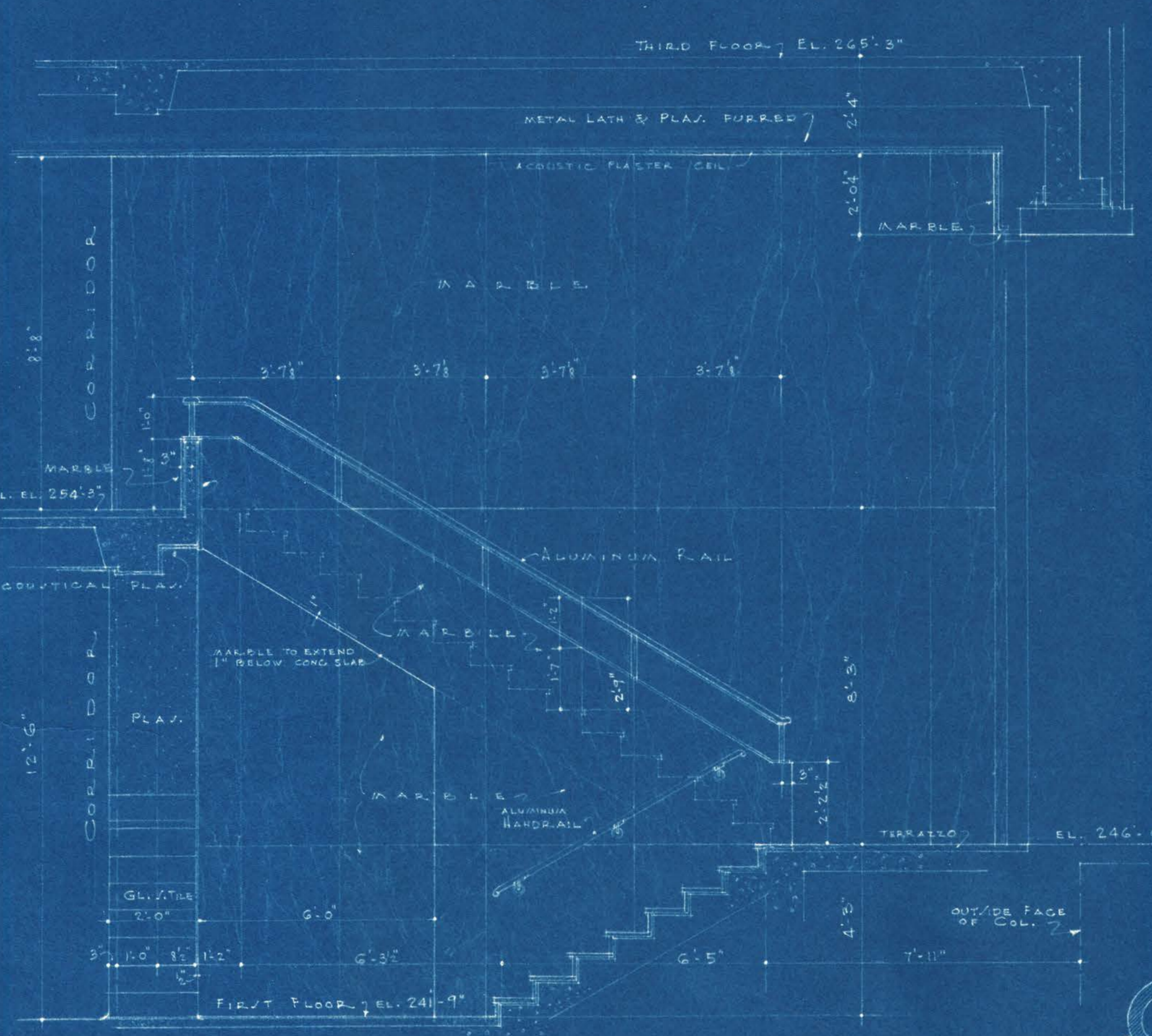
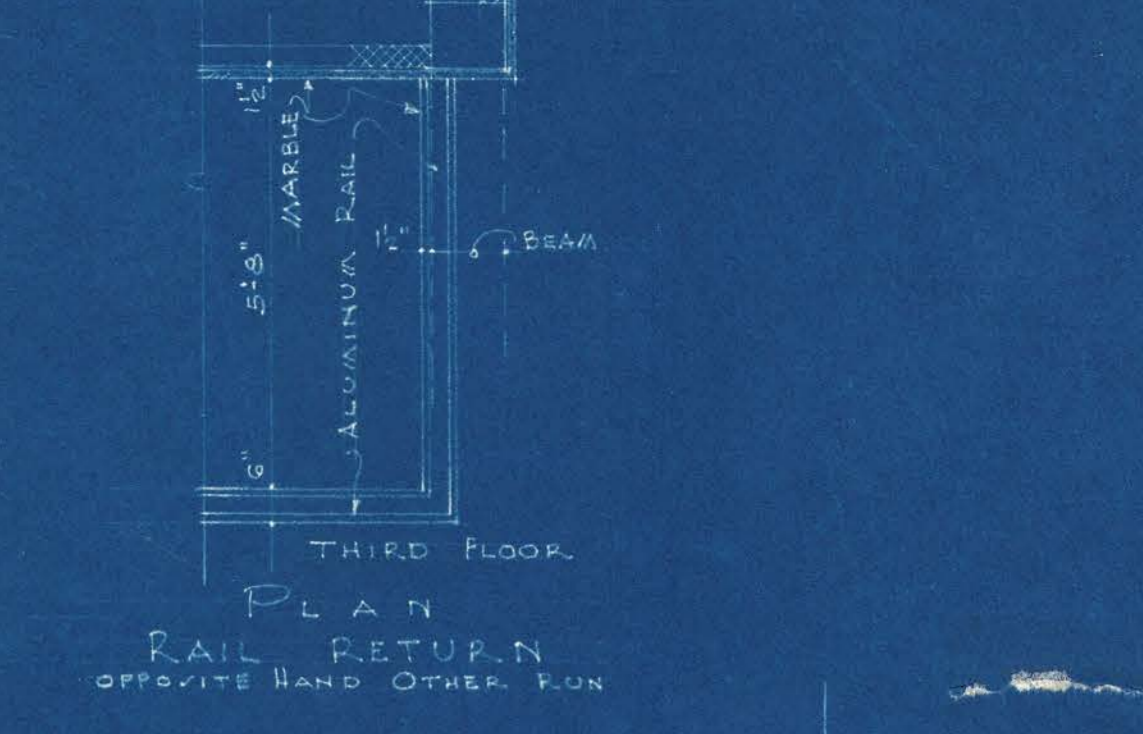
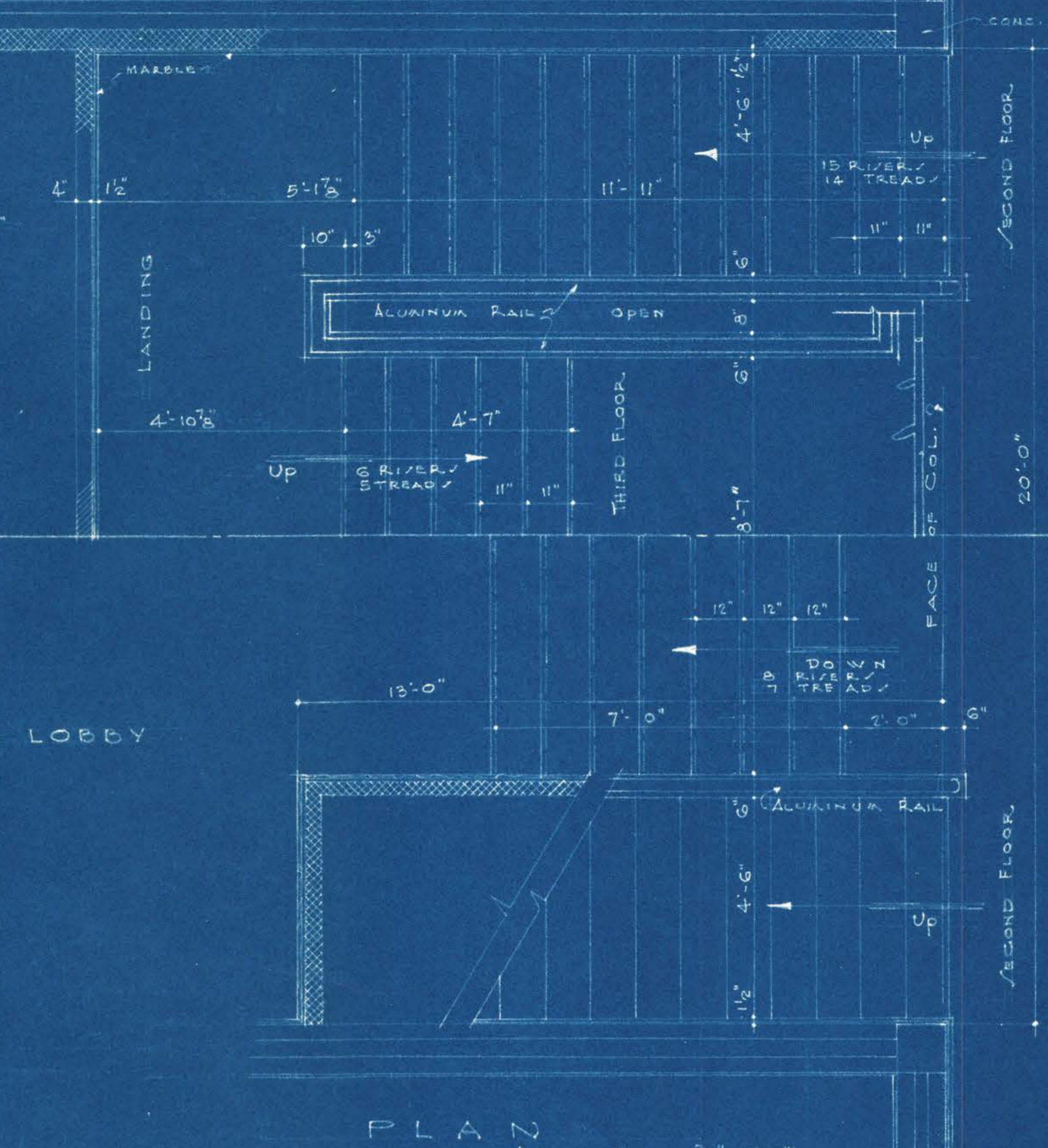
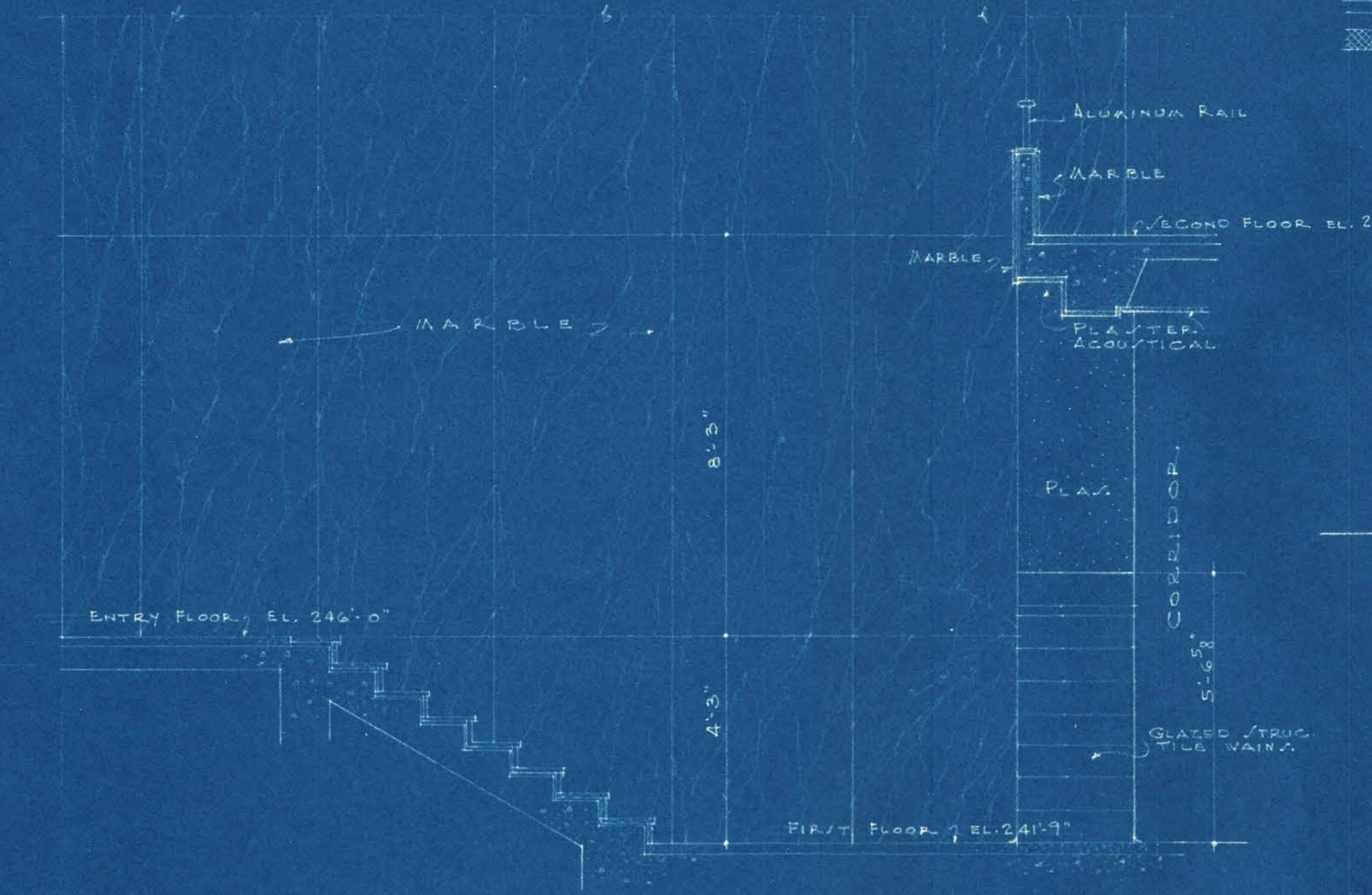
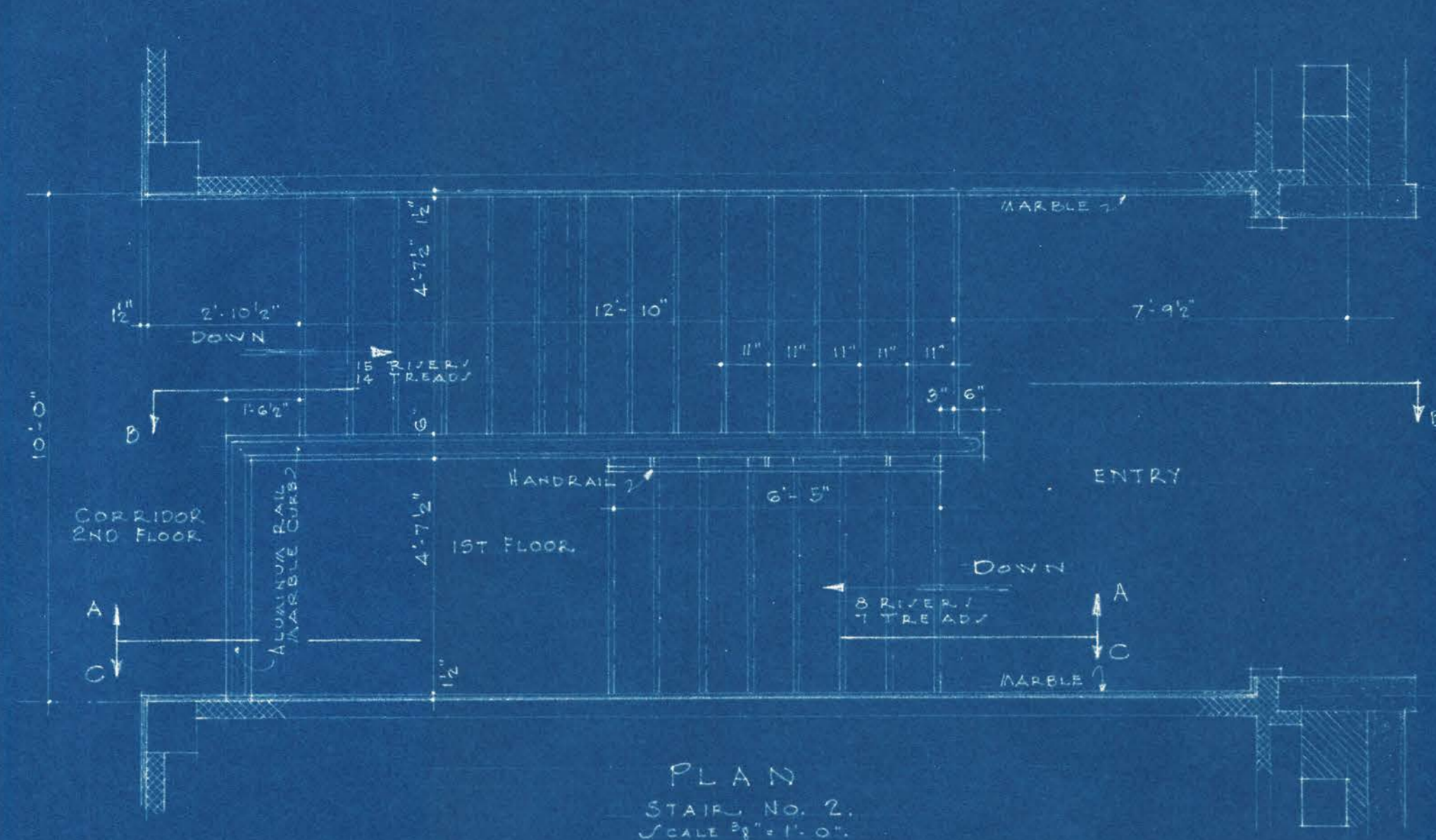
VALLEZ COUNTY COURT HOUSE  
HEATSTEAD, TEXAS

JOB NO. 406  
DATE 5-11-54

HERBERT VOELCKER & ASSOCIATES  
ARCHITECTS  
1202 DENNIS HOUSTON, TEXAS

SHEET NO. 10





REGISTERED ARCHITECT  
STATE OF TEXAS

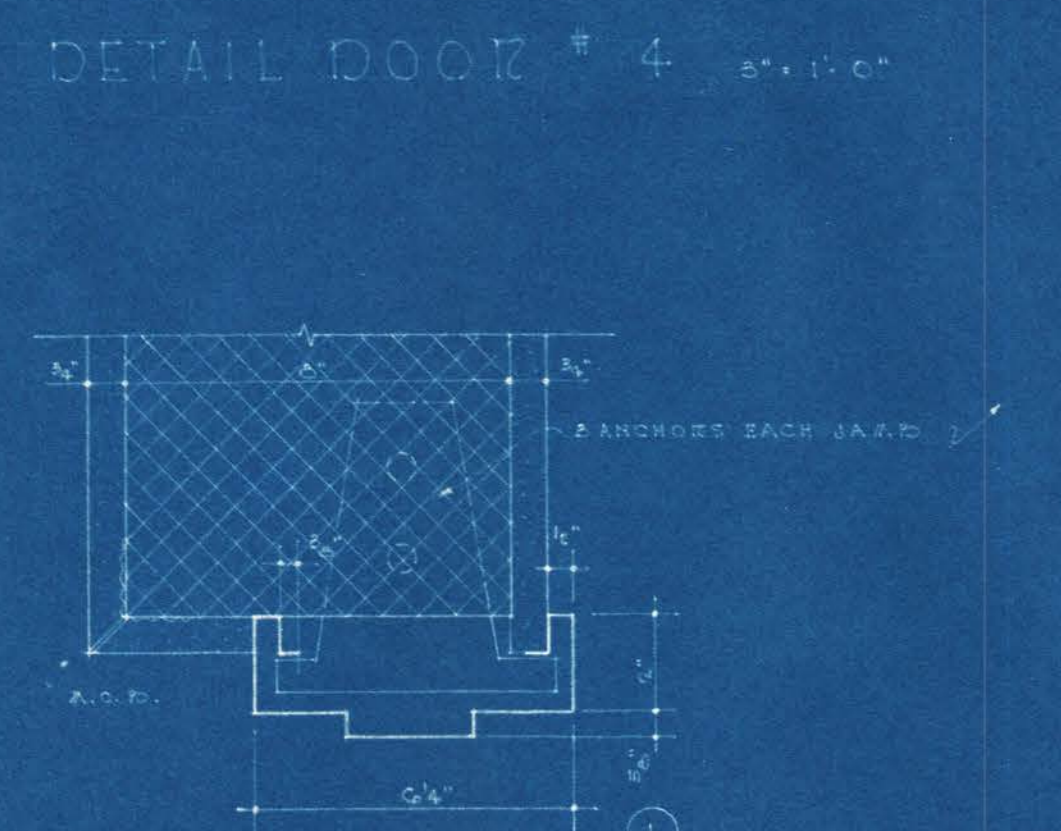
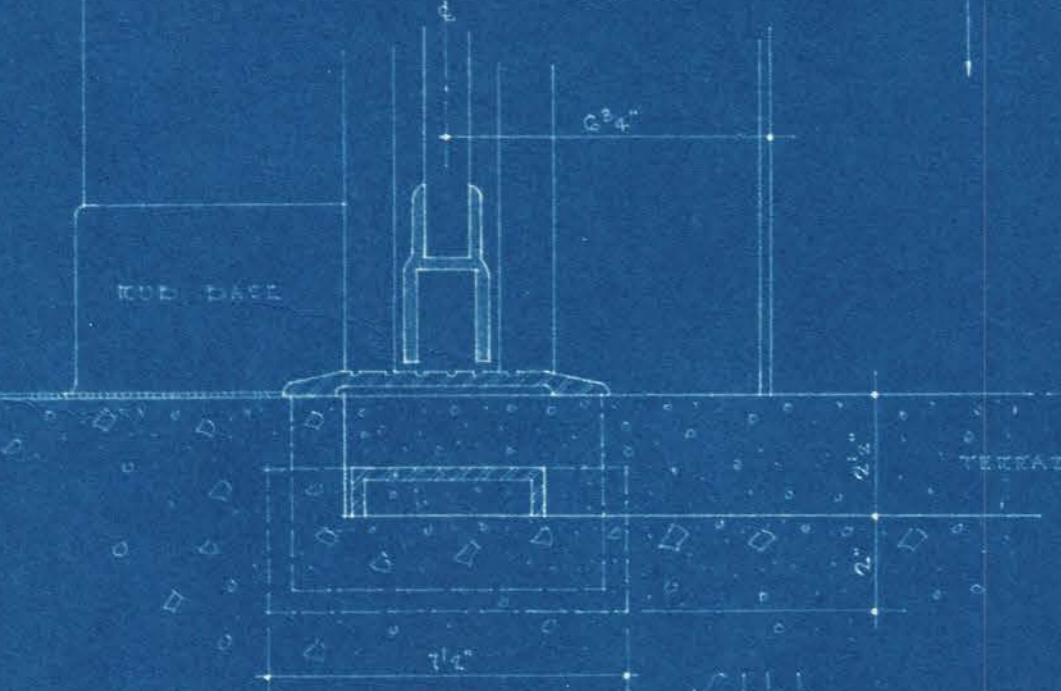
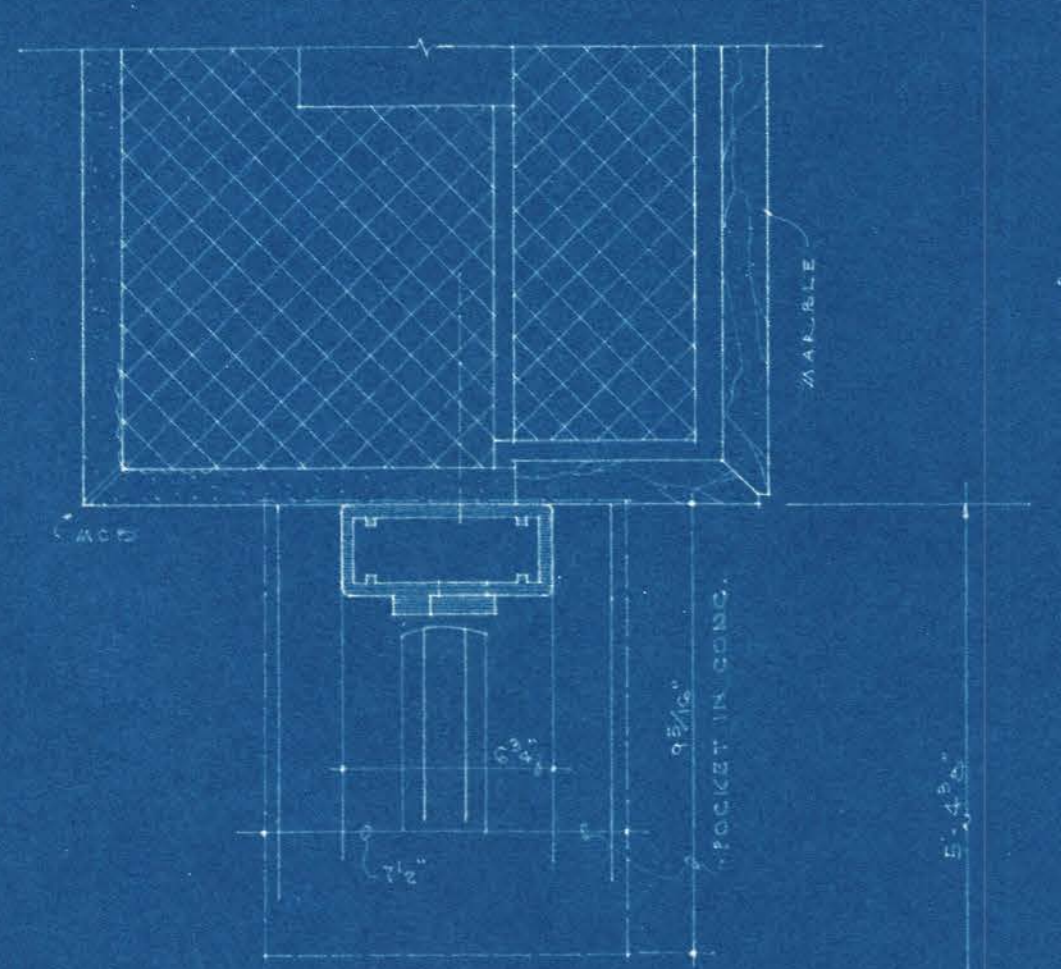
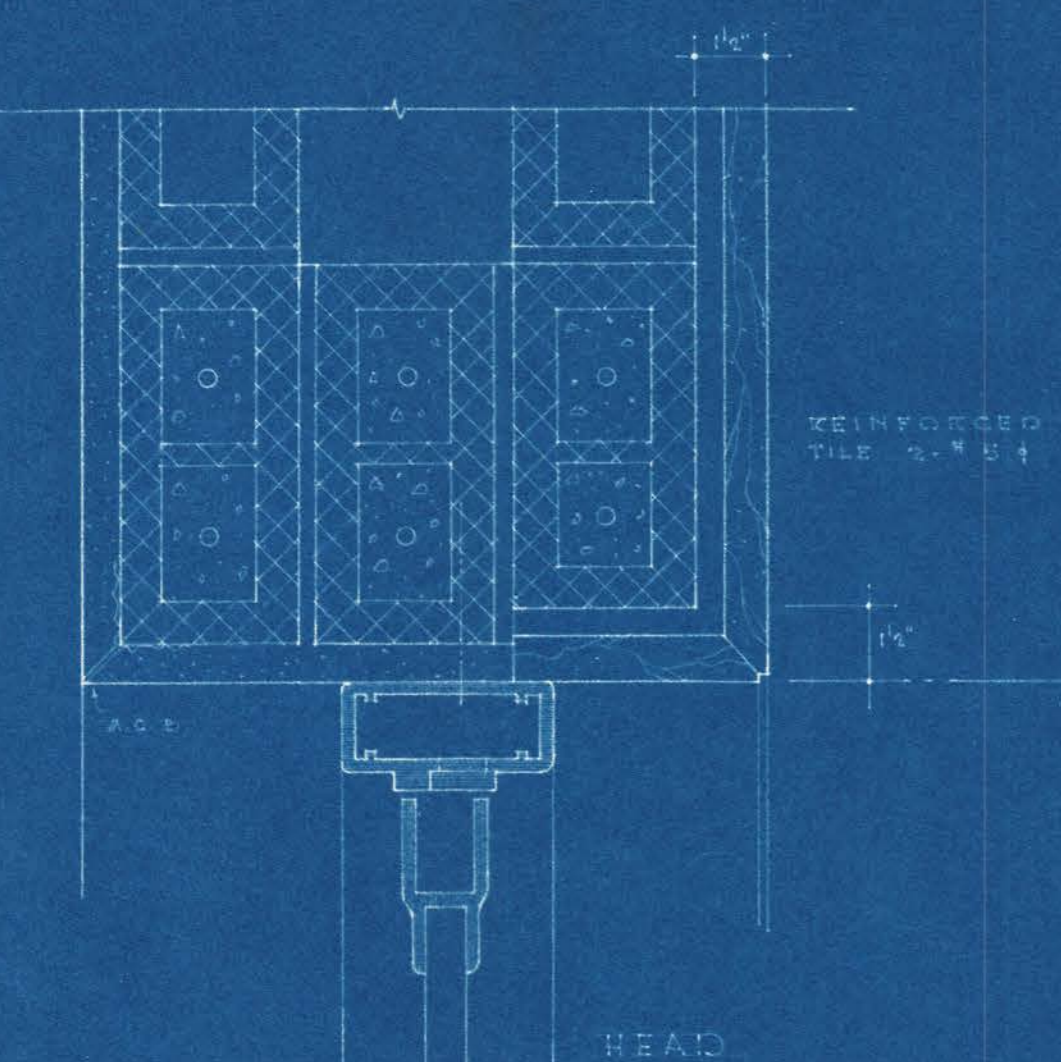
WALLER COUNTY COURT HOUSE  
HEATSTEAD TEXAS

JOB NO. 406  
DATE 5-17-54

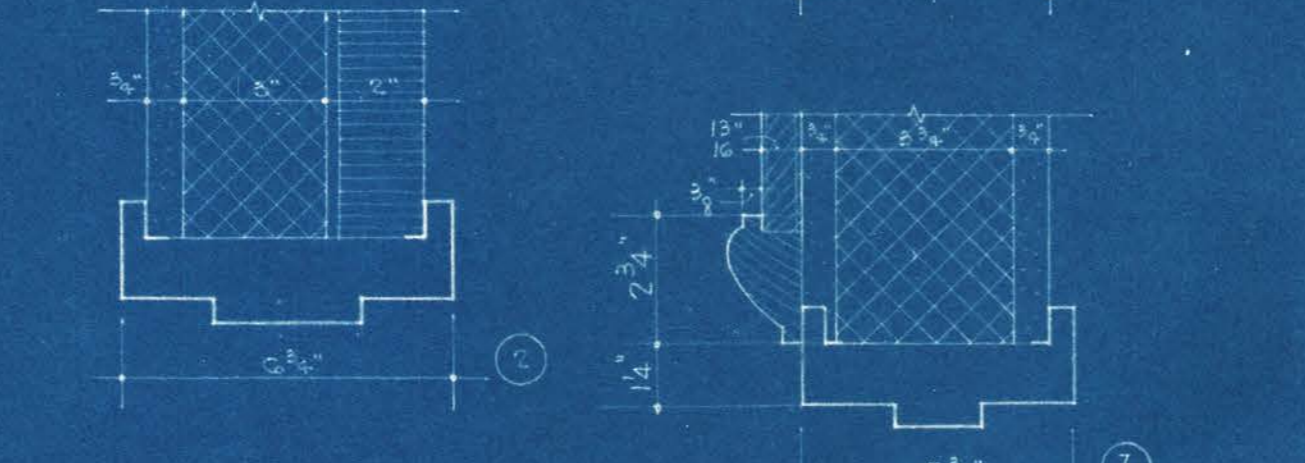
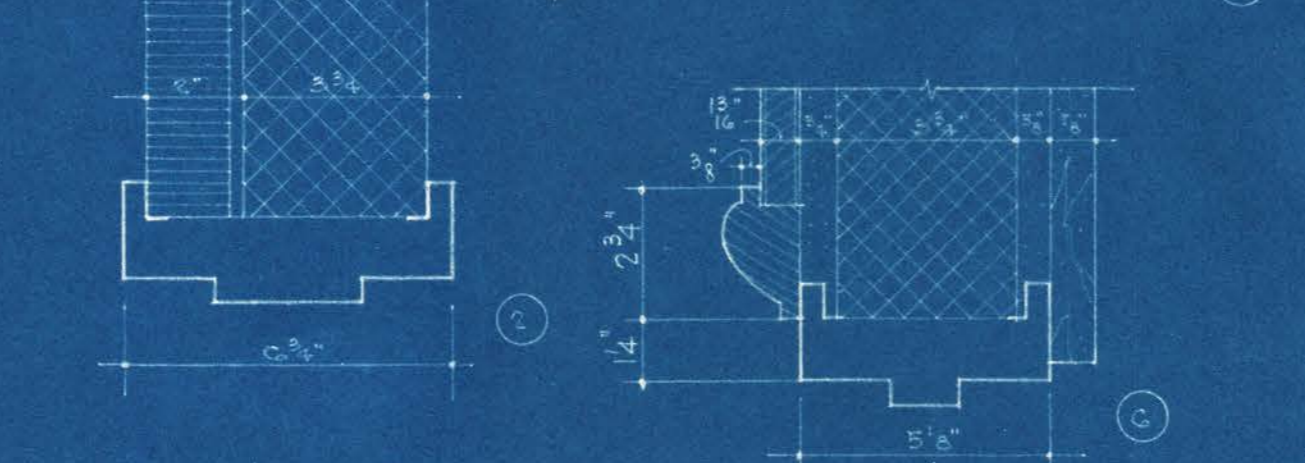
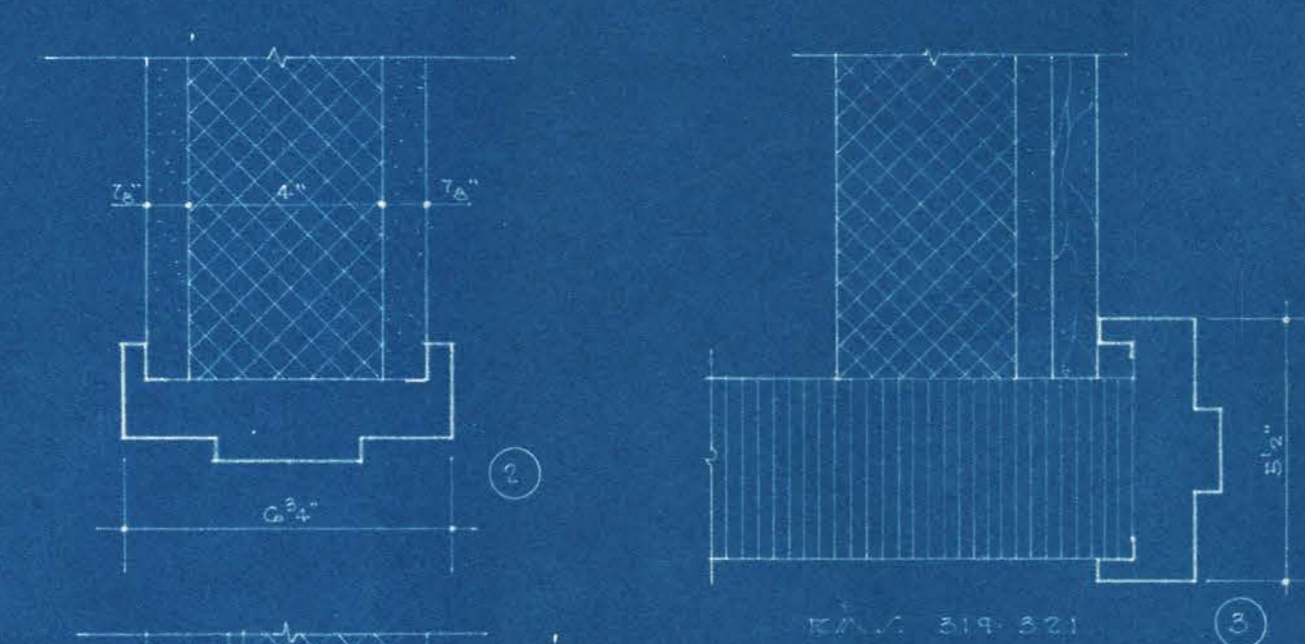
HERBERT VOELCKER & ASSOCIATES ARCHITECTS  
1202 DENNIS HOUSTON, TEXAS

SHEET NO. 11

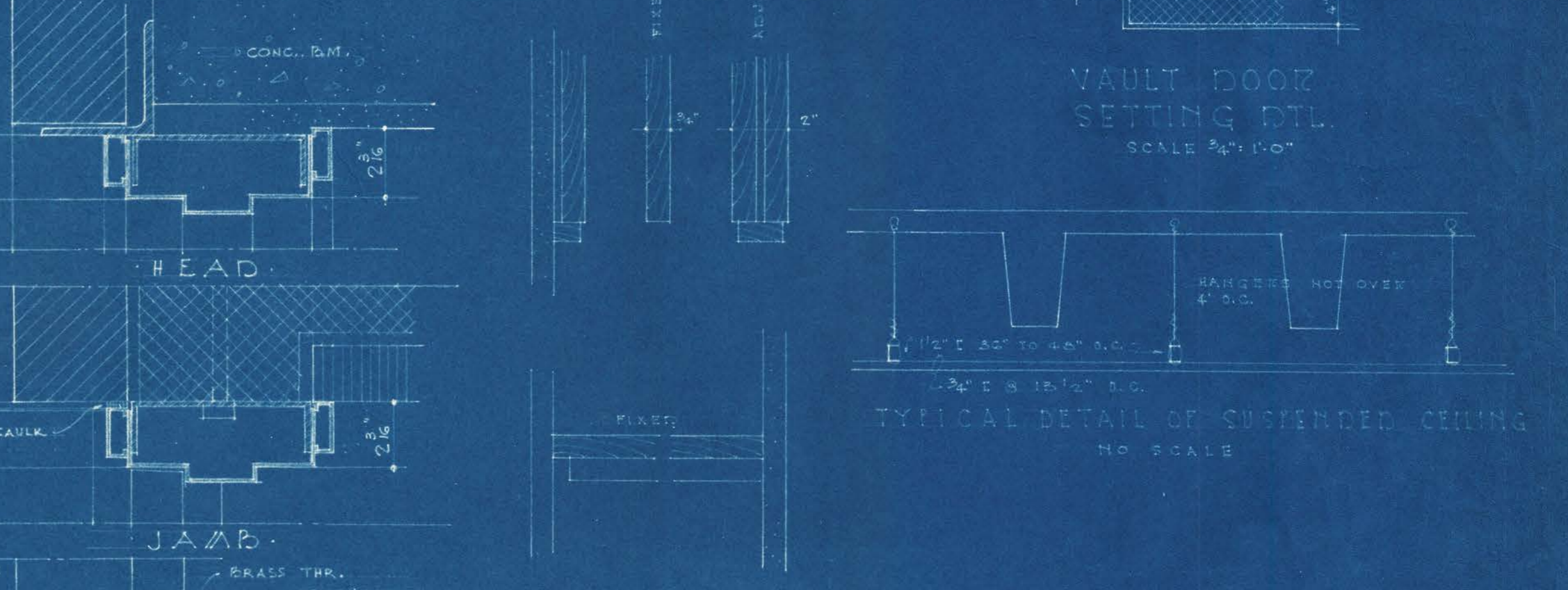
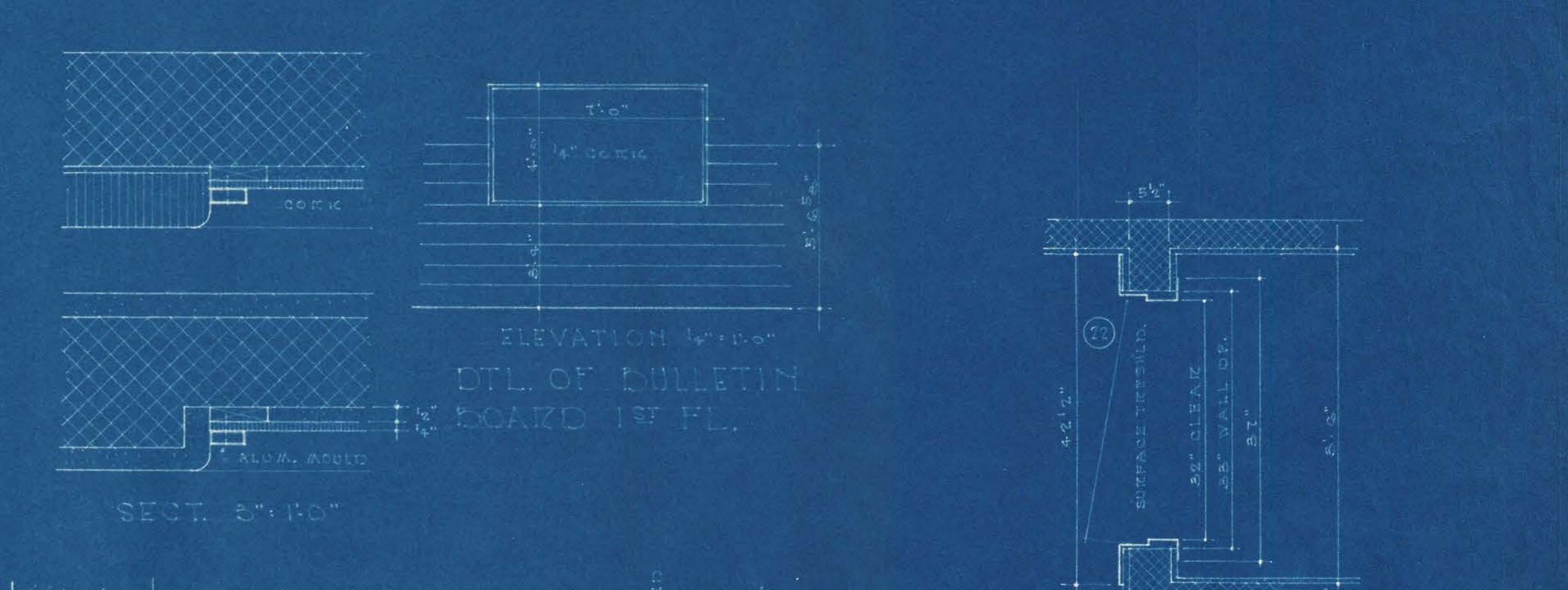
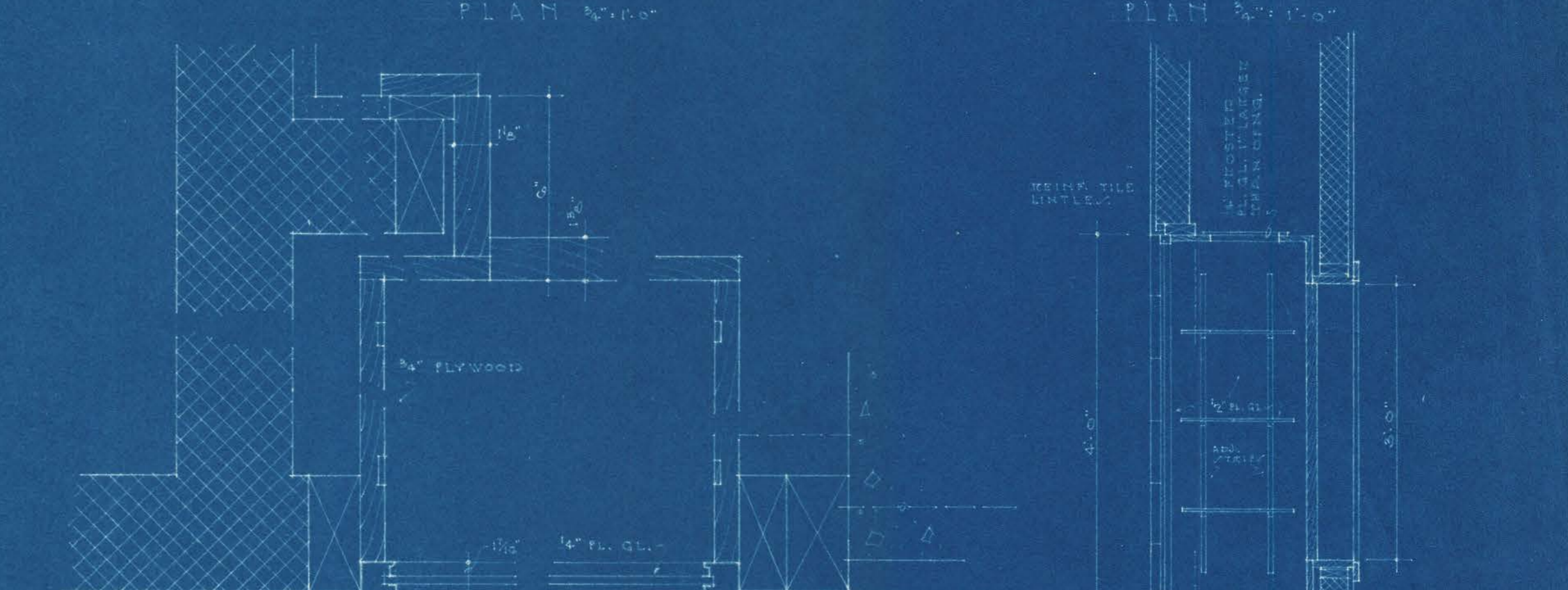
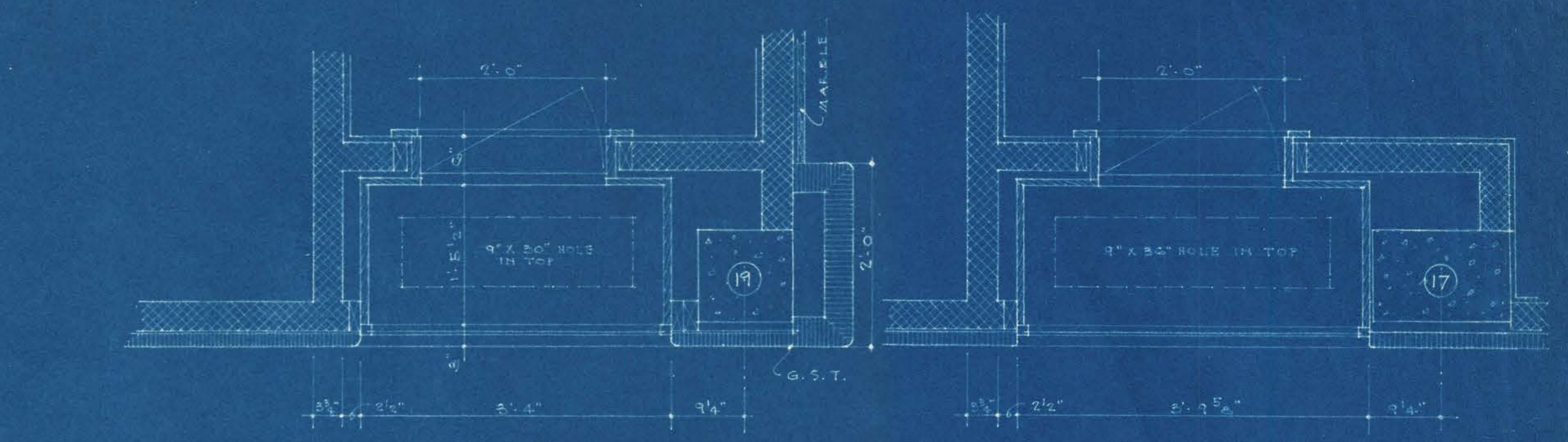
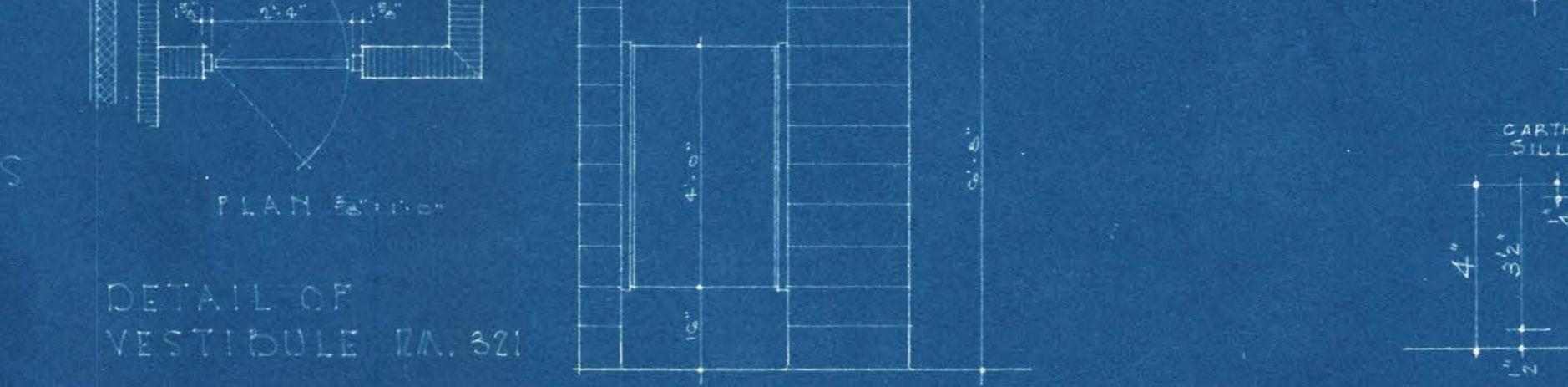
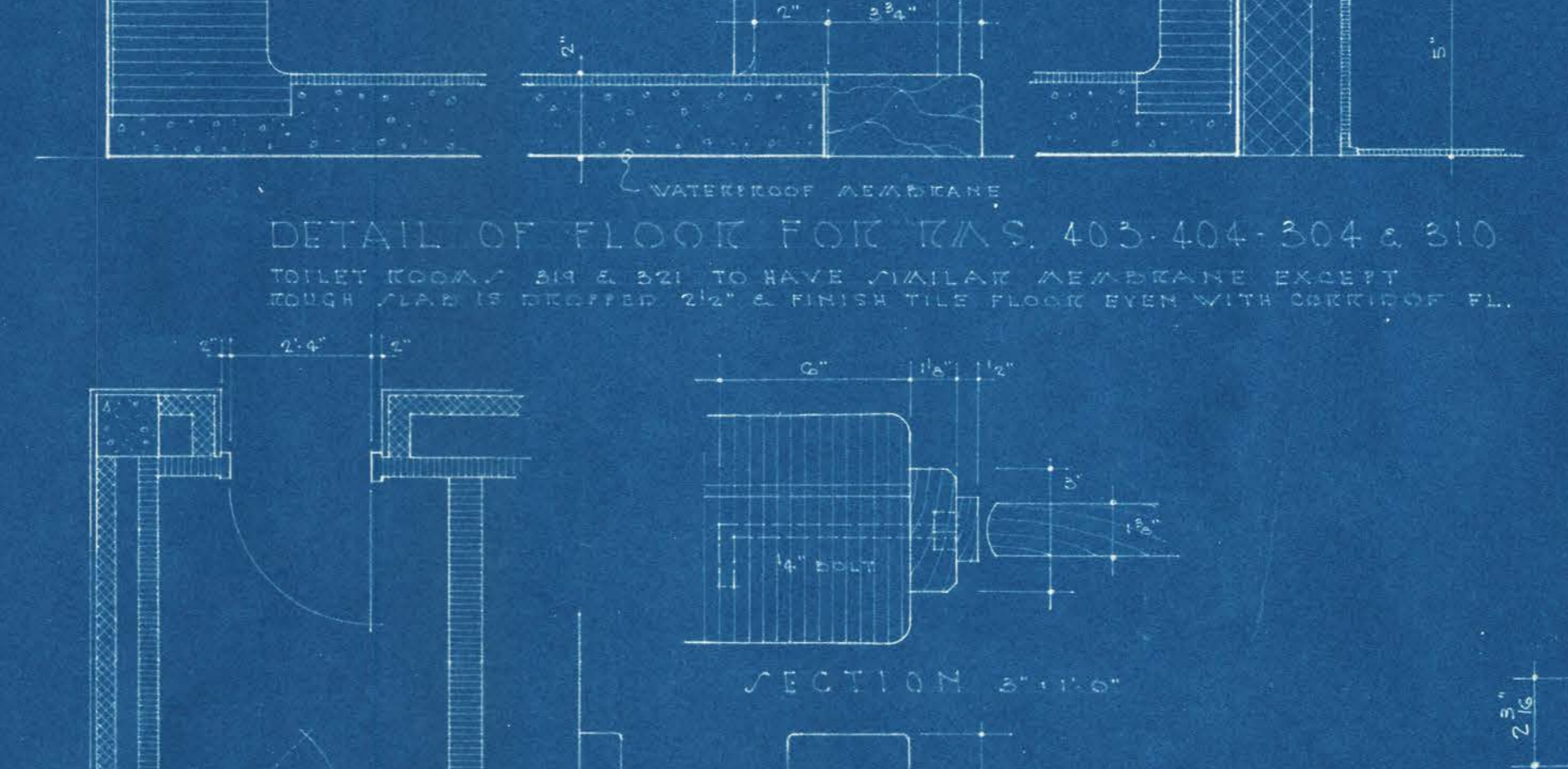
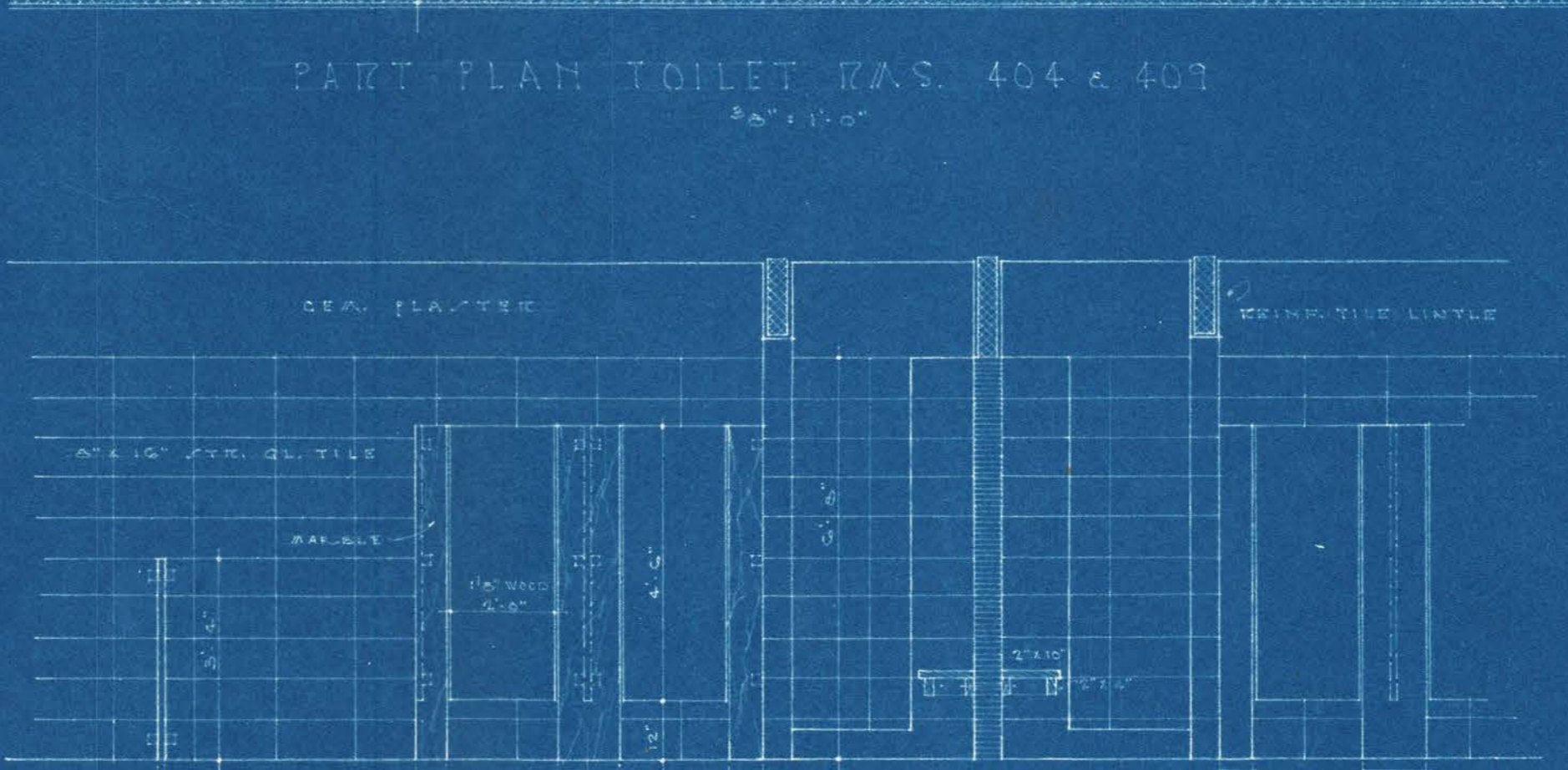
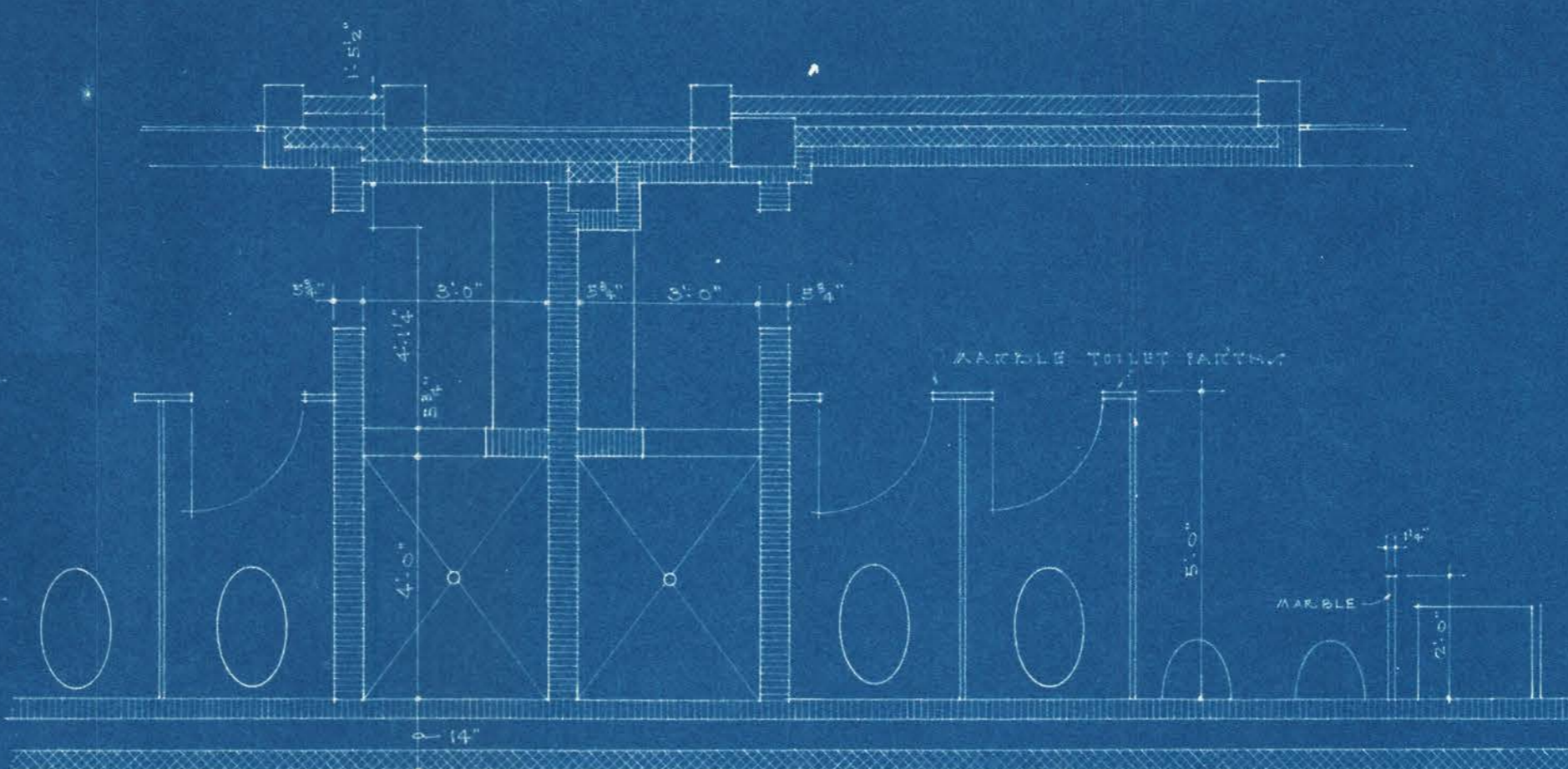




DETAIL OF INTERIOR JAMBS  
HEADS SIMILAR  
LINTELS REINFC. TILE 4" x 8"  
5' x 1' 0"



DETAIL OF THRESHOLDS



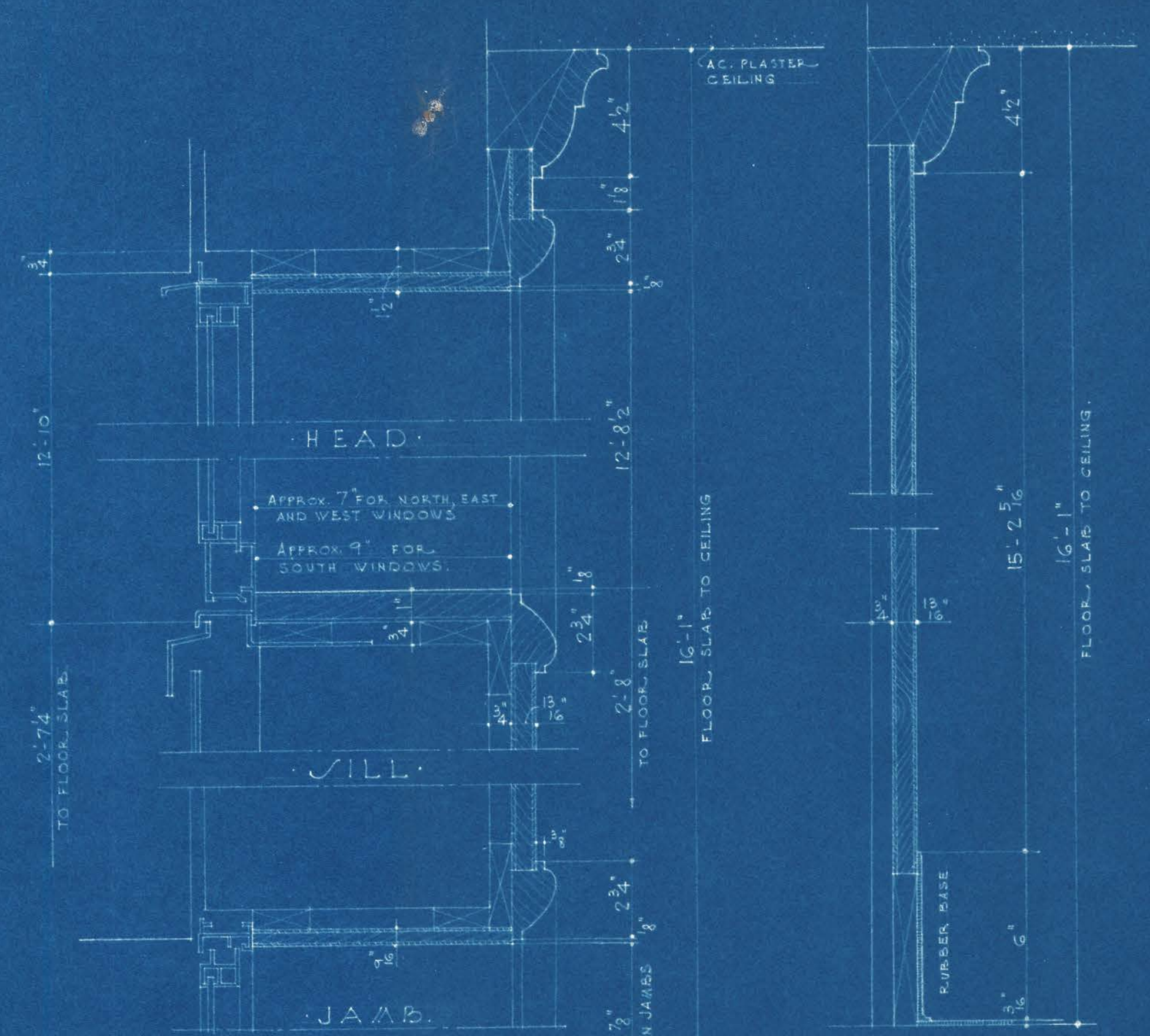
VALLER COUNTY COURT HOUSE  
HEATSTEAD TEXAS

JOB NO. 400  
DATE 5-17-34

HERBERT VOELCKER & ASSOCIATES ARCHITECTS  
1202 DENNIS HOUSTON, TEXAS

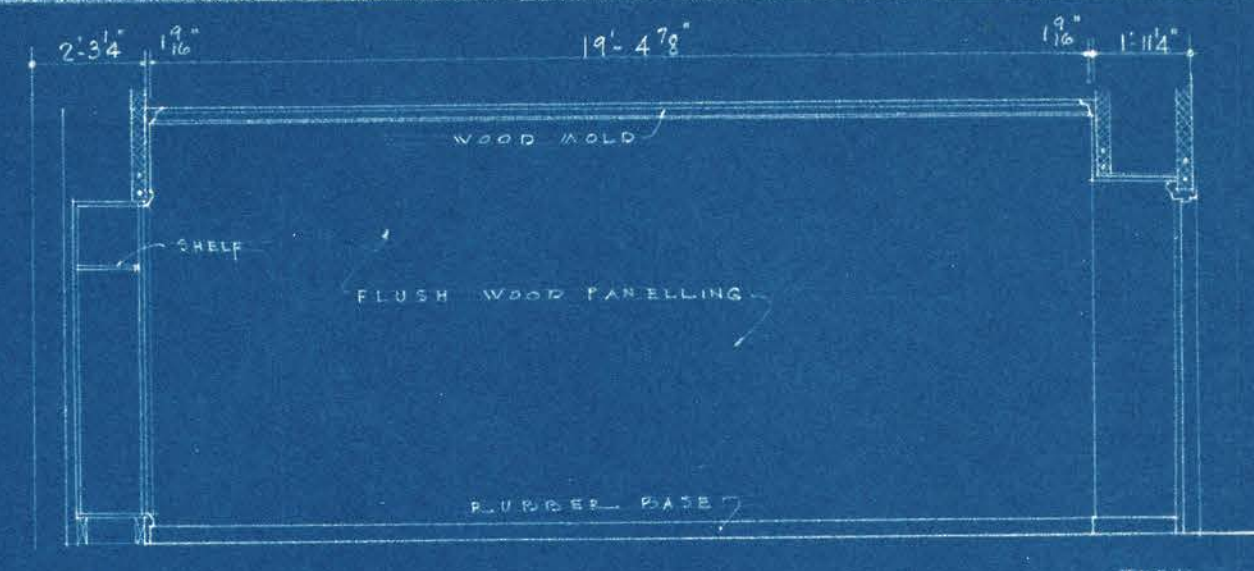
SHEET NO.



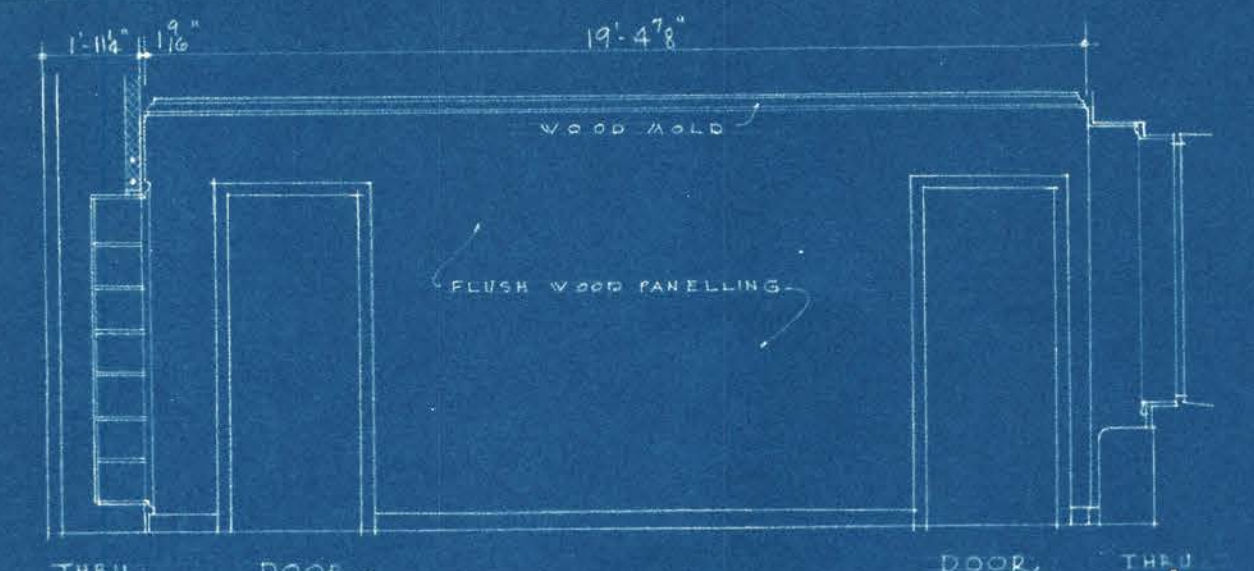


DETAIL OF WOOD PANELLING AT WINDOW. SCALE 3" = 1'-0".

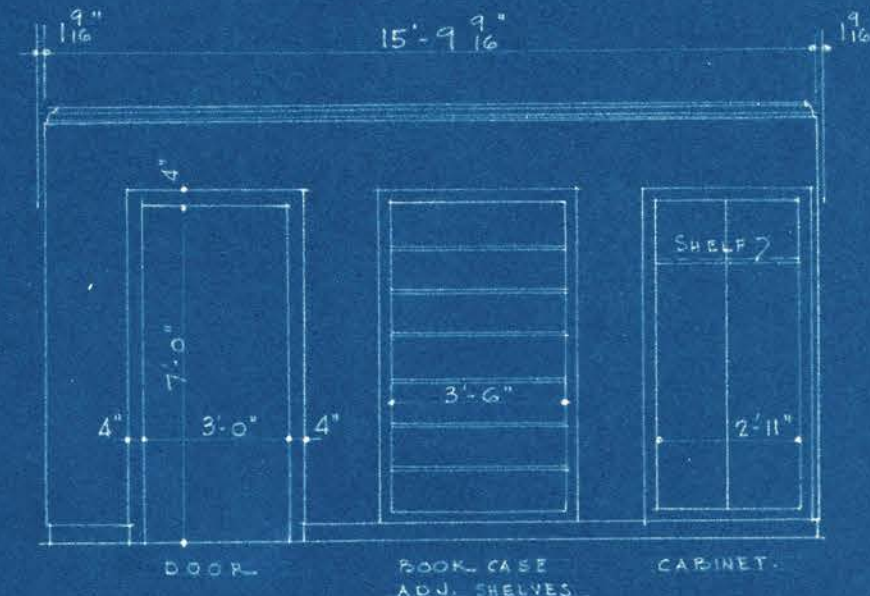
DISTRICT COURT ROOM, 301.



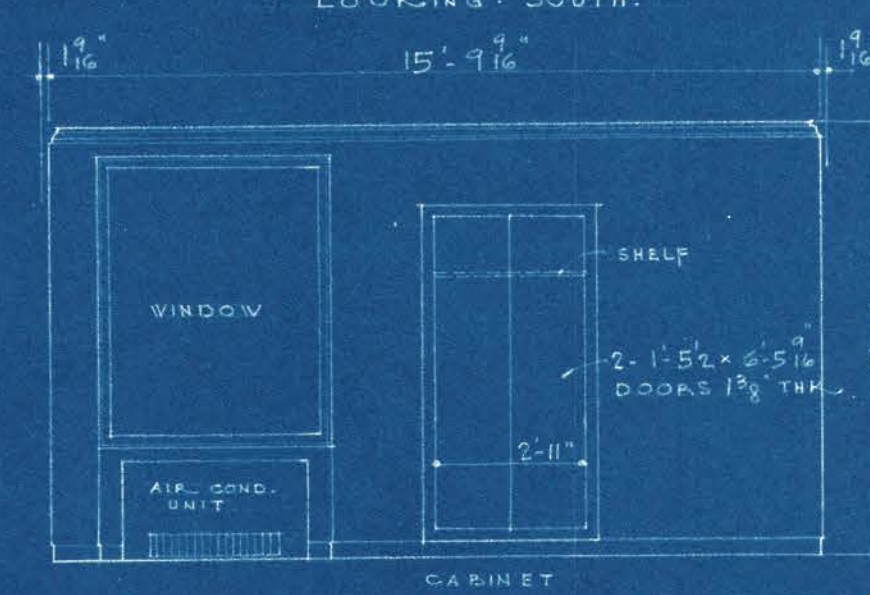
ELEVATION LOOKING EAST.



ELEVATION LOOKING WEST.

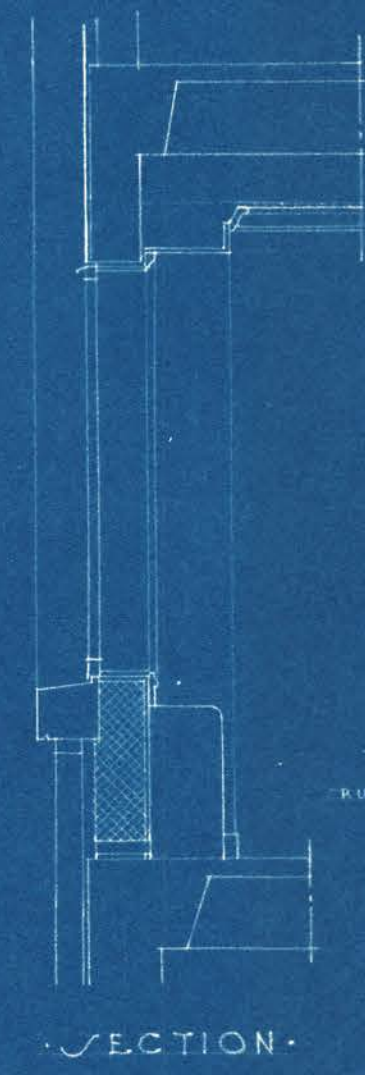


ELEVATION LOOKING SOUTH.

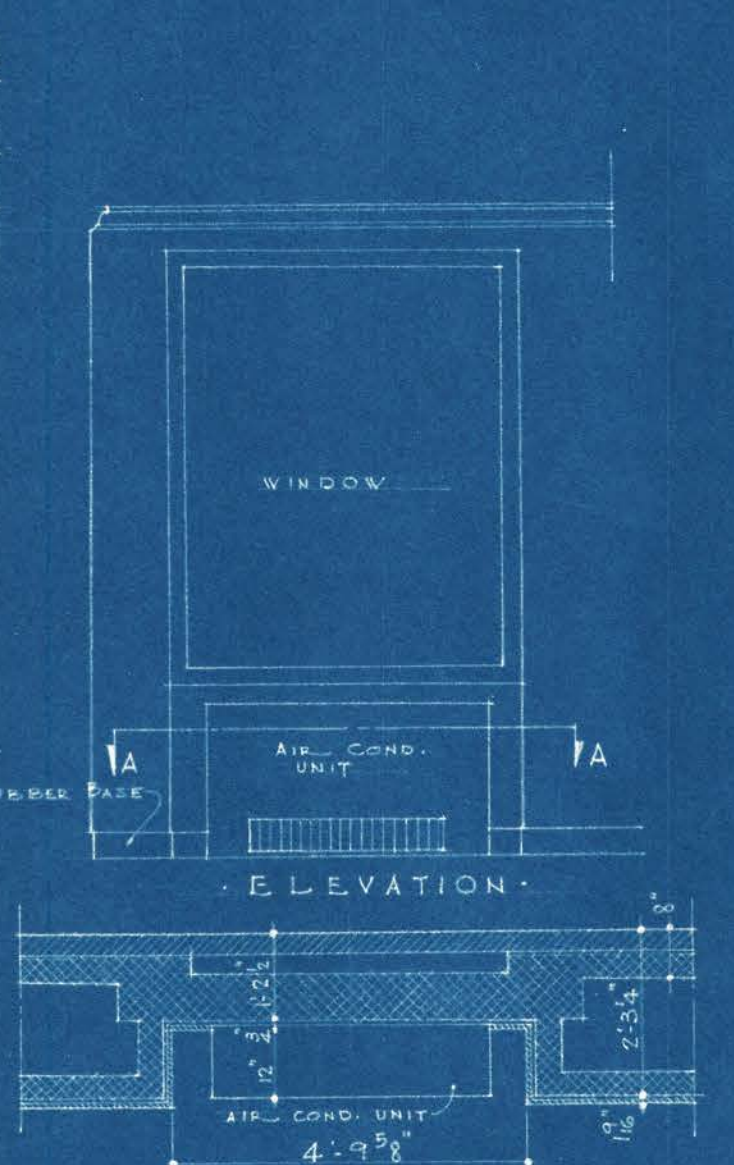


ELEVATION LOOKING NORTH.

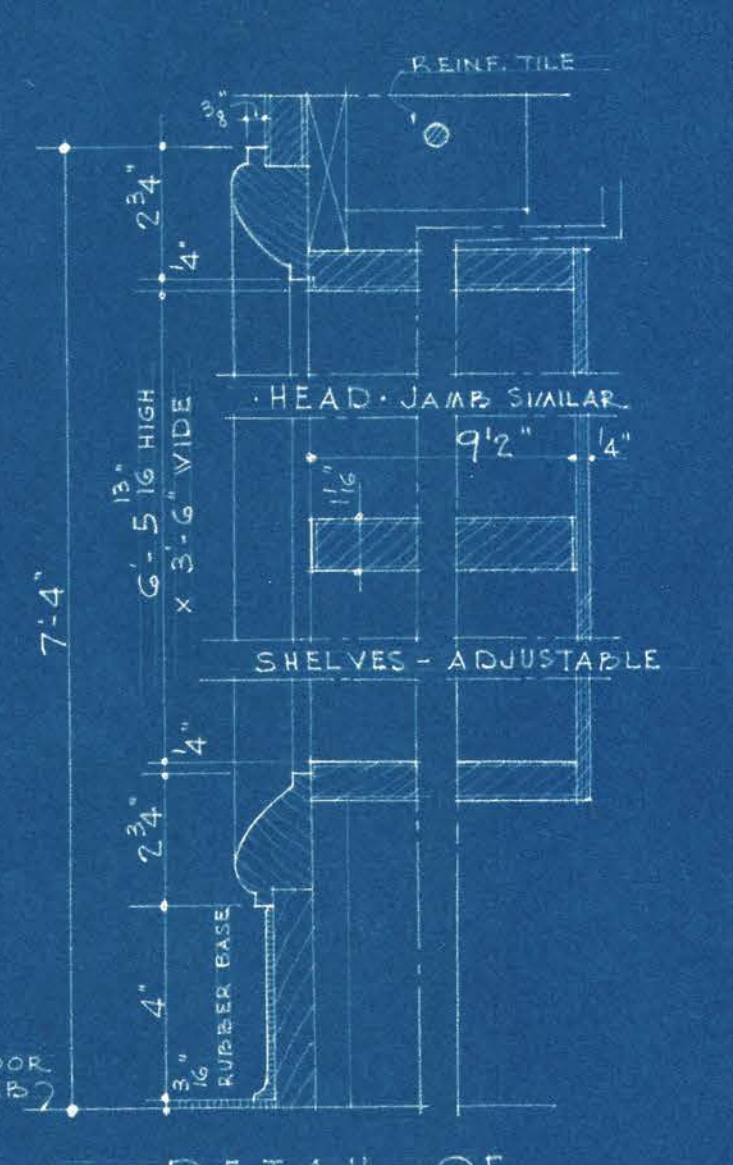
ELEVATIONS SHOWING WOOD PANELLING IN COUNTY JUDGES OFFICE. SCALE 4" = 1'-0".



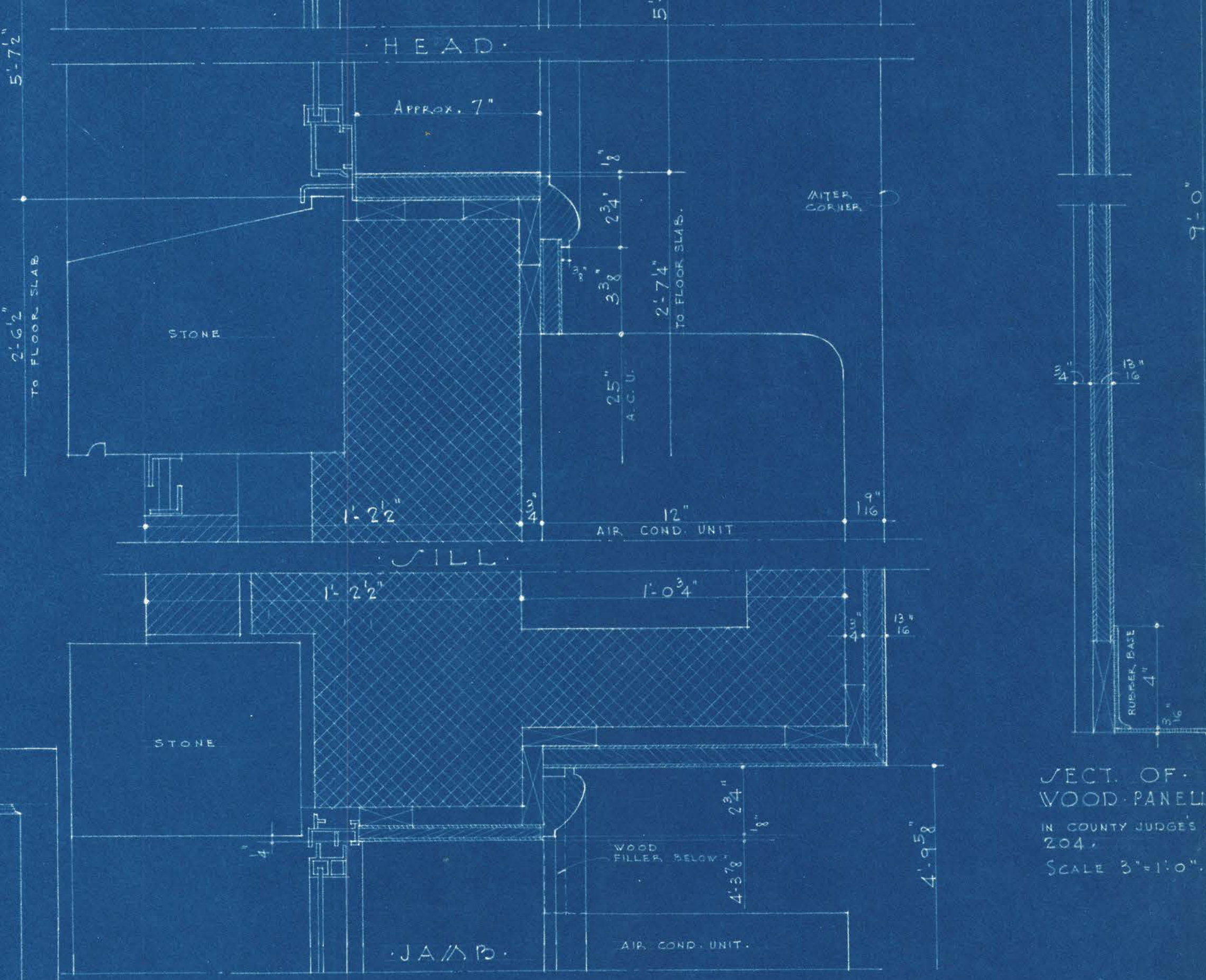
SECTION.



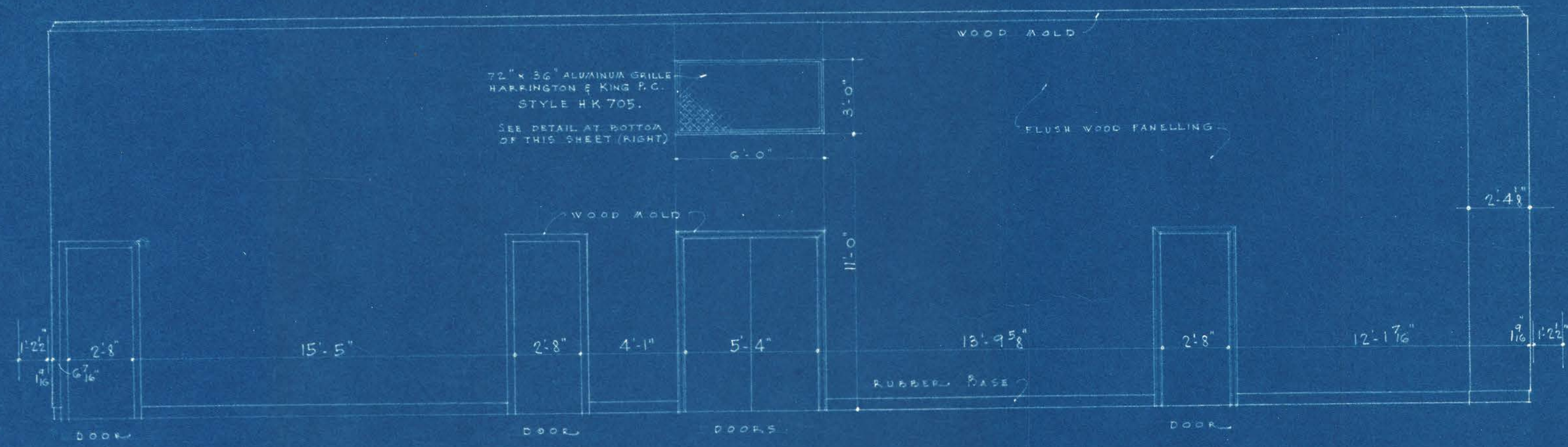
PLAN AT WINDOW. SCALE 3" = 1'-0".



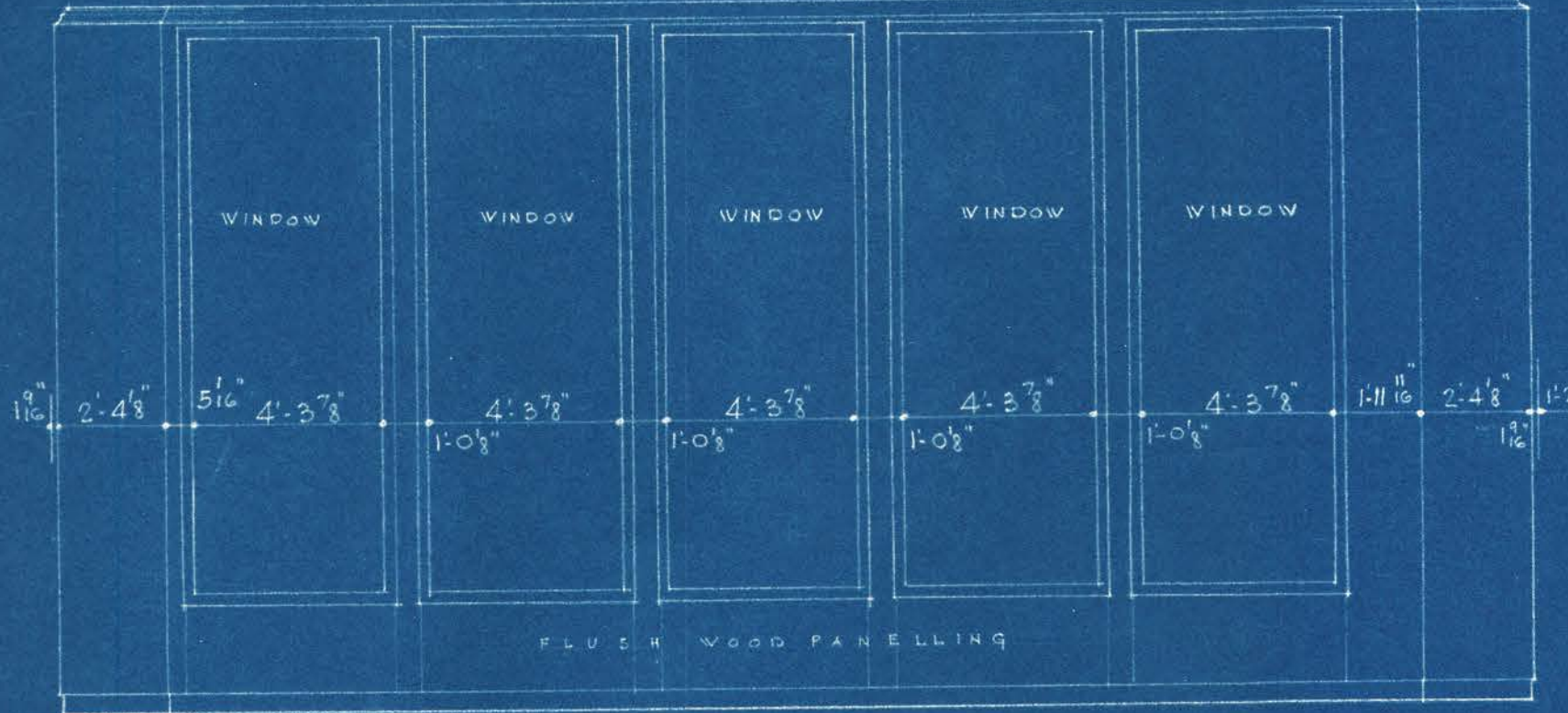
DETAIL OF BOOK CASE IN COUNTY JUDGES OFF. SCALE 3" = 1'-0".



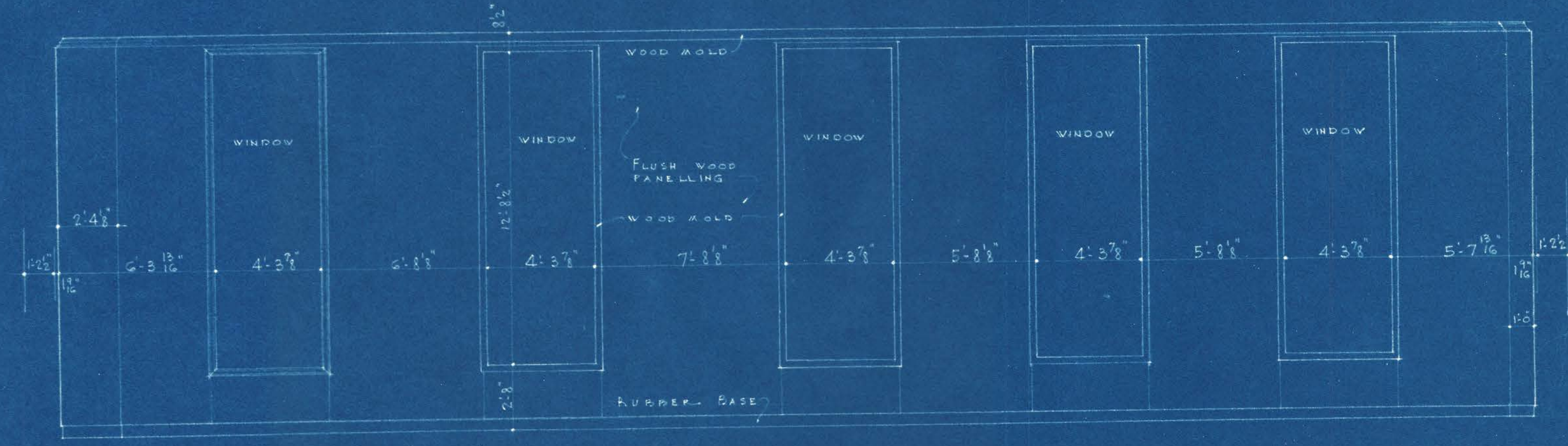
SECT. OF WOOD PANELLING IN COUNTY JUDGES OFF. SCALE 3" = 1'-0".



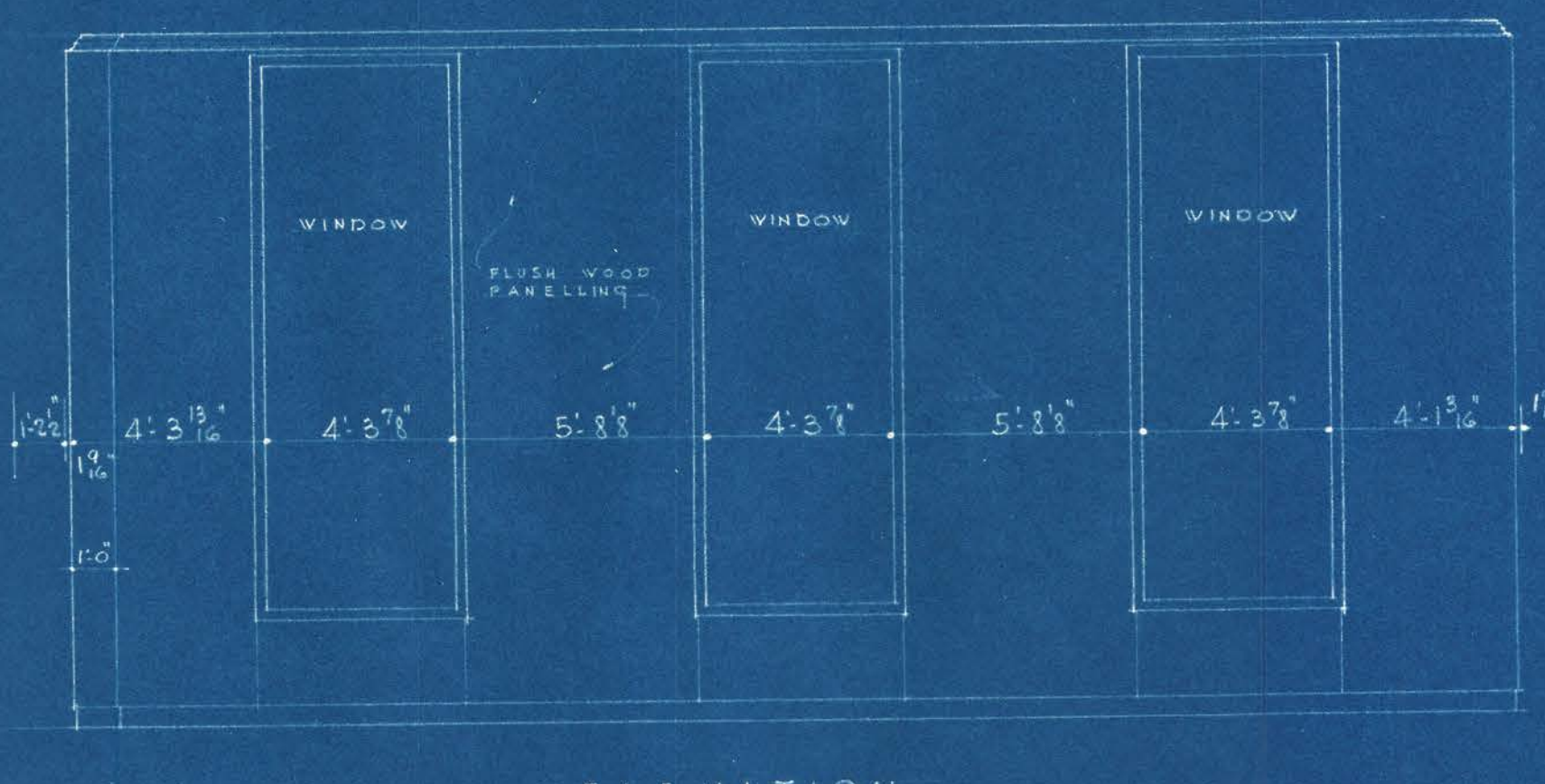
ELEVATION LOOKING EAST.



ELEVATION LOOKING SOUTH.



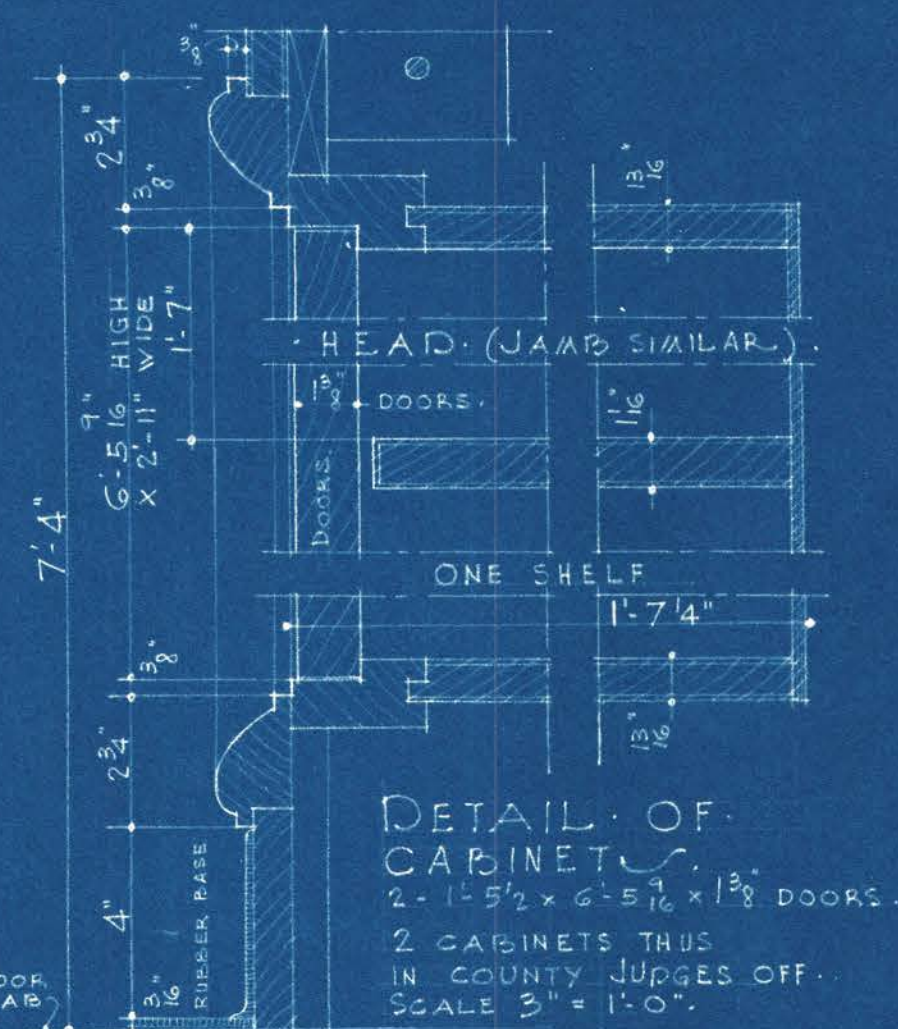
ELEVATION LOOKING WEST.



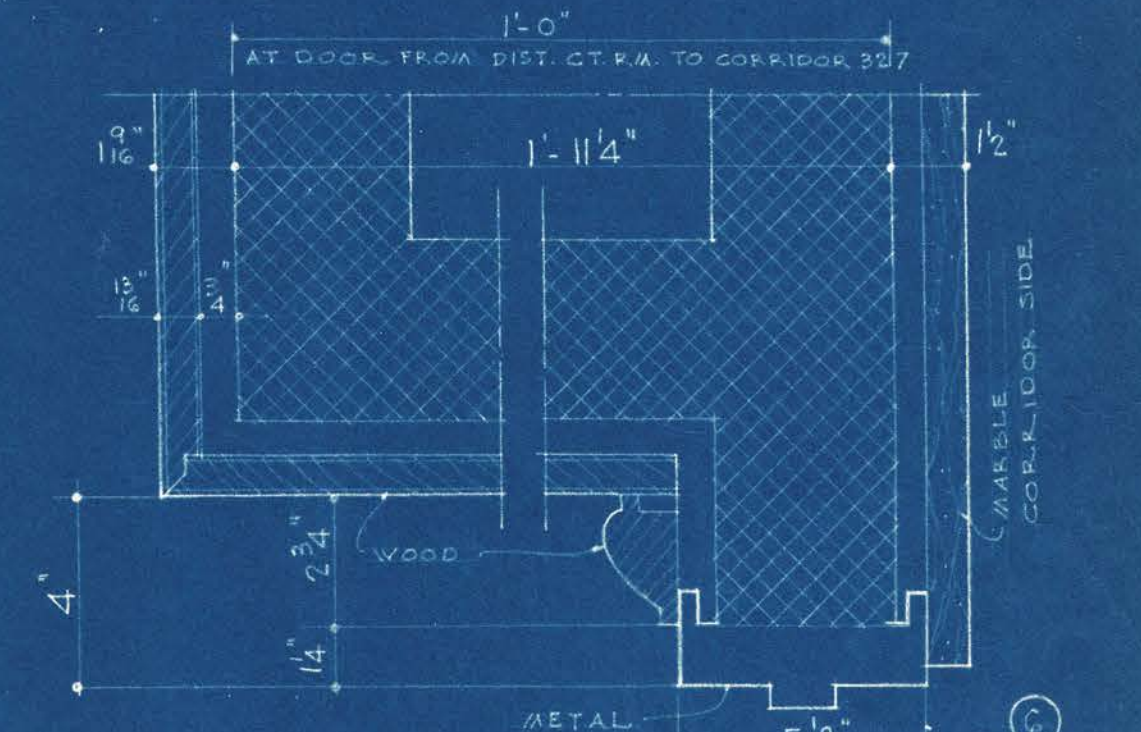
ELEVATION LOOKING NORTH.

ELEVATIONS OF WOOD PANELLING IN DISTRICT CT. R.M. 301. SCALE 1/4" = 1'-0".

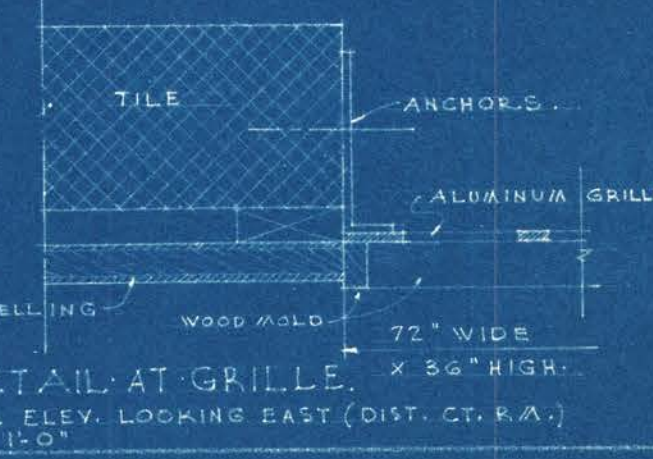
DETAIL OF WOOD PANELLING AT WINDOW. COUNTY JUDGES OFFICE. SCALE 3" = 1'-0".



DETAIL OF CABINET. 2 CABINETS THUS IN COUNTY JUDGES OFF. SCALE 3" = 1'-0".



DETAIL OF JAMB (HEAD SIMILAR) FOR DOOR FROM COUNTY JUDGES OFFICE TO CORRIDOR. SCALE 3" = 1'-0".



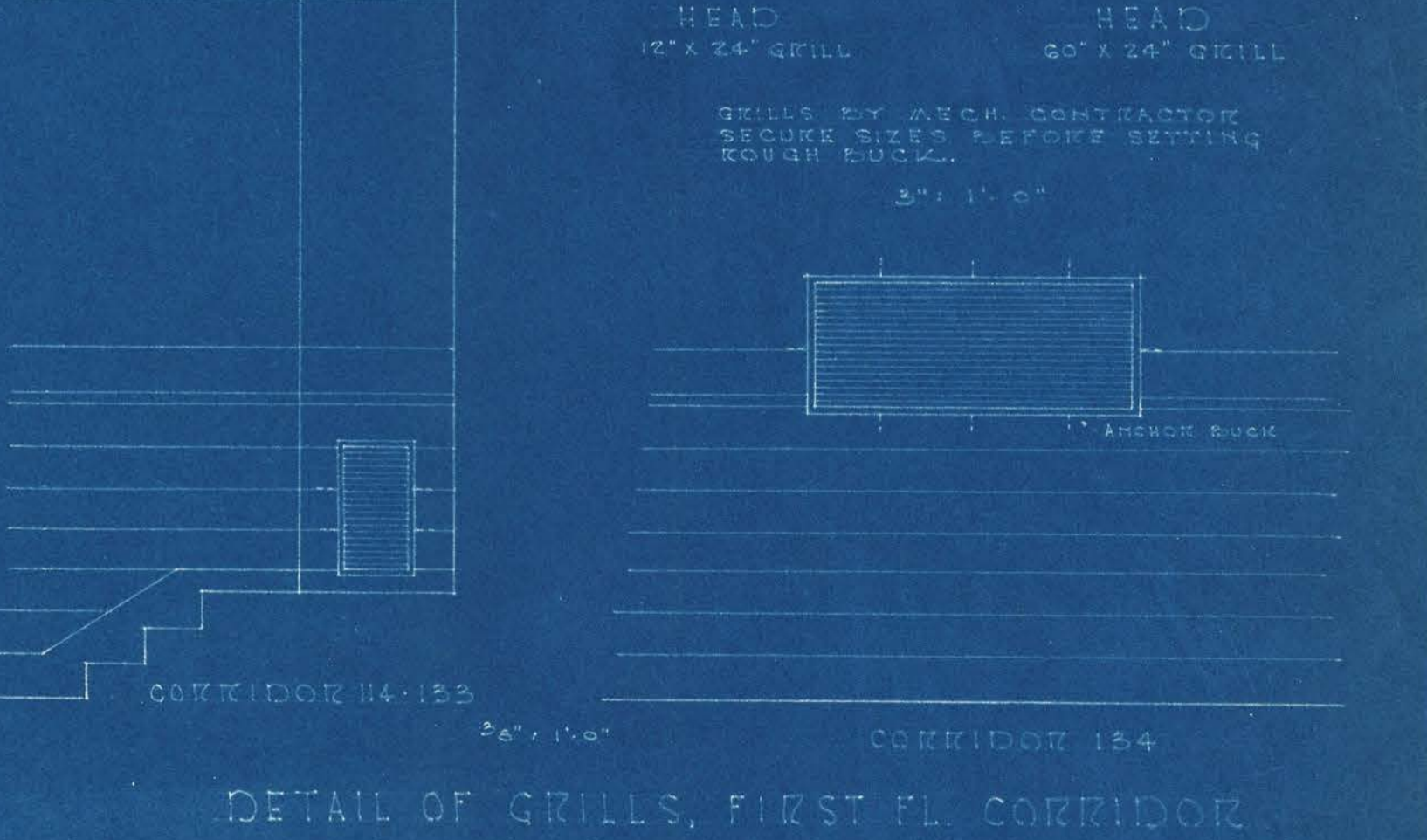
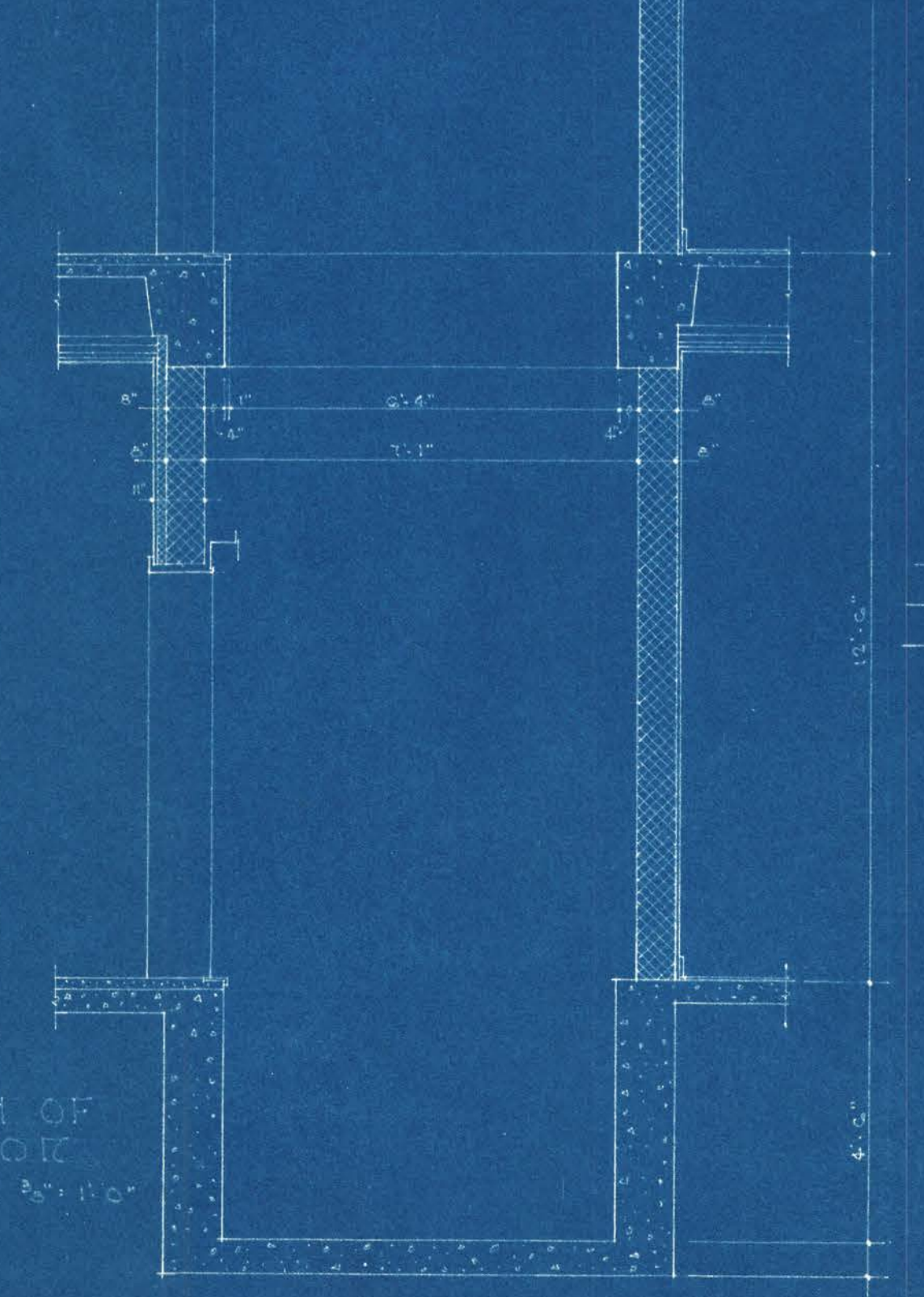
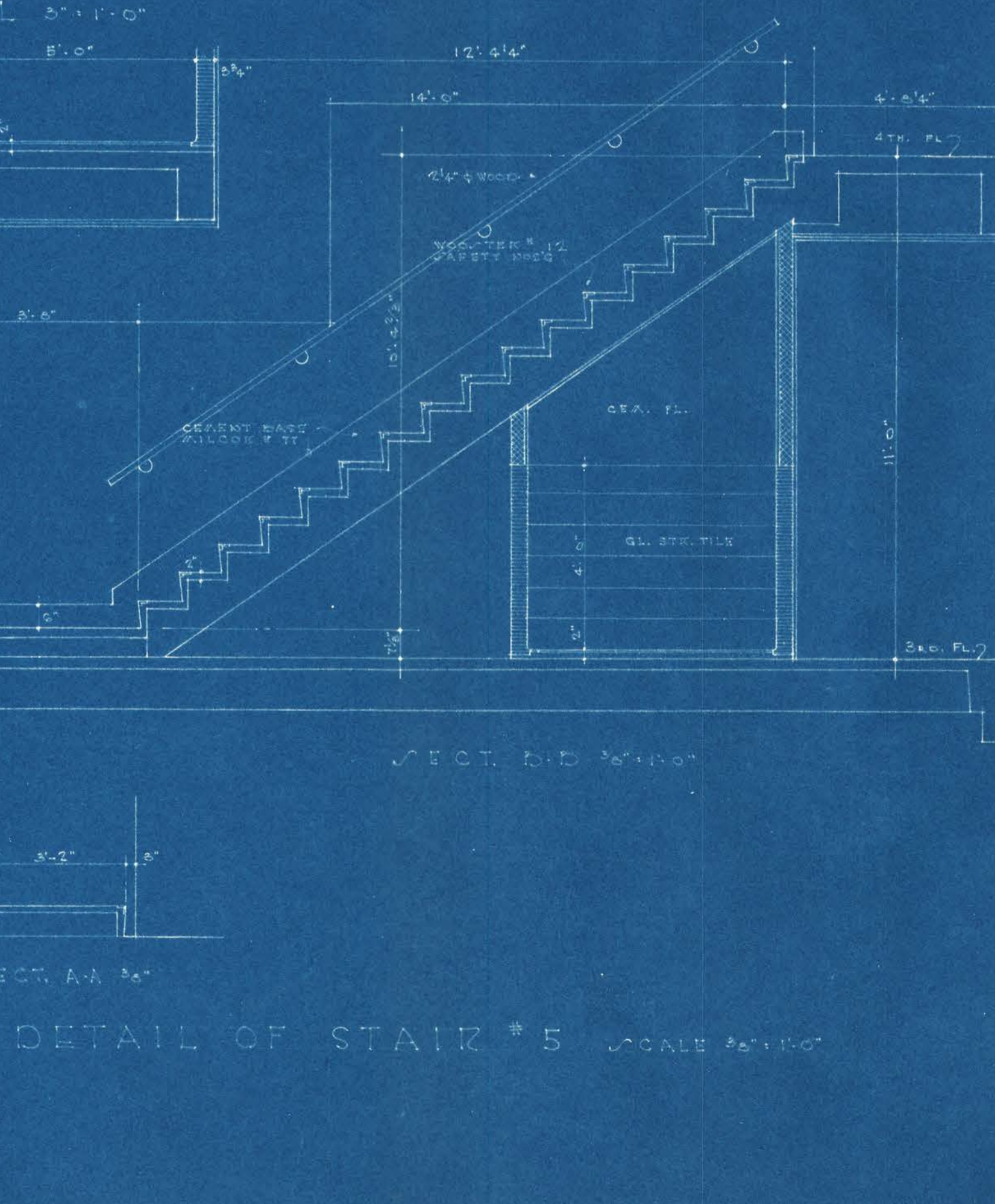
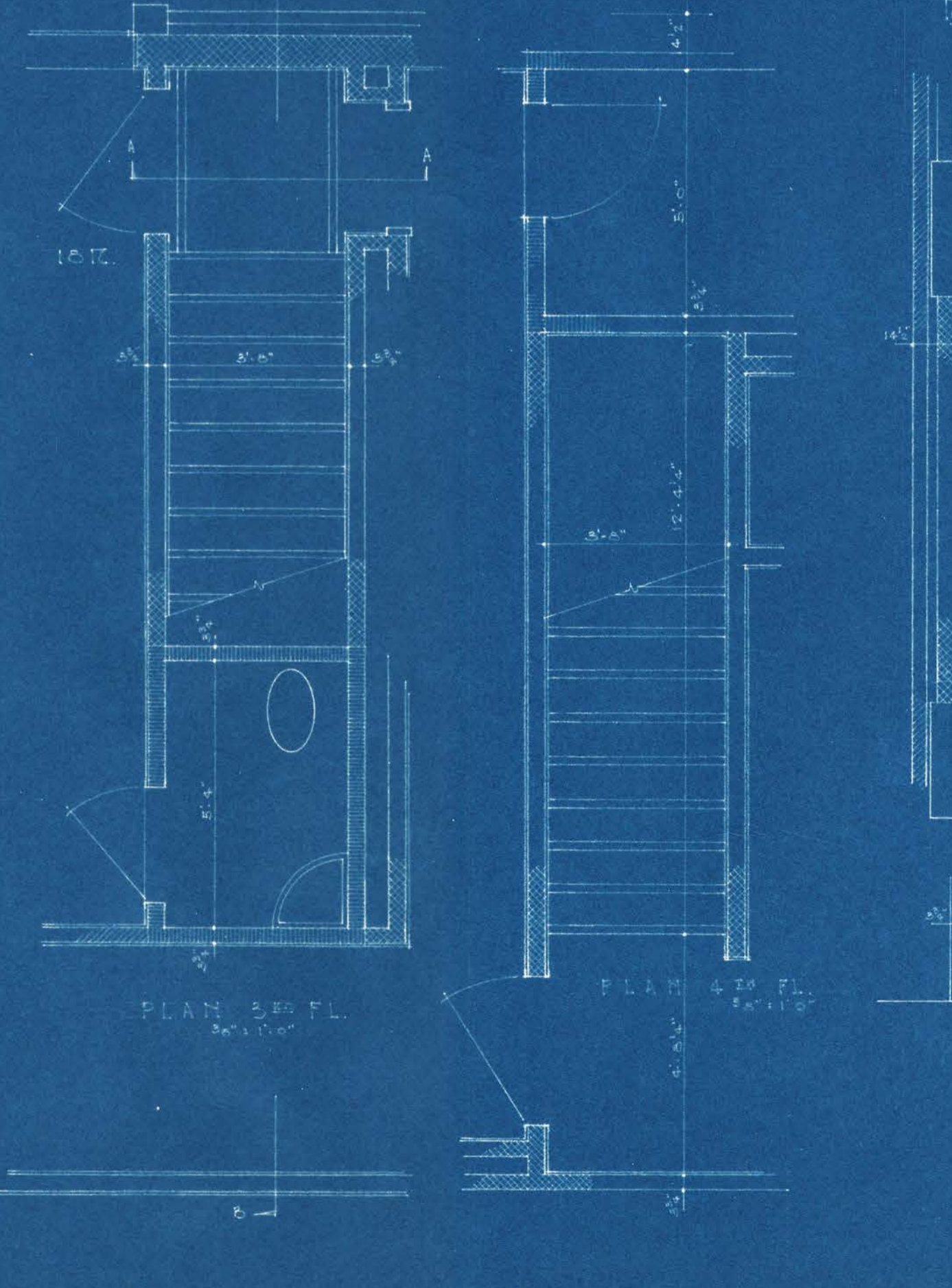
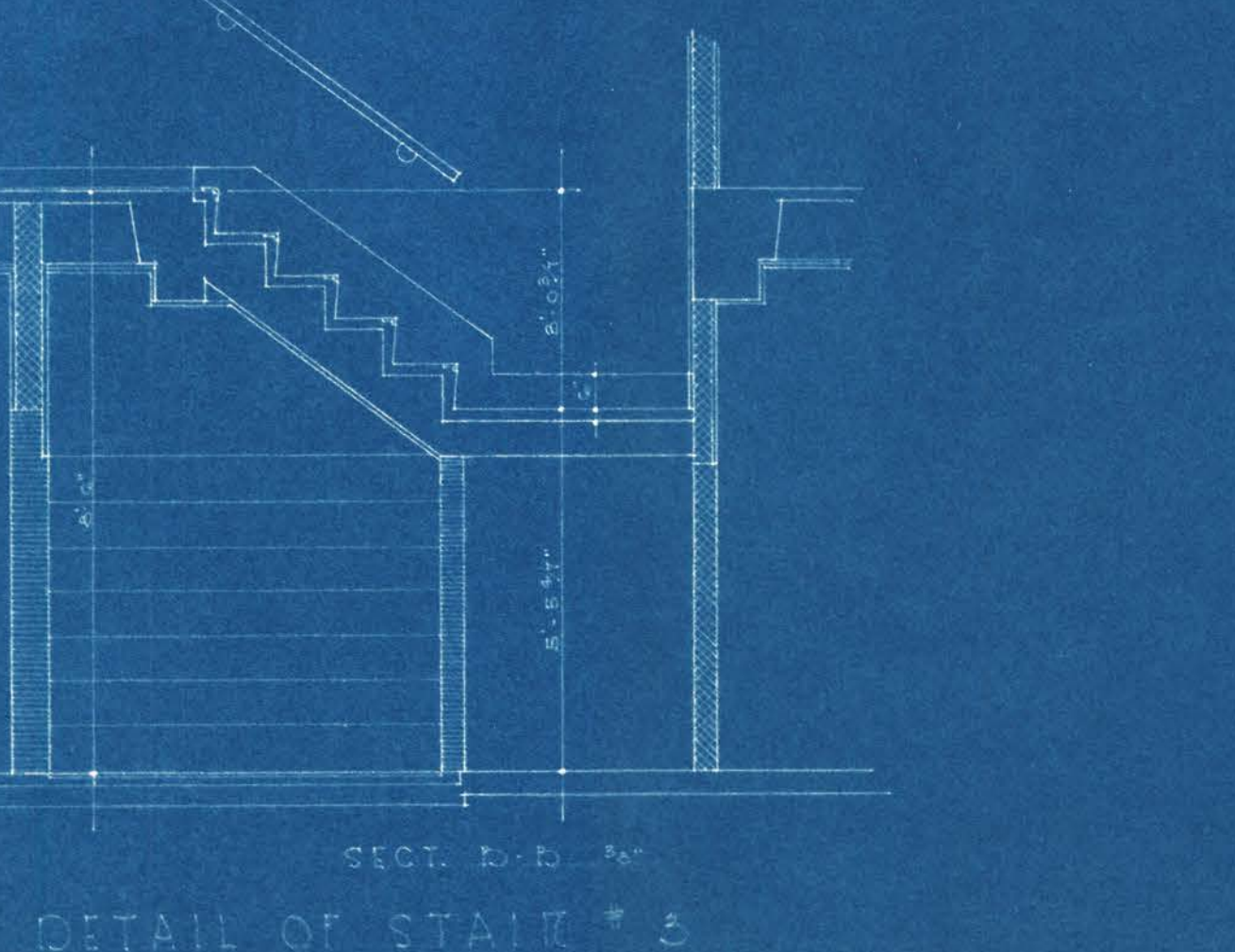
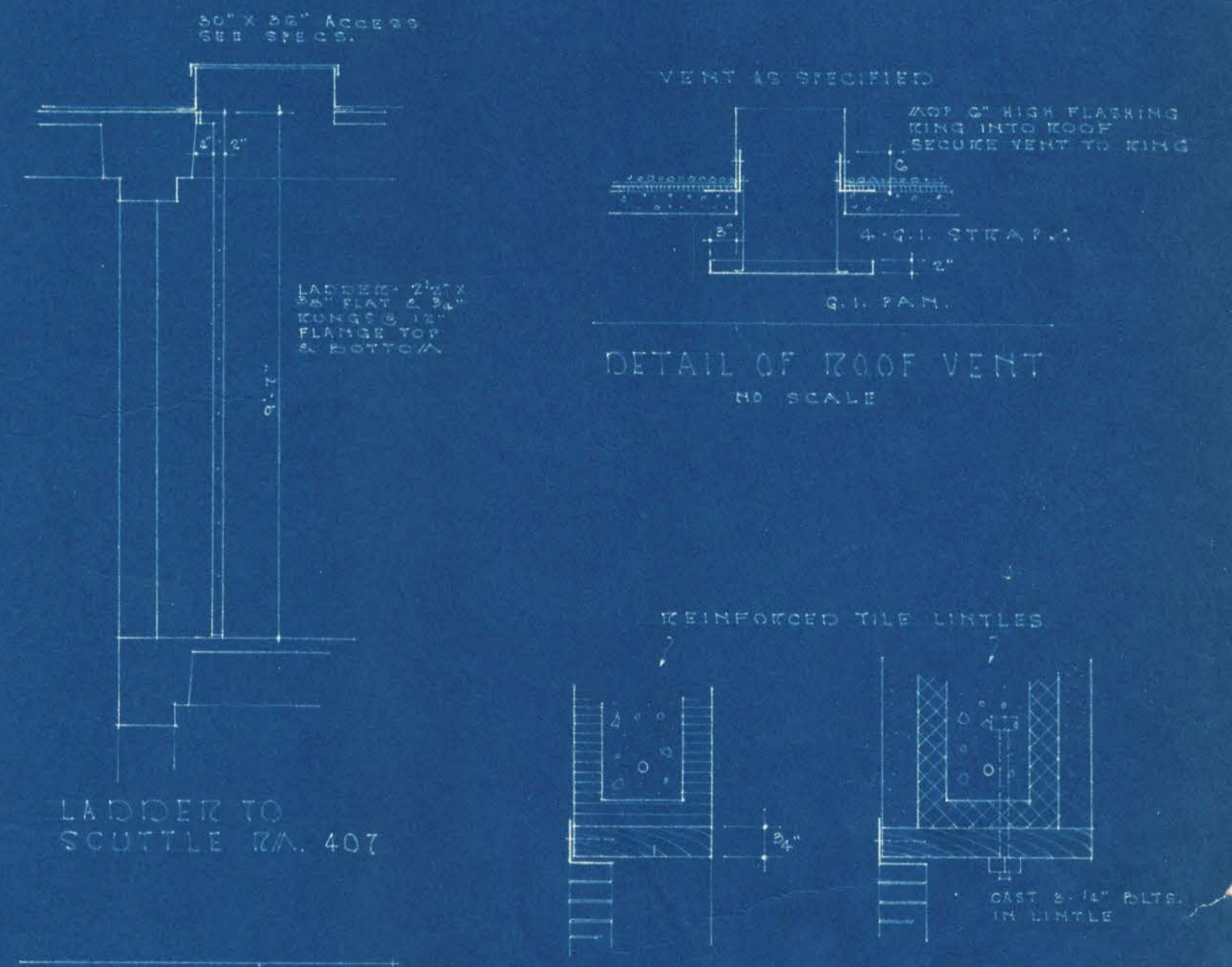
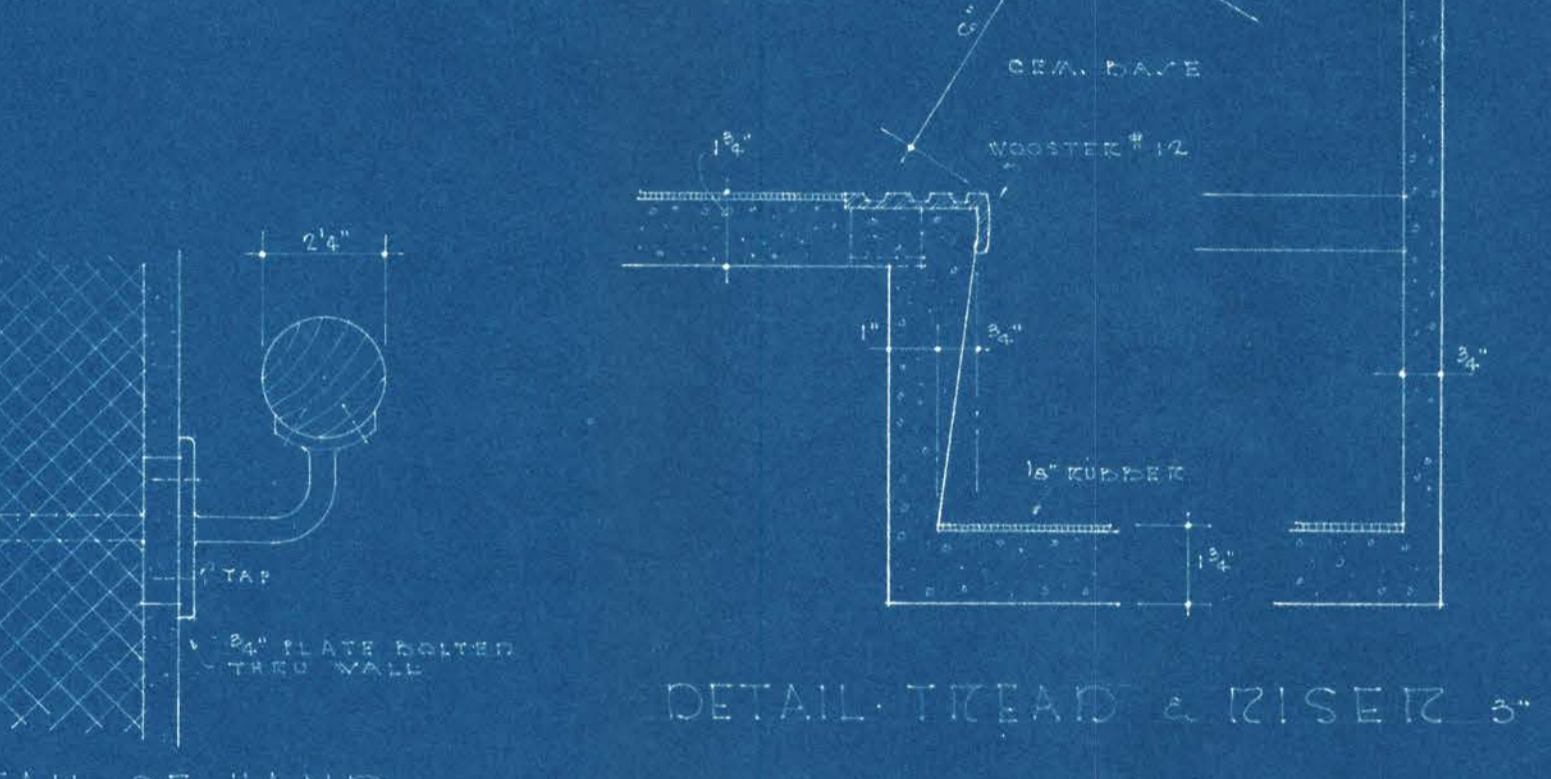
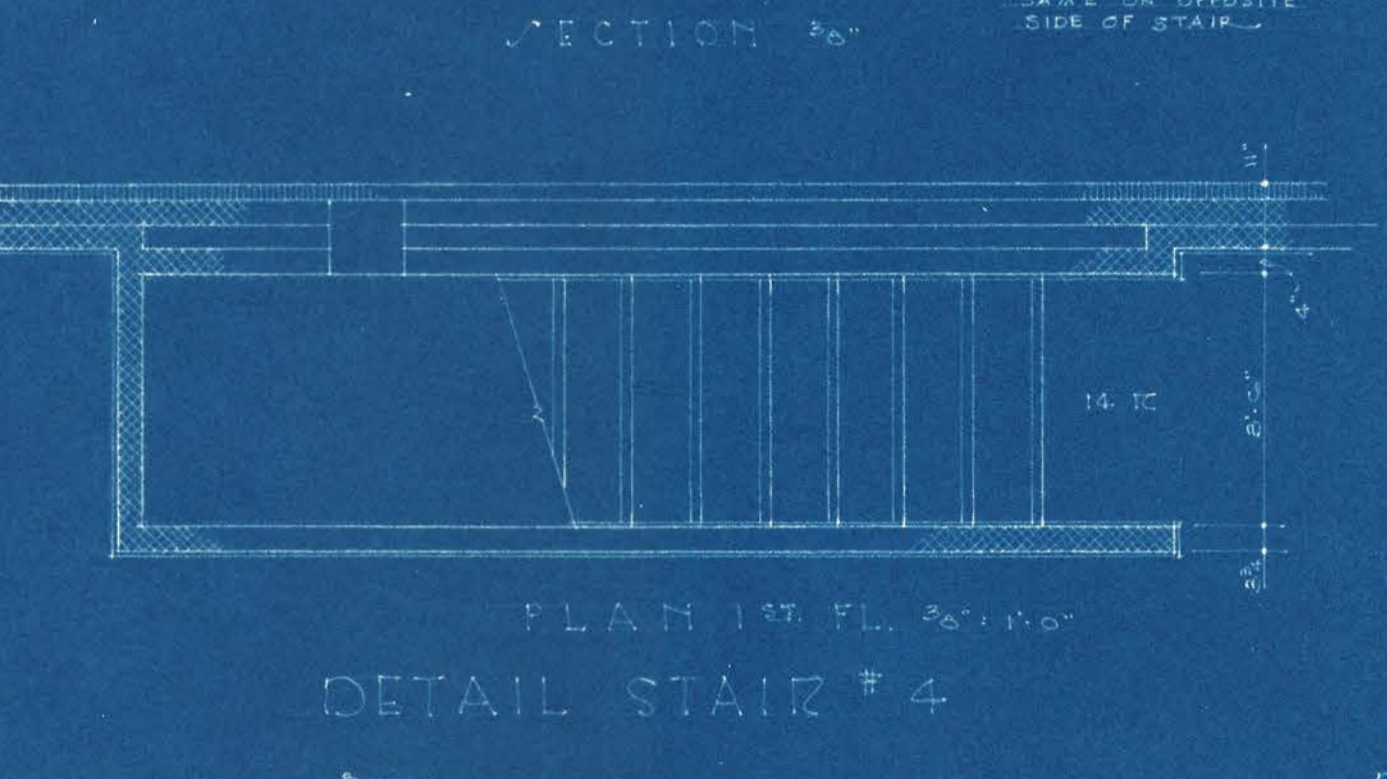
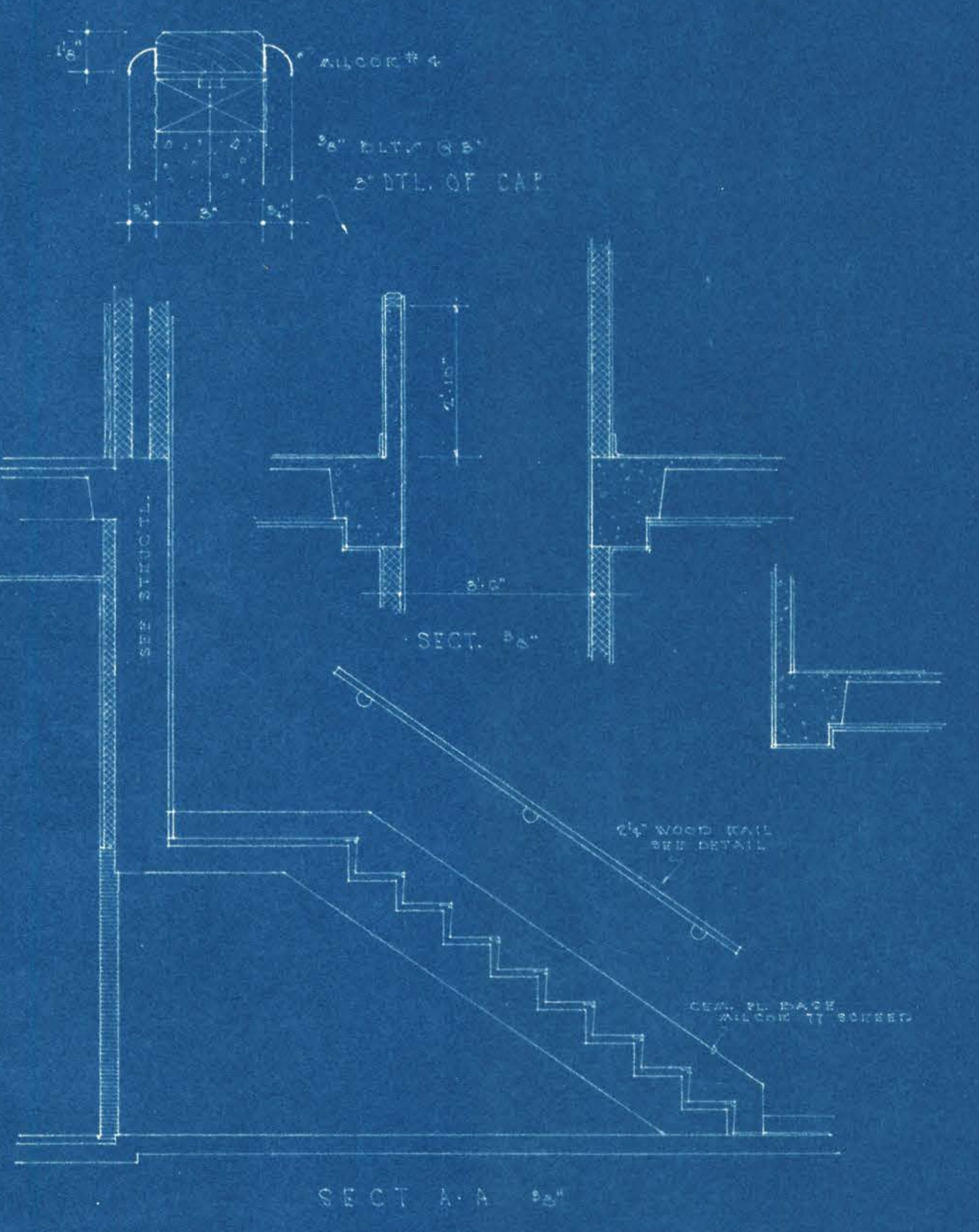
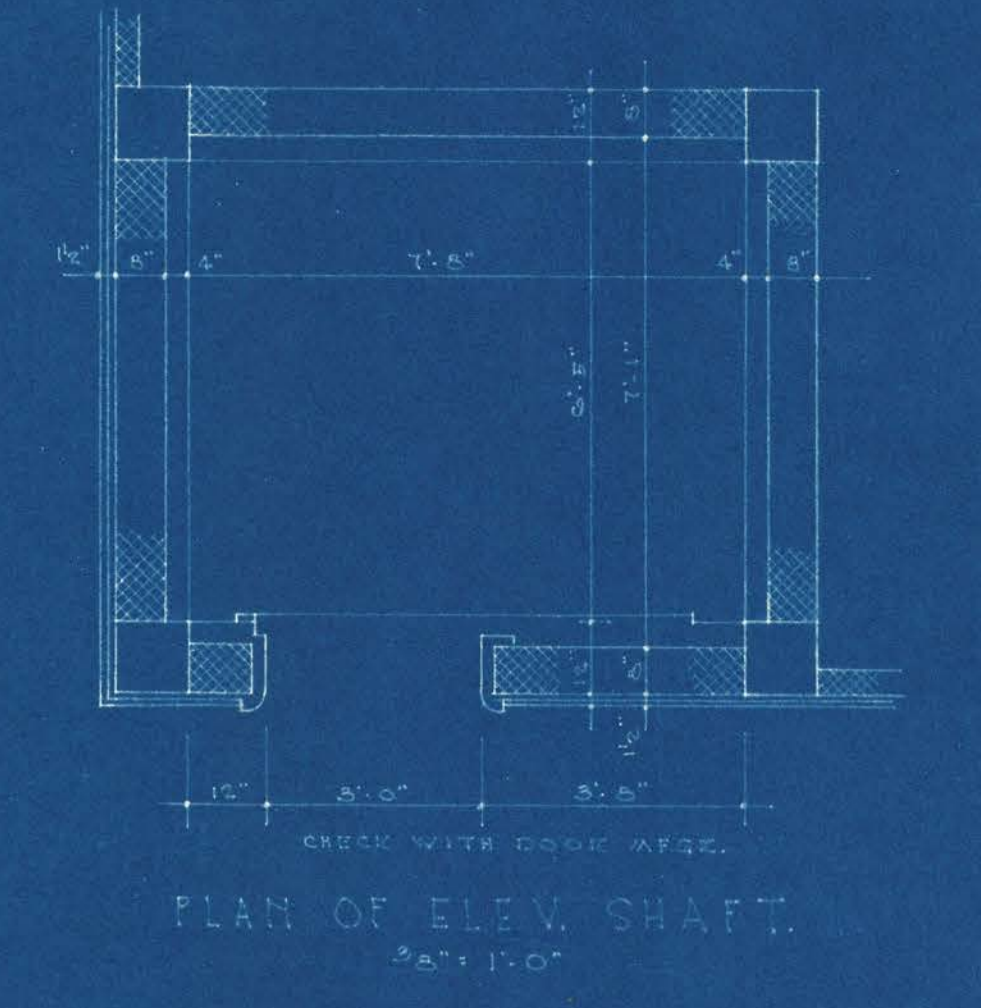
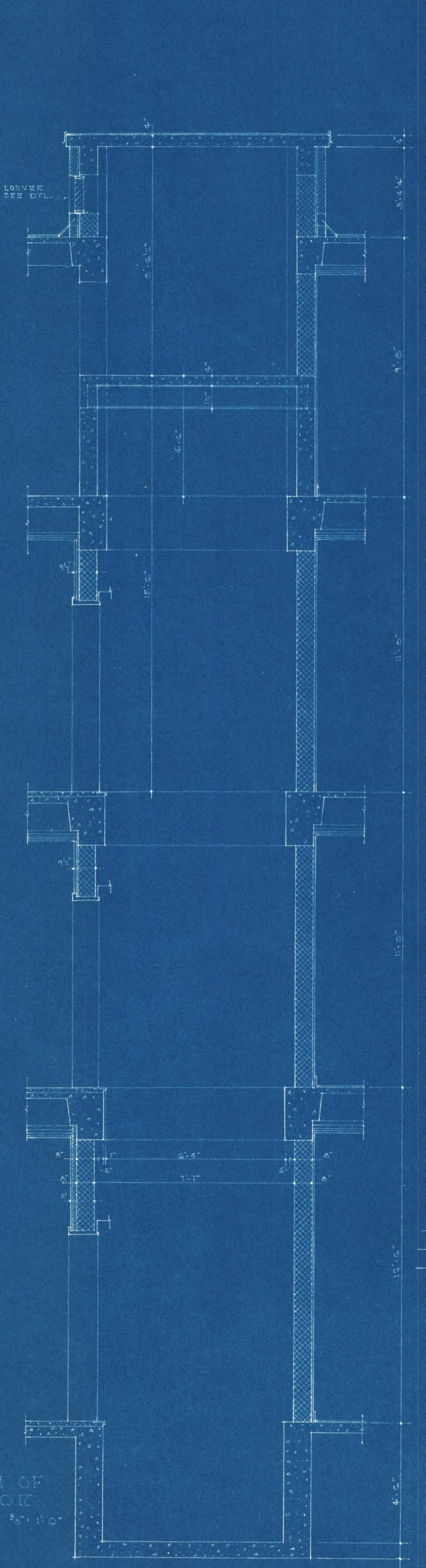
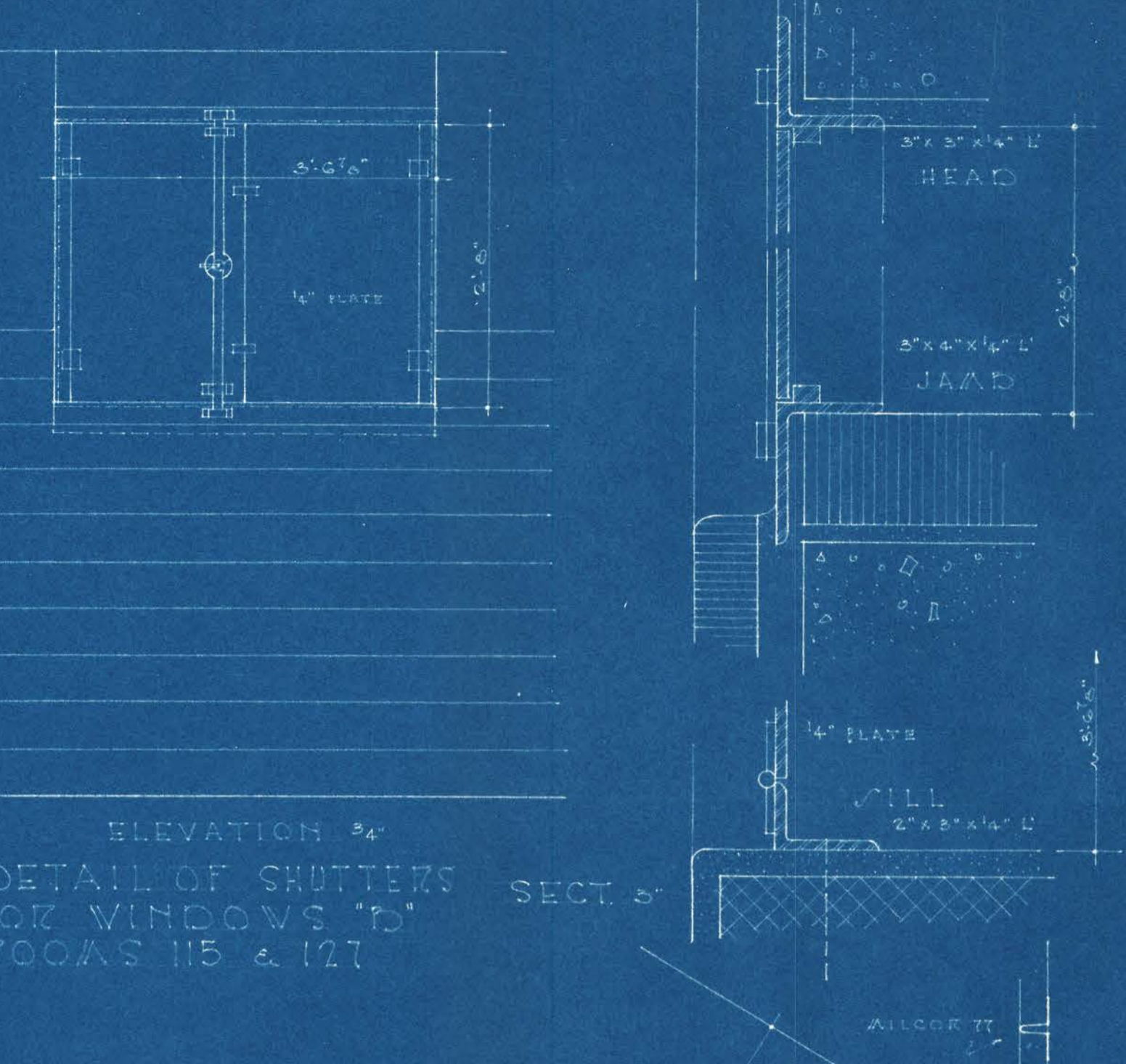
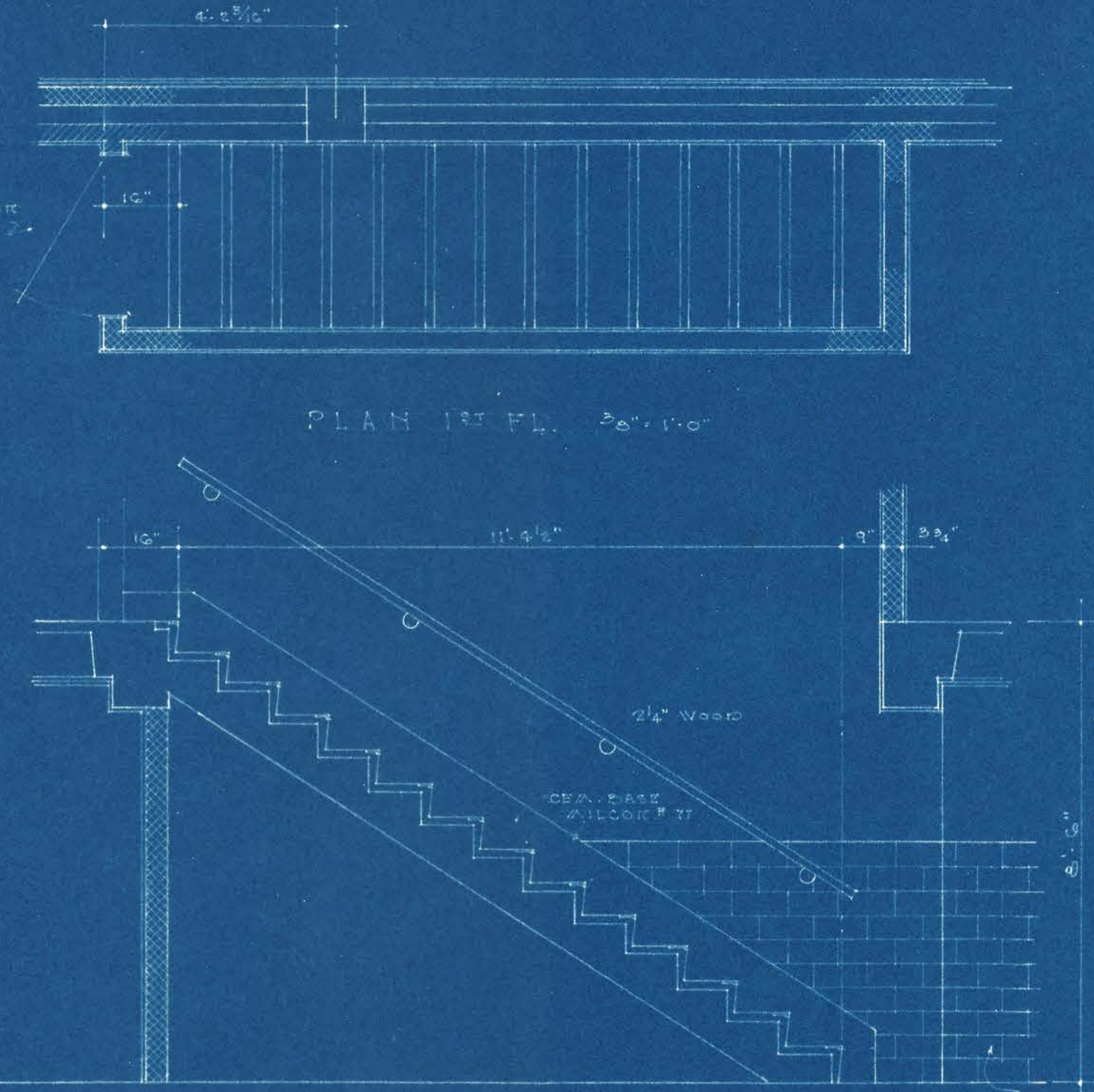
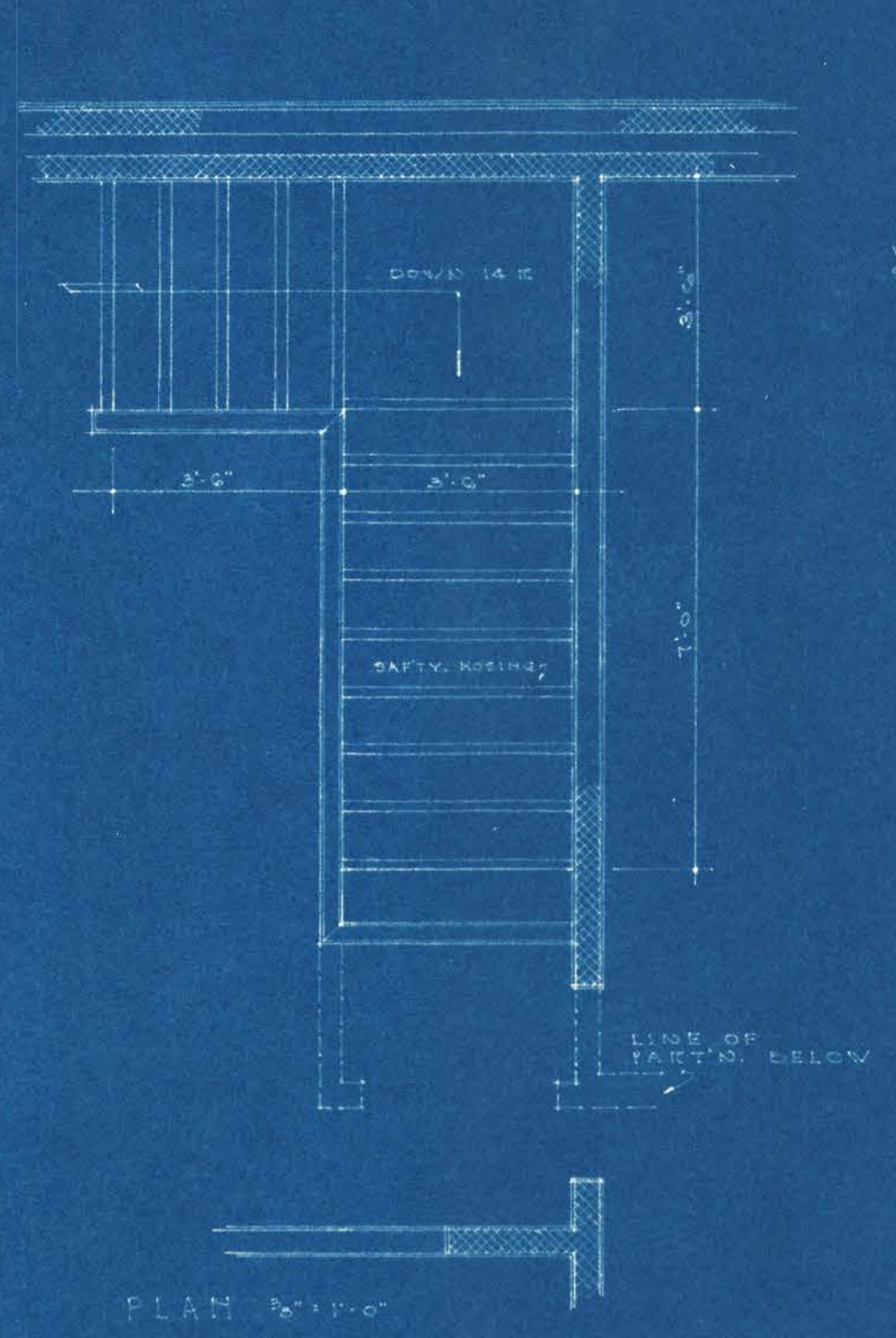
DETAIL AT GRILLE. SCALE 3" = 1'-0".



WALLER COUNTY COURT HOUSE  
HEATSTEAD, TEXAS

JOB NO. 400	HERBERT VOELCKER & ASSOCIATES ARCHITECTS	SHEET NO. 13.
DATE 5-13-54	1202 DENNIS HOUSTON, TEXAS	





VALLE COUNTY COURT HOUSE  
HEATSTEAD TEXAS

JOB NO. 400	HERBERT VOELCKER & ASSOCIATES ARCHITECTS	SHEET NO. 14
DATE 5-17-54	1202 DENNIS HOUSTON, TEXAS	



## **E. Texas Government Code**

### **Sec. 442.008. COUNTY COURTHOUSES.**

(a) A county may not demolish, sell, lease, or damage the historical or architectural integrity of any building that serves or has served as a county courthouse without notifying the commission of the intended action least six months before the date on which it acts.

(b) If the commission determines that a courthouse has historical significance worthy of preservation, the commission shall notify the commissioners court of the county of that fact not later than the 30th day after the date on which the commission received notice from the county. A county may not demolish, sell, lease, or damage the historical or architectural integrity of a courthouse before the 180th day after the date on which it received notice from the commission. The commission shall cooperate with any interested person during the 180-day period to preserve the historical integrity of the courthouse.

(c) A county may carry out ordinary maintenance of and repairs to a courthouse without notifying the commission.

*Acts 1987, 70th Leg., ch. 147, Sec. 1, eff. Sept. 1, 1987. Amended by Acts 1999, 76th Leg., ch. 403, Sec. 3, eff. Sept. 1, 1999.*